

**ARCHITECTURAL COLLECTION
OF
HARVIE P. JONES, F.A.I.A.**

SERIES 4---PHOTOGRAPH NOTEBOOKS

BOOK 49

**1940 Rosenbaum Hse.
Florence,
AL**

Joe Harvie Jones

Milly Wright **FRANK LLOYD WRIGHT ROSENBAUM HOUSE FOUNDATION PROJECT**

<u>Date</u>	<u>To</u>	<u>From</u>	<u>Design Component</u>
1. Apr. 20, 1939	Frank Lloyd Wright Taliesin, Wisconsin	A. G. Green 427 E. Mobile Street Florence, Alabama	(Request for plan for 3 BR house)
2. July 26, 1939	A. G. Green 427 E. Mobile Street Florence, AL	Frank Lloyd Wright	(Plan for house & grounds)
3. Aug. 2, 1939	Frank Lloyd Wright Taliesin, Wisconsin	A. G. Green 427 E. Mobile St., Florence	Lumber Bricks
4. Aug. 29, 1939	Frank Lloyd Wright Taliesin, Wisconsin	A. G. Green 427 E. Mobile St., Florence	(House plan design - Rosenbaum needs)
5. Sept. 2, 1939	A. G. Green 427 E. Mobile St.	Eugene Masselink Secretary to Frank Lloyd Wright	(House design in progress)
6. Sept. 6, 1939	A. G. Green 427 E. Mobile St.	Eugene Masselink Secretary to Frank Lloyd Wright	(FLW's fee)
7. Sept. 13, 1939	Eugene Masselink Secretary to FLW Tal(ei)sin, Wisconsin	A. G. Green 427 E. Mobile St., Florence	(Fees, bids)
8. Sept. 16, 1939	Frank Lloyd Wright	Stanley Rosenbaum Florence, AL	(Sketches rec'd) Heating system (Suggested changes to plans)
9. Sept. 21, 1939	Mr. & Mrs. Stanley Rosenbaum, Florence	Frank Lloyd Wright	(Changes to plans)
10. Sept. 21, 1939	A. G. Green 427 E. Mobile St.	Frank Lloyd Wright	Expenses. Brick, concrete, lumber

Milly Wright

FRANK LLOYDWRIGHT ROSENBAUM HOUSE FOUNDATION PROJECT

<u>Component Description</u>	<u>Est. Expense</u>	<u>Comments</u>
1.	\$7500.00 <u>"Cost Plus"</u> <u>or contract bids</u>	<u>Request for "Usonian" house, similar to Jacob's house. 3 BR & study</u> <u>124' X 140" lot slopes south to TN River</u>
2.		<u>Acceptance of job by FLW. Request for assistance by A. G. Green in execution. FLW Notes: 3 BR, Study; LR-Piano, Phonograph, bookcases, piano music & records; Kitchen- Large Ref., Elec. stove; 2 baths - 1 tub, 1 shower, 1 car. No furniture</u>
3. Southern yellow pine, cypress, poplar. Bricks from local kiln.	Union wage scale: Carpenters, \$1.125/hr Foremen, \$1.25/hr Masons, \$1.50/hr	A. G. Green sent plot plan & photos of plot and its environs. 32 feet (west) of lot line was to be kept free of building.
4.		<u>Rosenbaums needed: LR w/bookshelves & space for piano, organ, radio-phono. & space for piano music & records. Study with bookshelves & desk. 3 BR, Kitchen w/large refrig. & elec. stove. Closed space for groceries & dishes. Pantry. Dining space; silver cabinets. 2 Baths, 1 w/tub, 1w/enclosed shower. Adeq. storage & laundry, large wardrobe cls. Carport o.k. Clients have no furniture.</u>
5.		FLW working on design of house.
6.	Wright's fee: 10% of costs.	
7.	10% of \$7500.00?	
8.	\$225. pd by Rosenbaum	<u>Oil heating preferred. Soft coal most feasible locally. Request for laundry, place for wash. mach., more ward. space in master b.r., service entrance to kit., larger kitchen, door between kit. & d.r..</u>
9.		FLW agreed to changes.
10.	\$25.00/wk plus room & bd. & travelling exp./apprentice	Apprentice to take charge, shop for materials, check layouts, etc..

Milly Wright **FRANK LLOYD WRIGHT ROSENBAUM HOUSE FOUNDATION PROJECT**

<u>Date</u>	<u>To</u>	<u>From</u>	<u>Design Component</u>
11. Sept. 24, 1939	Frank Lloyd Wright	A. G. Green (No signature, possibly draft copy)	(Heating system)
12. Sept. 24, 1939	Frank Lloyd Wright Tall(ei)sin, Wisconsin	A. G. Green (Draft?) 427 E. Mobile St., Florence	(Direct method of construction)
13. Sept. 24, 1939	Frank Lloyd Wright Tal(ei)sin, Wisconsin	A. G. Green 427 E. Mobile St., Florence	(Heating system)
14. Sept. 24, 1939	Frank Lloyd Wright Spring Green, Wis.	Stanley Rosenbaum Florence, AL (Telegram)	(Heating system)
15. Sept. 29, 1939	A. G. Green 427 E. Mobile St.	Frank Lloyd Wright (Telegram)	(Request for return of sketches for plans)
16. Oct. 21, 1939	Frank Lloyd Wright Taliesin	A. G. Green 427 E. Mobile St., Florence	(Request for working drawings)
17. Oct. 25, 1939	A. G. Green 427 E. Mobile St.	Eugene Masselink, Secretary Taliesin, Spring Green, Wis.	(Working drawings are in the mail.)
18. October, 1939		Frank Lloyd Wright Taliesin	BUILDING INSTRUCTIONS
19. Nov. 4, 1939	Stanley Rosenbaum Florence, Ala.	Eugene Masselink, Secretary Taliesin, Spring Green, Wis.	(Original drawings misplaced)
20. Nov. 6, 1939	Eugene Masselink Taliesin, Spring Green	Stanley Rosenbaum (Telegram) Florence, Alabama	(Original drawings not received)
21. Nov. 9, 1939	Stanley Rosenbaum Florence, Ala.	Eugene Masselink, Secretary Taliesin, Spring Green	(Drawings found)
22. Dec. 1, 1939	Frank Lloyd Wright Taliesin, Spring Green	A. G. Green 427 E. Mobile St., Florence	Lumber, brick, Sealant (Wearcote)
23. Dec. 5, 1939	Stanley Rosenbaum Florence, Ala.	Frank Lloyd Wright	(Burt Goodrich's arrival; expenses)
24. Dec. 5, 1939	A. G. Green 427 E. Mobile St.	Frank Lloyd Wright	(Burt Goodrich's introduction.)
25. Dec. 5, 1939	J. A. Keller, President Florence State Teacher's College, Fl.	Eugene Masselink Sec. to FLW	(Burt Goodrich's introduction)

Milly Wright **FRANK LLOYD WRIGHT ROSENBAUM HOUSE FOUNDATION PROJECT**

<u>Component Description</u>	<u>Est. Expense</u>	<u>Comments</u>
11.		O.k. to heat with oil.
12.		Same.
13.		Same.
14.		Oil heating now possible.
15.		(Sketches returned to FLW)
16.		
17.		
18.		Bldg. laid out on 2'0" x 4'0" unit system. Specific building instructions. Materials list.
19.		
20.		
21.		
22.		Neither Sugar Pine nor Fir easily available. Louisiana Red Cypress suggested Local bricks cut, not pressed
23.		Rosenbaum to pay travelling expenses for apprentice, Burt Goodrich & board him & pay \$25./wk.
24.		
25.		

Don Harvie Jones
Milly Wright
September 21, 1993

FRANK LLOYD WRIGHT ROSENBAUM HOUSE FOUNDATION PROJECT

Design Components Mentioned in Letters During Design & Building of House

<u>Letter /Date</u>	<u>Comments</u>
1. 4/20/39	Request from A. G. Green to Frank Lloyd Wright for design for "Usonian" house for Stanley and Mildred Rosenbaum in Florence. "The family requires a three bedroom house with study." "The existing obstacle is a maximum amount of \$7500.00."
2. 7/26/39	Agreement by Wright "to go through with a house for your clients."
3. 8/2/39	Plot plan sent to Wright by A. G. Green.
4. 8/29/39	Green to Wright: Maximum needs of Rosenbaums listed for Wright's "free-est interpretation."
5. 9/2/39	Eugene Masselink to Green: Wright working on design of house.
6. 9/6/39	Masselink to Green: Statement of Wright's fees.
7. 9/13/39	Green to Masselink: Fees satisfactory. Expected price of house: \$7500.00.
8. 9/16/39	Rosenbaum to Wright: Sketches received. Check sent for \$225.00. Preferences of Rosenbaums: Oil heating (impracticable in Florence), laundry space, wardrobe space in master bedroom, separate service entrance to kitchen, larger kitchen, door between the cooking and dining space.
9. 9/21/39	Wright agreed to changes suggested by Rosenbaums.
10. 9/21/39	Wright to Green: Wright plans to send an apprentice to take charge of the project.
11. 9/24/39	Green to Wright: Offers his assistance to project. Heating with oil may be o.k..
12. 9/24/39	Same.
13. 9/24/39	Same.
14. 9/24/39	Rosenbaum to Wright: Possible to heat with oil.
15. 9/29/39	Wright asks Green to have Rosenbaum return sketches so he can proceed with plans.
16. 10/21/39	Green asks Wright when to expect plans and Wright's apprentice.
17. 10/25/39	Masselink to Green: Working drawings in the mail to Green.

18. 10/39 **Building instructions for Dwelling for Mr. and Mrs. Stanley Rosenbaum, Florence, Alabama, from Frank Lloyd Wright; Taliesin.**

"This building is to be laid out on a 2'0" x 4'0" unit system wherein the unit lines become the joint lines of the concrete and this mat must be completed before the superstructure is commenced."

- Joint lines to extend 2/3 of way through mat.
- Undergrade to come within 9 1/2" of finished floor.
- Drains to be laid & retaining walls built.
- Coarse gravel, broken stone to be spread on ground.
- Gravel bed 6" thick - to come within 3 1/2" of finished floor
- Heating & plumbing pipes to be laid in gravel bed.
- Colored concrete mat to be laid down.
- Toncan metal strips to be laid in concrete.
- Roof to be built on temporary supports
- Walls to be prefabricated, then set beneath roof - Or inside & outside partitions set on completed mat.
- Walls of vertical common boards or 7/8" plywood, covered with insulating felt or building paper.
- Paper to be covered with boards and battens.
- All walls & partitions to be three boards & two layers of paper.
- Paper to be carried over & around all corners.

Specifications for: window construction, framing of the roof, brick work.

Materials list and specifications.

19. 11/4/39 Masselink to Rosenbaum, asking if Rosenbaum has the original drawings of the house.
20. 11/6/39 Rosenbaum to Masselink: "Original drawings of the house were not received here."
21. 11/9/39 Masselink to Rosenbaum: Drawings were found at Taliesin.
22. 12/1/39 **Green to Wright: Neither sugar pine nor fir were local materials, but Louisiana Red Cypress available for approximately the same cost. Local bricks cheaper but cut, rather than pressed. Local dealers not familiar with Wearcote.**
23. 12/5/39 Wright to Rosenbaum: Introduction of Burt Goodrich, Wright's apprentice who will "get you started and see you through." Rosenbaum to pay Goodrich's expenses.
24. 12/5/39 Wright to Green: Introduction of Burt Goodrich.
25. 12/5/39 Masselink to Mr. J. A. Keller, President, State Teachers' College, Florence. Wright cannot come to Florence, but his Senior Apprentice at Taliesin, Burton Goodrich, can tell Keller and his students "something of our work here in the Taliesin Fellowship."
26. 12/11/39 Rosenbaum sent check for \$375.00 and agreed to pay expenses for Goodrich.
27. 12/11/39 **\$558. bid received for heating system.**
28. 12/13/39 Masselink wrote that \$375.00 represented 5% fee for working drawings of the house.

<u>Letter/Date</u>	<u>Comments</u>
29. 12/16/39	Burt Goodrich to stay in Florence only long enough to get prices, costs, and organize the building of the Rosenbaum house.
30. 12/19/39	List of wages for Building & Construction Trades Council of Muscle Shoals.
31. 12/29/39	Approval by Wright of brick ("Cut brick, warm tones preferred, large size preferred but common size o.k.")
32. 1/4/40	Bids for building house. Burt asks about using single strength glass instead of plate in the perforated board lantern sash. --Asks if it is necessary to have 4 layers of Felt under the Wearcote. Proposed heating system: large electric water heater and floor pipes.
33. 1/8/40	Wright approves electric heat. 3-Ply roof approved. "Use thin plate throughout the house." Septic tank from Sears.
34. ?	Contract for roofing and sheet metal work. "Built Up Roof of Felt and Asphalt." Copper flashings (12 oz.) 16 gauge Toncan Metal strips.
35. ?	Concrete contract specifications.
36. 1/10/40	Concrete contract signed by M. A. Buffler.
37. ?	Plumbing specifications.
38. 1/26/40	Goodrich asks about furniture design. Cold weather delaying work, but, "Genial clients, an ideal site, and the best house of this Usonian type, and one which fits the lot perfectly should result in something very fine."
39. 2/16/40	Financial arrangements for Goodrich. Concrete bases for retaining walls built.
40. 2/20/40	Wright: "We will design the furniture here." It was to be made by Harris Mill at Chicago.
41. 2/24/40	Rosenbaum asks Wright to let Goodrich stay to direct work on the house.
42. 2/25/40	Goodrich asks Wright to allow him to stay longer.
43. 2/28/40	Wright tells Goodrich to stay another month.
44. 3/27/40	Wright asks Goodrich to send progress photos and breakdown of costs to date and in sight.
45. 4/4/40	Wright tells Goodrich to find out why it is necessary for him to have a license in Alabama.
46. 4/5/40	Goodrich told Wright the slab was in and work was progressing on the house.
47. 4/12/40	Work progressing on house. Local millsto turn out boards, battens, etc.. State of Alabama required Wright to buy a license (\$25.00 plus \$5.00 fine).
48. 4/20/40	Goodrich: Ceiling bulb outlets to be square boxes flush with the ceiling? Plug outlets to have drop cords to lamp standards? "Sisalkraft" as insulation paper in the walls? Sisalkraft to be tacked to the ceilings?

Letter/Date Comments

49. 4/24/40 **Wright: Ceiling bulbs to be set into square recesses in ceiling with sanded glass over. Sisalkraft o.k. for insulation and to tack on ceilings. Instructions for furniture, upholstery, rugs, etc..**
50. 4/26/40 **Goodrich: Cypress walls going up. Rosenbaums requested frosted glass above the perforated board to hide light bulbs.**
51. 5/9/40 Furniture order by Goodrich.
52. 5/12/40 **Goodrich: "The long walls of boards and battens are weak at the transom sill as there is no thru vertical members they become pushed out at that point."
Goodrich working on plot plan for landscaping. Bar-b-que fireplace to be built in the future.**
53. 5/13/40 **Wright: "Perforated board o.k.." "Use continuous hinges on everything." "Hinges should be exact lengths of doors or sash. Holes approx. 6" apart ... closer if need be ... painted Cherokee red."**
54. 5/15/40 **Goodrich asks for answer to support for walls.**
55. 5/18/40 **Eugene Masselink sends drawing showing reinforcing spur for walls.**
56. 6/4/40 **Goodrich asks approval of I beams to hold up living room roof.**
57. 6/4/40 **Wright: "Ridiculous oversight in the plan sections." Goodrich to take off trim board and put light twelve steel beam alongside wood beam "now placed," and cover it with cypress trim.**
58. 6/4/40 **Reinforcing detail sent by Wright to Goodrich.**
59. 6/7/40 **Goodrich putting brackets along the walls, raising the sill 1 inch to keep water out, and putting in the I-beams. He had bought the architect's license.**
60. 6/8/40 Request from Alabama Board for Registration of Architects for \$25.00 fee.
60. Notice of fee due from Florida State Board of Architecture.
61. 6/11/40 Details of furniture from Wright.
62. 7/14/40 State of Alabama - protest filed against Wright for failure to register as an architect.
63. 7/15/40 **Goodrich: Rain storm penetrated bricks and wet plywood ceilings. Goodrich planned to cover the bricks with transparent waterproofing, change the copper coping to completely cover the tops of the brick walls, and put a grilled-top drain across the drive near the entrance steps to keep water from the house.**
64. 7/18/40 Masselink wrote State Board objecting to \$25.00 fee for an extension license "for building a small cottage in Florence."
65. 7/20/40 Request for fee from Wright by State Board.

<u>Letter/Date</u>	<u>Comments</u>
66. 7/27/40	Letter from Masselink to Rosenbaum.
67. 7/27/40	Letter from Masselink to State Board asking to pay only \$5.00.
68. 7/30/40	Rosenbaum: Problems: lack of support for living room ceiling, waterproofing, sills of transoms had to be raised, water creeped into the joints of the fascia, water came through brick, ceiling plywood had to be replaced, water coming in front door. Criticism of Goodrich but approval of house.
69. 8/11/40	Goodrich's supervision expenses submitted to Wright.
70. 8/23/40	Rosenbaum reported that house was complete and in good working order. Cost was more than twice the \$7500.00 he had expected to pay.
71. 9/30/40	Clyde Pearson of State Board threatens to turn license matter over to Attorney General.
72. 10/3/40	Request of Wright to see pictures James (?) Smith made of the Rosenbaum House.
73. 10/3/40	Masselink wrote to Pearson that fee was paid on 3/26/1940.
74. 10/4/40	Letter from U. S. Board of Parols.
75. 10/7/40	Pearson wrote that Wright was confusing his license to practice architecture in Alabama with the registration fee and said both were required.
76. 10/14/40	G. E. Kidder Smith of New York sent ten photographs of the Rosenbaum House to Wright.
77. 10/15/40	Rosenbaums received drawings for landscaping.
78. 10/17/40	Photographs ordered from Kidder Smith.
79. 10/23/40	Smith sent negatives to Wright.
80. 11/5/40	Wright asked Parole Board to be merciful to Ben Rebhuhn and his nephew.
81. 11/5/40	Letter to Parole Board concerning Ben Rebhuhn.
82. 11/23/40	Letter from Pearson requesting registration fee from Wright.
83. 11/27/40	Letter from Wright to Pearson objecting to fees.
84. 12/20/40	Request for Smith to send pictures to Wright.
85. 3/18/41	Request by Wright for additional payment for architectural services from Rosenbaum.

<u>Letter/Date</u>	<u>Comments</u>
86. 3/21/41	Rosenbaum tells Wright of problems with the house because of Goodrich's inexperience and objects to paying Wright more than he already has given him. (Cracking of Wearcoat on the roof, leading to leaks inside the house and ruination of ceiling plywood. etc.)
87. 4/1/41	Wright concurs with Rosenbaum. "Wearcote is intended only for insulation not to keep out water. The roof must be tight before it goes on." Burt not responsible for decision to use electric heat.
88. (3/4/54)	Letter from Thomas Godfrey, Georgia Institute of Technology, to Wright.
89. 1/23/46	Request from Rosenbaum for Wright to design addition to house.
90. 2/23/46	Letter from Masselink saying that Wright will work on his plans "shortly."
91. 3/2/46	Rosenbaum request for oil heating for present house and addition. Birmingham contractor to handle the addition.
92. 8/12/46	Masselink to Rosenbaums - work going forward on plans.
93. 9/19/46	Sketches for addition sent to Rosenbaums.
94. 10/30/46	Rosenbaums: Request for changes in plans for addition.
95. 11/7/46	Bill to Rosenbaums from Frank Lloyd Wright Foundation.
96. 11/9/46	Letter & check from Rosenbaum to Wright. Request to visit Taliesin on January 3rd.
97. 11/13/46	Invitation by Wright for Rosenbaums to visit Taliesin West over the weekend of Jan. 3rd.
98. 12/17/46	Rosenbaums' travel plans.
99. 12/21/46	Masselink to Rosenbaum: travel plans.
100. 5/16/47	Rosenbaum planning to start new wing in 1948. Wants to buy cypress and have it seasoned.
101. 5/20/47	Wright to Rosenbaum promising details of addition.
102. 6/11/47	Masselink sending drawing showing quantities of cypress millwork needed.
103. 10/16/47	Rosenbaum: Request to see plans for addition. Request for problems with present house to be addressed and for design features to be incorporated into new wing. Requests concerning: windows and ventilation in bathrooms, kitchen and utility room, space for storage of large articles, storage space for clothes in passage in new section, chimneys, shelf space in play room.
104. 11/3/47	Masselink: Wright will study Rosenbaum's suggestions.
105. ?	Letter from Benjamin Dombar, Architect, to Wright. Rosenbaum's suggested design for storage building for lawn mower, bicycles, etc..

<u>Letter/Date</u>	<u>Comments</u>
106. 1/5/48	Rosenbaums' request for help in locating seasoned red cypress, answers to questions.
107. 1/17/48	Wright to Rosenbaums: promise to answer questions soon.
108. 1/20/48	Rosenbaums' request to Wright to go ahead with addition.
109. 1/27/48	Wright: Seasoned cypress being milled in Atlanta.
110. 2/9/48	Request from Masselink to Rosenbaum for original house plans.
111. 2/12/48	Rosenbaum asks for date of supervisor's arrival.
112. 2/13/48	Rosenbaum no longer has original house plans.
113. 2/16/48	Request to Ben for drawings of Rosenbaum House.
114. 2/20/48	Request to Masselink from Rosenbaum for answers to questions about addition.
115. 2/21/48	Request to Benjamin Dombar by Wright to superintend addition to Rosenbaum house.
116. 2/22/48	Agreement by Dombar.
117. 2/24/48	Letter to Burt, who had sent prints of the Rosenbaum house.
118. 3/20/48	Wright's recommendation of Dombar of Cincinnati, Ohio, to Rosenbaums.
119. 3/22/48	Rosenbaums to Wright: approval of Dombar.
120. 3/22/48	Dombar to Wright, asking for plans of the present house.
121. 3/24/48	Bill to Rosenbaum from Wright for Preliminary Studies and Working Drawings of addition. (8% of \$15,000.00)
122. 3/25/48	Wright to Rosenbaums : "Blue Prints in mail today."
123. 4/13/48	Original house plans sent to Dombar from Taliesin.
124. 9/14/48	Dombar to Wright: Addition about finished. Request by Rosenbaums to extend roof of playroom wing 6 feet in order to have a 10' X 22' car port along the new storage room.
125. 9/20/48	Letter from Masselink to Cecil A. Givson of Little Rock, Arkansas.
126. 9/23/48	Masselink to Rosenbaums: Drawing for extension of roof for car port.
127. 12/9/48	Dombar to Wright: Addition complete and very satisfactory.
128. 12/27/48	Dombar to Wright: Cost of addition to Rosenbaum house.
129. 9/?	Aaron Gus Green to Mr. & Mrs. Frank Lloyd Wright: appreciation of hospitality at Taliesin -- eager to become a part of the fellowship.

JONES & HERRIN

Architecture/Interior Design

ROSENBAUM HOUSE
FLORENCE, ALABAMA
PROJECT NO. 93093

OBSERVATION OF EXISTING STRUCTURE

AUGUST 21, 1993

This was a cursory inspection done to observe existing technical problems and areas of potential future problems on the Rosenbaum House. This is by no means a comprehensive report but a general overview of the status of the building.

Roof Framing:

The roof framing appears to be sagging over the breakfast area (1948 addition). Water is ponding on the roof (Fig. 1) and there is evidence of water damage to the plywood ceiling in this area (Fig. 2). This problem was addressed in the 1968 repairs but evidently the solution has not been adequate.

The entire roof over the guest bedroom ('48 addition) is extremely uneven and appears to be close to collapsing (Fig. 3). The extent of the damage can not be determined without removing the interior ceiling or roofing. There is also evidence of termite damage in this area.

Roofing System:

The roofing system is 3 ply built-up with a painted canvas membrane over it. The canvas membrane has become separated from the metal edge flashing at many locations allowing water to penetrate beneath the membrane. The membrane appears to be deteriorated in many locations and in general the roof is in poor condition. The roof is 26 years old so it is basically worn out.

Eave Overhangs and Fascia:

The cantilevered eaves are sagging at various locations around the house (Fig. 4, 5, & 6). The fascia board that was added in the 1968 renovation has become separated and warped at numerous locations (Fig. 7). It was originally attached with glue. The fascia at the east wall of the '48 addition at the courtyard is decayed badly and covered with plastic at this time.

Miscellaneous Items:

As usual with older houses, the exterior grade level has been built up higher than originally intended causing potential water, rot, and termite problems at the base of the exterior board and batten walls. There are signs of wood decay at the plywood trim at clearstory windows (Fig. 9), various window frames (Fig. 10), and door frames (Fig. 11). While cypress is highly resistant to decay and termites, it is not equivalent to pressure treated wood that is used today. Also, the exterior brick needs to be cleaned.

Summary:

A comprehensive restoration of this house would be an extensive undertaking. In general it appears there are more problems with the 1948 addition than with the original 1939 house. The most serious problem noted is the state of the roofing and roof framing throughout the house. Proper repair of the roof would be extensive in scope and would involve reroofing as well as new framing. It is possible, if not probable, that the house would need to be vacated in some or all rooms in order to perform the apparently extensive roof and roof structure repairs. The problems with the sagging overhangs and fascia boards should also be dealt with soon as these are readily apparent from the exterior.

From a restoration standpoint it would be desirable to restore the balcony to the master bedroom by reworking the mechanical system. In general, however, the house has been altered only slightly over the years from the original Wright drawings.

Jim Hartsell, AIA

Jim Hartsell

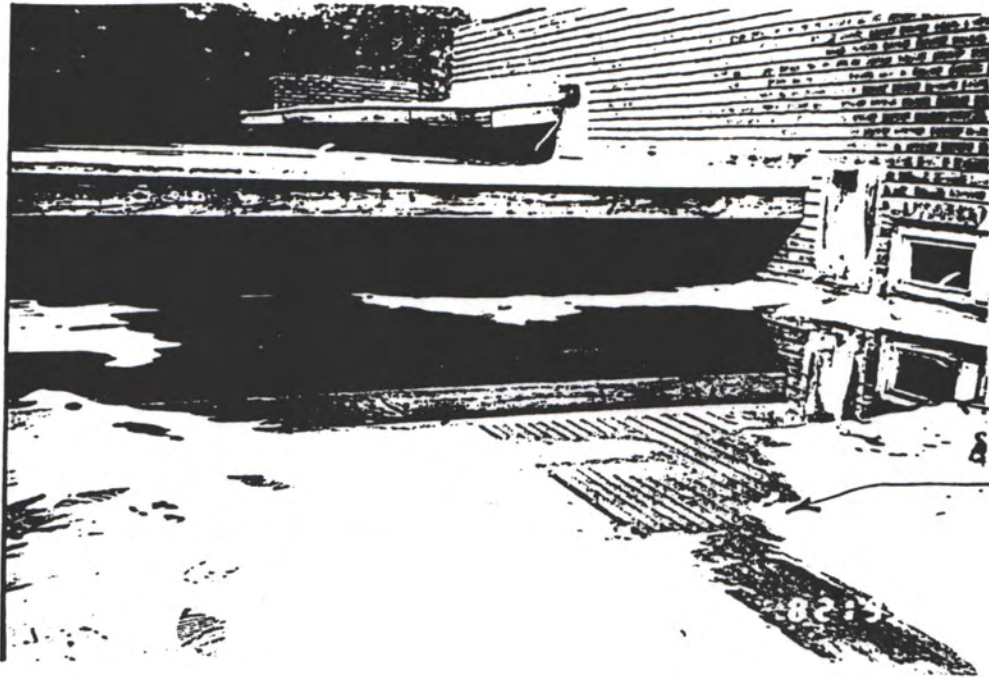


FIG. 1

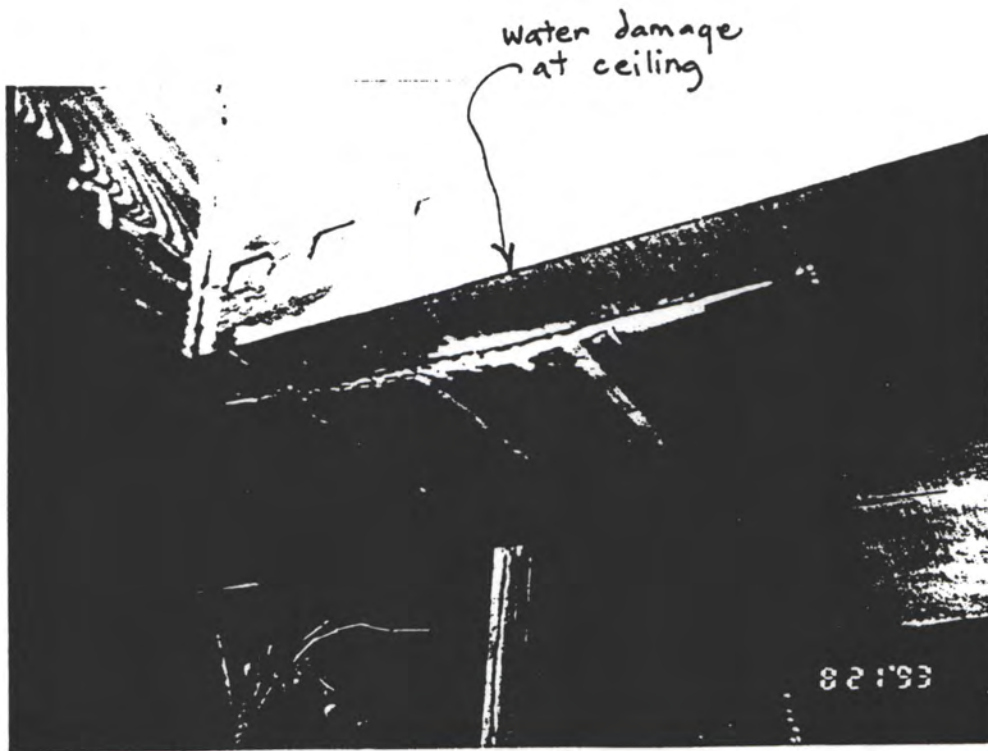


FIG. 2

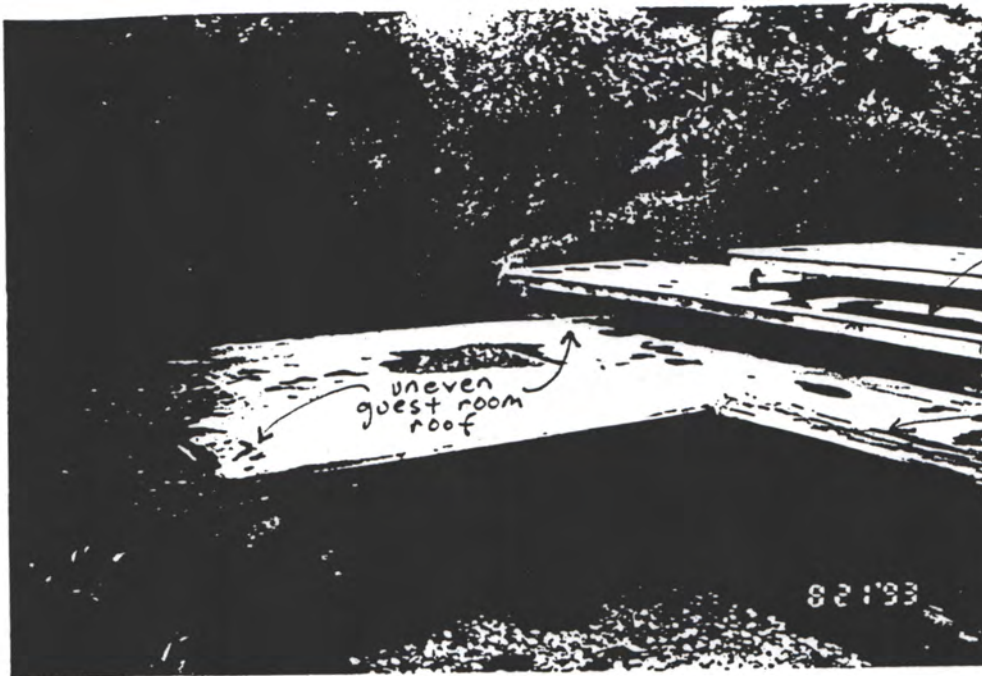


FIG. 3

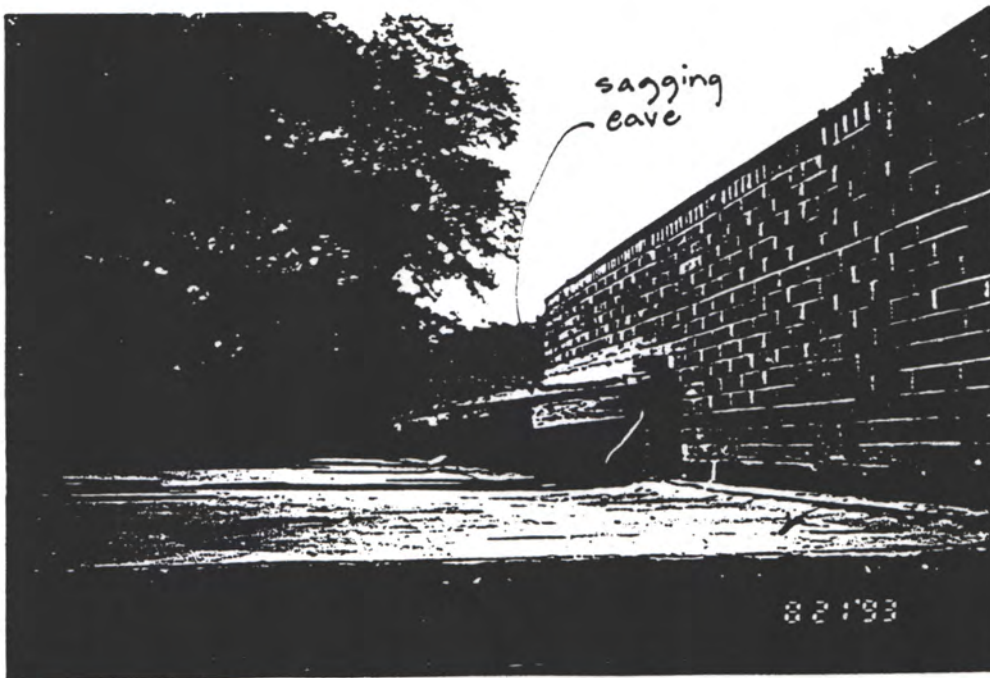


FIG. 4.

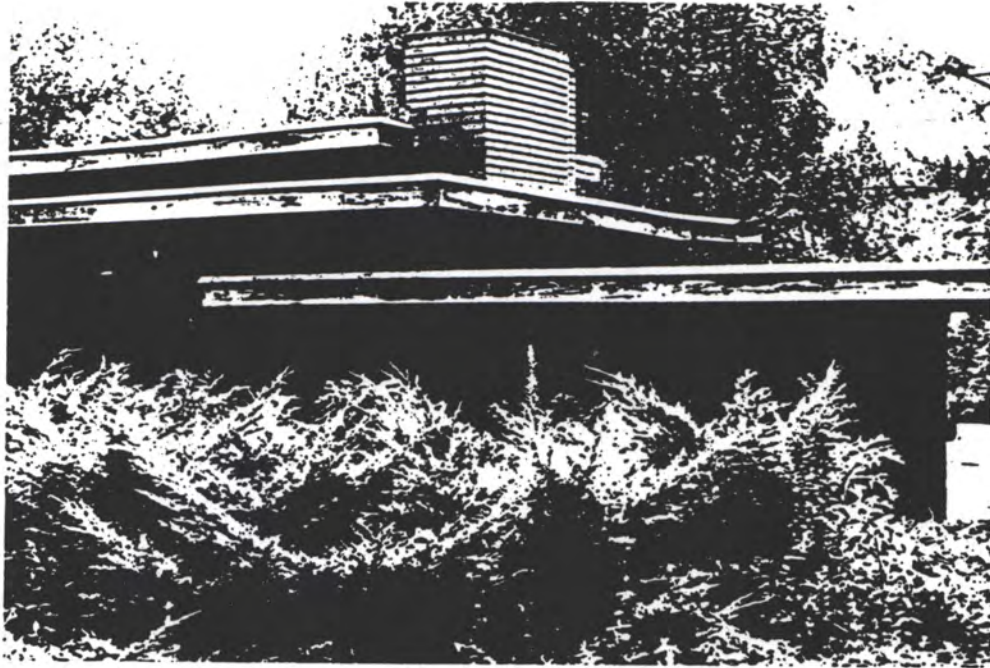
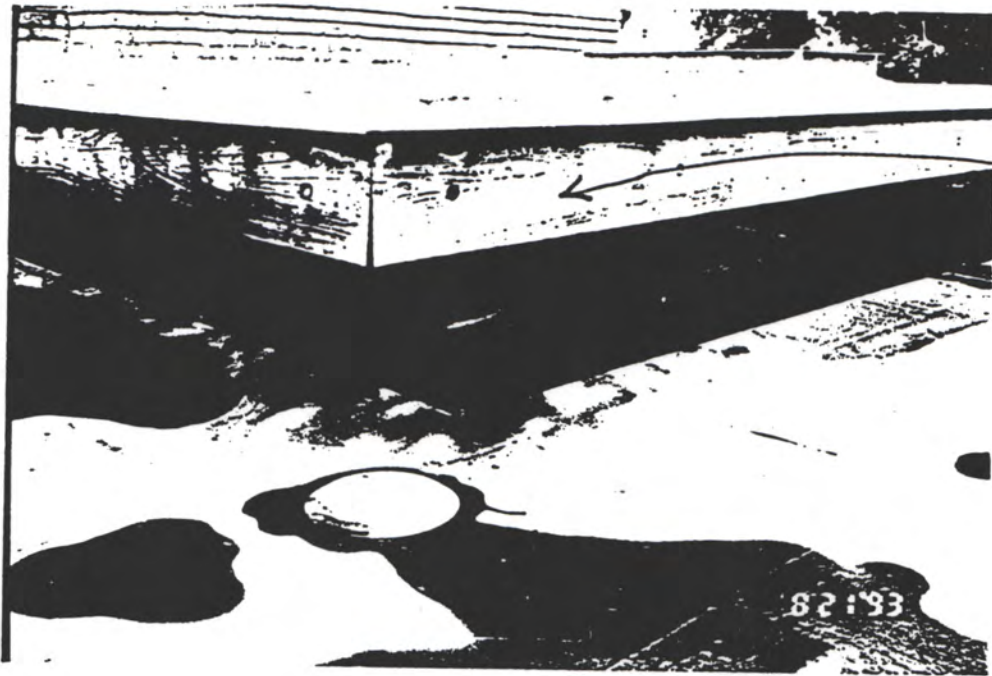


FIG. 5



FIG. 6



fascia
damage

FIG. 7



fascia
decay

FIG. 7A



FIG. 8

wood
decay
at
clerestory

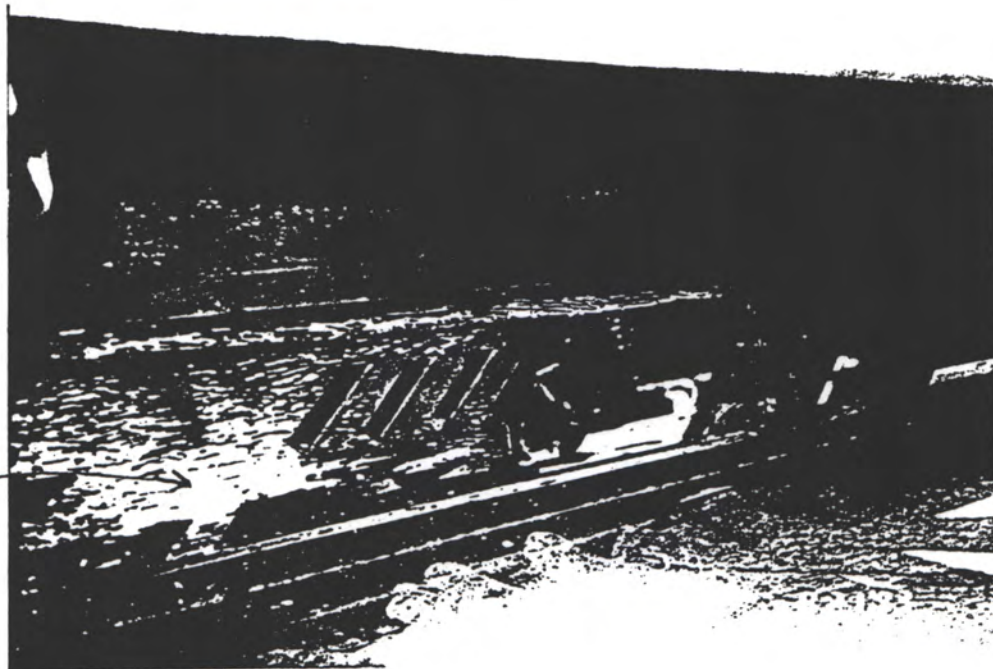


FIG. 9



FIG. 10



FIG. 11

FLW

(1)

Rosenbaum - 24 Sept '93 NJ area

Arnold Roy - Taliesin

Electric base (strut, cord + roof) replaced in '67
(Mrs R.)

Ceiling = straight - grain cypress, etc. - Lam. veneer Ply.
= 3 to 4 planks per 2x4 panel

Int. Drills - rubbed w/ tungsten oil (FLW) - kept dust.
Later had polyurethane. Got affluence later.
Mrs R. has a product that cleans it.
Name _____



Get Mrs R's dumps back to her.


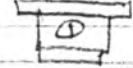


Rept due in Nov. or later.

Fiscal assets due by Oct. 1 to Nancy Gorce

Call Siegfried - \$500 for photos - pertinent?

1991 - fl. heat-treated
(Orig. heat groups put in about 1967.
Present " " " " later

1948 - FLW Din. Chairs discarded (gone to waste.
16 Ames chairs bought in 1948 (ended up in dump)
2 tables in LR designed by Mrs R, not FLW

±10 (Seven) FLW Ottomans still     + Din. table

One FLW Chair in BR. One "tea & coffee" table in DR.

LR cabinets put in LR in 1967 designed by Arnold Roy (Taliesin)
(N. Wall at west end by study)

Many bookshelves added later - LR had 3 only (now 5)

All shelves were original

Nancy Gorce needs copy of all dumps (xerox) + other papers



1967 - painted canvas roof put on, over B.V.R.

1940 - B.V.R. + "Wearcoat" vinyl put on top. 3 ply.

1948 - Chin. raised for FLW designs to prevent smoking.

± 1953 Carpet put on core fl.

c. 1940 - French window screens put in

" - " " plastic-bulb w.s. put on

c. 1940 Attic fan put in over org kit. Now out, (HT pumps)

" Amphitheatre " " " by Rosenbaum in ltc. 1940's.

Not designed by FLW. Used for lookouts.

JONES & HERRIN

Architecture/Interior Design

September 27, 1993

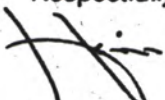
Ms. Nance Gonce
Project Director
Frank Lloyd Wright Rosenbaum House Foundation
P.O. Box 95
Florence, Alabama 35631

Re: Rosenbaum House
Project No. 93085

Dear Ms. Gonce:

Attached is an August 21, 1993 Observation Report by Jim Hartsell of our office, and a brief summary of where we stand to date. A more detailed report can be supplied at a later date, as needed.

Respectfully,



Harvie P. Jones, FAIA
HPJ/tm

cc: file
HJ
JH

JONES & HERRIN

Architecture/Interior Design

ROSENBAUM HOUSE

PRELIMINARY HISTORIC STRUCTURE REPORT

SEPTEMBER 27, 1993

PROJECT NO. 93084

A. Items available for final Historic Structure Report:

1. Mrs. Rosenbaum's 3-inch notebook of all or most correspondence relating to the initial construction, additions, 1967 restoration and other items such as the Japanese garden.
2. Mrs. Rosenbaum's construction drawing prints with annotated field-revision notes.
3. Mrs. Rosenbaum's verbal recollections, some of which have been recorded on tape and in note form. This needs to be done more extensively and systematically by a professional interviewer.
4. Numerous books (with photographs) in Mrs. Rosenbaum's library about the work of Frank Lloyd Wright that include or are about this house, including the just-published book Usonia by Alvin Rosenbaum (son) which is a history of this house and its environs.
5. Mrs. Rosenbaum's photographs and negatives of various time periods, including the construction process. Some film of the construction also exists, although their recovery from a borrower is required.
6. The archives of Taliesin, although these mostly duplicate Mrs. Rosenbaum's collection and do not contain field-notations on drawings and other items.
7. The most valuable resource is the house and its grounds, including about 12 pieces of Wright-designed loose furniture in addition to the built-in dining table, bookshelves etc.
8. A complete and systematic photographic documentation is needed, with each photograph mounted, dated, identified and annotated as to what is shown, compass direction, location on or in the house, etc. To the extent possible the photographs should be large-format and by a professional photographer. Details should be included, such as hardware, fixtures and fittings. A H.A.B.S. type visual measure should be included. The primary object of these photographs is documentation rather than photographic beauty. Each wall (interior and exterior), ceiling, floor and furniture item should be photographed. Furniture items should be described and dated by Mrs. Rosenbaum, whether designed by Frank Lloyd Wright or not. Items such as light fixtures, clerestory panels, hinges, door-knobs, electrical plugs etc. should be included. Based on our general experience,

at least 300 such photographs are needed. Since professional 5 x 7 photographs are costly, probably only basic overall views can be of this type, with the rest by a competent amateur volunteer with good 35 mm. equipment. The annotations must be with the negatives as well as the prints. Both must be properly (archivally) stored.

9. The archive should contain items A1 through A8, desirably in two separate archivally-suitable locations.

- B. The most pressing issue for the preservation of the house is the roof. The present roof membrane was installed in 1967 per Mrs. Rosenbaum. It consists of a flat 3 ply asphalt-mopped felt built-up roof topped by a latex-painted canvas covering whose purpose is to supply the terra-cotta color Wright liked for his flat roofs. In 1967 the dead-flat roof was slightly altered (by Arnold Roy of Taliesin) to have a slight mounding in the center with copper scuppers at the roof corners that penetrate the roof structure and spill on the ground below (no downspouts).

A built-up roof will generally last 15 to 20 years. This roof is now almost 27 years old. It leaks copiously and generally, primarily at the perimeters. On September 24, 1993 after a morning of rain, dripping water was observed at several locations to be coming through the roof soffit, behind the fascia. A sheet of polyethylene has been installed by Mrs. Rosenbaum as a patch along the east \pm 24 feet of the eave of the corridor by the west side of the Japanese garden. This plastic is wrapped under the eave and is thus trapping water under the eave and promoting faster rot. This soffit covering needs to be removed immediately. The plastic contained considerable trapped water on September 24, 1993.

Numerous undulations (with ponds) are on the "flat" roof. This indicates settling of the light wood-lattice roof structure. Some of this may be due to previous roof leaks and subsequent decay of the wood roof structure, which consists of a lattice of 3 layers of light 2x framing. Bob Whitten, AIA reports he once removed some of the cypress-veneered plywood 2'x4' ceiling panels to look at the structure and observed severe decay of the structural lattice. On August 10, 1993 Jim Hartsell, AIA toured the roof (see attached report) and stated several roof areas appeared too fragile to walk on.

"Fixing the roof" is therefore much more extensive and costly than merely replacing the membrane. It is probable that some rooms would have to be vacated (furnishings as well as people), the ceiling and soffit panels carefully numbered, removed and stored in a dry structure, the roof structure investigated and repaired or rebuilt as required, the roof membranes replaced, the ceiling and soffit panels put back and the furnishings moved back.

At this same time, finished cypress wood items (fascias, clerestory sashes, frames and structure) should be investigated for decay, (rot or termites) and repaired. Any replacement finish wood should be "tidewater" cypress which is rot resistant. "Upland" cypress is not rot-resistant.

- C. Several fascias undulate vertically and horizontally as much as 2 or 3 inches, which probably also indicates decay of the concealed structure. The sag of the long cantilever of the carport roof may be due to inadequate stiffness of the concealed steel members.

Ivy is growing on the cypress walls in some areas and should be removed completely from the vicinity of the house to prevent this. Tall, dense shrubbery beside the walls encourages retention of moisture at the wooden walls and should probably be removed if this does not conflict with Wrights' design intentions for the landscaping.

- D. White chemical-salt deposits ("efflorescence") on the interior faces of the bricks just inside the entry and on the main chimney indicate moisture on the bricks. The mortar source should be stopped and the efflorescence removed, if possible, without affecting the color and texture of the bricks. Mrs. Rosenbaum says the bricks were coated with polyurethane some years ago, which increased the difficulty of the job. The polyurethane should also be removed, if possible.
- E. The original "gravity" heating system of hot-water pipes embedded in the concrete floor was abandoned in 1991, per Mrs. Rosenbaum, who believes the pipes are corroded and leaking per the evidence of high utility bills and little floor-heat. The house presently is heated (and cooled) with a second generation of heat pumps, first installed in the 1967 restoration by Taliesin (Arnold Roy). In 1953 the original terra-cotta tinted 2'x4' grid concrete floors were covered with carpet, which would have reduced any effect of the floor-heat.

Since the 53 year old water pipes in the floor are likely leaking, a decision is needed about the floor-heat. To restore it would require demolishing the original concrete gridded and tinted floor, a loss both to history and occupancy, and a great expense. If the heat-pump system can be made to be technically and visually acceptable, perhaps the present wall-to-wall carpet (1967 installation) could be removed to expose the original floor as Wright intended (with area-rugs).

There are also several small "thru-wall" mechanical units cut into the cypress exterior walls which Mrs. Rosenbaum indicated are inoperative and not repairable. It is desirable to remove these and restore the cypress walls.

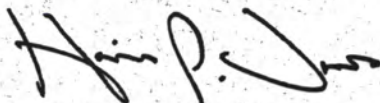
The small balcony off the original master bedroom has been taken over as a mechanical platform, with exposed wiring etc. running over the face of the house. If possible, a visually-better solution needs to be found.

- F. Some rot was observed at the base of the cypress walls and French windows. Probing is needed to determine the extent, and proper repairs made. Considerable rot was observed at the wooden fence and gates at the east and south sides of the Japanese garden. The design of the fence cap does not exclude water from the interior of the double-faced fence (a wooden stud-wall in effect). If the design can be technically but not visually altered to exclude water entry, it should be done.
- G. Electrical wiring and devices should be checked for technical condition and restored without visual alteration as needed. After 53 years, repairs are likely in order.

Plumbing devices should be similarly investigated and repaired. The water supply and waste lines are probably all under the concrete floor slab, which will complicate things (see item "E"). The wiring is also difficult to access.

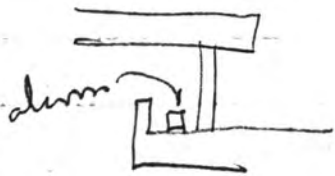
- H. The landscaping should be restored to a reasonable degree in the spirit if not the exact detail of Wrights' site sketches. Wright did not prepare specific planting plans, and the view of the river was subsequently occluded by the development of a subdivision south of the house, which has now been screened by evergreen trees. The Rosenbaums also purchased additional land toward the river after the initial house construction.
- I. The above is a brief and incomplete summary of items thus far observed. Much more work, particularly on item "A", is needed. Much more technical investigation and historical research is needed prior to formulating a plan for preservation, with the exception of the roof. The roof cannot wait for two or three years of planning. It is already 6 to 12 years past its life and the structure is now in danger because of it. Each day brings more decay of the wooden structure. Partial collapse is a possibility. The Foundation should address this need as a first priority on the actual structure.

Harvie P. Jones, FAIA



Rosenbaum - 26 OCT '93 (FLW/Asi) ①
HP Jones + Mrs Mildred Rosenbaum

1. 2 ht. pumps cover front of house, not BRs.
Ply-in holes for BRs
Ox 40 ft. ht. is turned on
2. Wiring is on top of roof for tel, TV etc. = not good
3. Bricks cleaning (polyurethane at chim, int.)
4. Fire alarm: Ansl. = \$3700/yr.
"Chubb" = insur co., demands down



5. Furn. = cypress.
Ceil = planks of straight-grain fir (Calif.)
Squirrels eating on some ext. wd. of house.
6. Larry Jones has done much woodwork on house.
Some ext. parts need repair
Garden gate needs repair, + garden wall.
7. Used painted pine hinges on orig. } Wrought steel
" reg. hinges on BR addn } brass hinges
8. LR Cab. on N. Wall built by Arnold Roy in 1967
(Tahesim)
9. E. airport added 1948
by Ben Donstov (Tahesim)

10. Mezzugals (at doors) - symbolically scrolls (scrolls inside)
11. Jap garden = 1967 } 10 commandments

Present Amm - 260 at '23

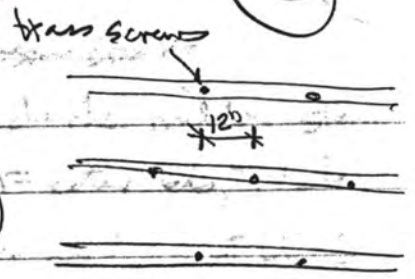
(2)

12,



JAP. EXT. WALL

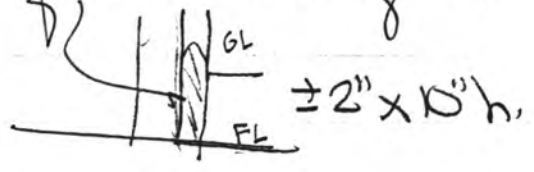
screws 16" o.c. at 1948 carpet
sloped + rounded corners (drainage)



EXT. EXT. V
1939 L.R., N.W.M.

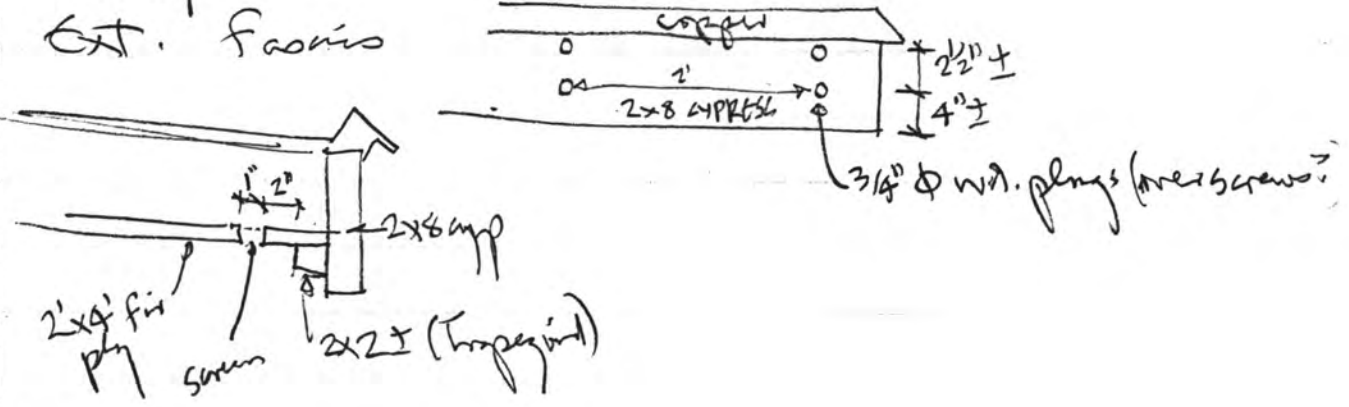
13. "lattice" props added at E. eavelet when it sagged.
This c.g. added 1948
Props = 1967 (Ben Dombas, Takiein)
14. Fascia at S.W. corner of Jap. garden sagged 1" ±.
In danger of collapse
Told Mrs R. (to prop somehow)
15. Discussed w/ Mrs R need to do wd repairs at same
time as roof replace.
16. Some air pipes inside warped or "weathered", but
verus is ok = repairable.
17. Two chim. looked to ex. fans. Not needed since
project was added, per Mrs R.
18. KID exhaust doesn't draw. See photo for pool cover.
(no hood)
19. Parquet has gvl. lay flash. 1940 roof eaves = Copper (1967
1967) supports are copper
metal
20. Brass pins hinge on ext. of doors. ±2" batts on int. doors (gen.)
21. Ext. soffits appear to be fir ply w/ a few "batts", stained
Most wd = cypress (not fact) - walls of eave
22. W. wall of Jap garden - soil is up to ±2' above fl.
Water problems inside.
23. Termites active (has been treated)
24. Jap garden fence replaced in cedar (from cypress) in 1967 (?) painted
HORIZ. its not like vert 12 above () of look. No lay flash
→ Part align w/ hse its

- 25. LR Terrace appears to pond water (dark mildew stains) ^{→ some cracks}
- 26. Exposed wires on roof (limestone) = later tel, TV wires
- 27. Squirrel damage at bottom of fr. window at LR-S.W.C.



- 28. West brick fascia is warped & dropped $\pm 2''$ in places
- 29. Some copper are flash has red pt., must bare (appears stopped from roof)
- 30. Numerous rot cond. at junction of terrace & mull of fr. window, + warps

31. Ext. Fascias

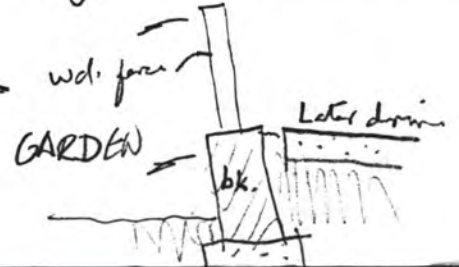


- 32. Ext fin weathered = stain + nothing, apparently. Exp. wd = oxidized from
- 33. Many sagged eaves at 1940 MBR wing
- 34. BR wing terrace appears undul. N-S, & may pond.
- 35. Ugly ducts & wires at 1940 MBR balcony
- 36. Cypress rot at MBR balc. S.W. corner, $\pm 2''$ from meter ^{to} ft. Mainly at jt-strip pcs

37. S. gate at Jeff garden is off jamb. 1967 jamb rotted. Gate ok.

38. Many rotted fascias

39.
 40. Bricks border displaced at garden S. gate. Garden traps water.



JONES & HERRIN

Architecture/Interior Design

February 16, 1994

Ms. Nancy Gonce
Project Director
Frank Lloyd Wright Rosenbaum House Foundation
P. O. Box 95
Florence, Alabama 35631

Re: Rosenbaum House
Project No. 93085

Dear Nancy:

Per our discussion of 14 February, the following technique seems the best way to refine the Historic Structure Report in its technical aspects without requiring that the house be vacated of all furnishings. We know that the long-term roof leaks have caused some degree of deterioration of the concealed and inaccessible roof structure (framing and decking) as evidenced by the undulations of the roof deck surface and the visible deterioration and leaks at the roof eaves and parts of the ceiling and soffit. The technique would be to do a sample area, probably the guest room and part of its hall, in the hope that the type and extent of deterioration found in the sample area would be generally representative of the rest of the house. This area seems to be the most easily vacated without unduly interrupting Mrs. Rosenbaum's use of her house. Eave leaks and roof undulations are present at this area.

1. Identify by location and compass orientation each 2' X 4' wood ceiling and soffit panel. The marking would need to be durable and securely attached, without marring the finished surface. Perhaps the marking would be on the concealed upper surface.
2. Carefully remove each identified panel without damaging it (the cypress panels are probably not obtainable now). Store the panels flat in a climate-controlled space, preferably in the house, not in contact with the concrete floor or with each other, and with no protruding nails.
3. Examine the now-revealed roof framing and decking and document the extent and type of repairs needed.
4. While the structure is exposed, it only makes sense to repair it before reinstalling the ceiling panels. The cost of this may need to be done with funds outside the Historic Structure Report Funds. However, it seems reasonable that the investigative carpentry cost of removing and reinstalling the ceiling panels are a proper cost of the Historic Structure Report since without this, the roof damage would have to be complete guesswork.

5. The original drawings show no roof insulation. Mrs. Rosenbaum recalls that in the 1967 restoration, insulation batts were installed in the roof framing of the entire house. She does not recall the thickness or type of batts, or whether it had a vapor barrier. If needed, this insulation should be properly replaced while the ceiling panels are down, after repairs to the framing are completed.
6. Reinstall the ceiling panels in their original locations and compass orientations, using the original nail type, size and nail-holes, without marring the panels with soil or hammer-marks etc, and setting the nails in the original manner.

A good finish carpenter who understands and respects the house is an essential element here. This choice should be carefully made. The architect should meet at the site with the carpenter before any work commences. A quote or estimate for the marking, removal and replacement of the panels (but not the hidden and unknown repairs) should be given to the owner prior to the work.

Any needed roof-deck repairs found would have to be done when the house is re-roofed. The repair locations should be noted in this examination.

7. Depending on the cost of the above carpentry work, the architects would refine the Historic Structure Report by making a field-noted survey of each interior and exterior vertical and horizontal surface as to condition, differences from the FLW drawings, later elements such as exposed wiring, mechanical units, items not shown on the plans, etc. Rather than expend these funds on the preparation of formal drawings, it seems more important to gather as much detailed information as possible in field-note form, which can later be directly used in the preparation of restoration documents. For historical purposes, a formal detailed report is desirable if funds for it become available.

Heretofore all of my time and most of Jim Hartsell's time on the Rosenbaum House has been donated, charging only for printing, typing and some of Jim Hartsell's in-office time. I also donated a meeting recently with Mrs. Rosenbaum to help on the repairs in the guest room due to frozen-pipe water damage. For this phase, our normal time-and-expense rates will apply:

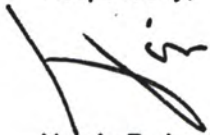
Harvie Jones	\$100/hr.
Jim Hartsell	\$ 50/hr.
Travel - .25 cents/mile + food, if any	
Reproduction - 1.25 X cost	
Long Distance Telephone - at cost	
Administration (typing etc.)	\$ 30/hr

Travel time after work at the site concludes for the day is not charged. For this reason we typically schedule meetings at the site for late afternoon so that return-travel time is not charged to the project.

The proposed sampling method should be reviewed with Mrs. Rosenbaum.

Please let me know when we should get together to discuss the procedures on the sampling technique.

Respectfully,

A handwritten signature in black ink, appearing to be 'Harvie P. Jones', written over a light blue horizontal line.

Harvie P. Jones, FAIA
HPJ/tm

cc: HJ
Jim Hartsell
file

JONES & HERRIN

Architecture/Interior Design

September 27, 1994

Mrs. Milly Wright
P. O. Box 279
Florence, Alabama 35631

Dear Milly:

DRAFT (REVISE AS YOU SEE FIT.)
GRANT APPLICATION FOR ROSENBAUM HOUSE STABILIZATION
PROPOSAL REVISION
SEPTEMBER 27, 1994

The previous grant request was for the planning and execution of the roof and attendant decayed-wood repairs. Since the Rosenbaum House has no attic, the location and degree of decayed roof decking and framing cannot be investigated without the careful removal and storage of many of the irreplaceable cypress ceiling panels and the old roofing. The repairs must be executed while the panels and roofing are off, to minimize the handling of the panels and the probability of damage to them. A probable cost of this operation, including the new roofing, is in the range of \$80,000 - \$100,000.

The Rosenbaum House is now at a crisis stage, with water pouring in at several places during rains, and makeshift plastic-film patches in place, which may be causing more damage than good. The roof is too fragile to safely walk on in several areas. A heavy snow or wind could cause a partial collapse.

If the amount of funding available is to be limited to around \$5,000, (about 1/20th of the amount needed just for the roof work) it seems the best use of the funds would be to attempt to stabilize the roof and at least slow down the water entry and consequent further decay of the wooden roof deck, joists, ceiling panels, and interior finishes and furnishings. It is therefore proposed to engage a reputable and interested contractor (not a "roofer", since there is much more involved than roofing) as selected by the Frank Lloyd Wright Rosenbaum House Foundation and approved by the Alabama Historical Commission, and use the limited funds to patch the roof as well as practicable, in a temporary manner.

It is not practicable to take fixed-price bids on work of this sort, since the work cannot be defined closely in advance. The architect would meet at the site with the selected contractor, owner, and the Foundation to discuss the types and extent of work proposed to be done.

It should be recognized by all that the patching will not stop all the leakage and further decay, and will have a short life. It must all be redone properly when sufficient funds are available for a proper restoration. The possible partial collapse mentioned above will not be prevented by this patching, since it is impossible to know the location and extent of present decay with the ceiling panels and old roof still in place. Even if this was known, the \$5,000 would not begin to pay for the repairs.

If, in doing the patching, the contractor locates an extremely fragile part of the roof deck or joists, it may be necessary to install temporary, visible and unfinished props inside the house.

P.S. April 1995 -
Has eridamaged (see roof rot
photos in this book). Mrs. R.
feels she can't sell or give
house to Hist. Fdn. in order
to make it eligible for grants.
Can't get grants for a
private residence.
How many collages.

W. Jones

\$5,000 in
temp. patching
done
M.H. 95

The Rosenbaum family must be made well aware of all this, lest they get the impression that the roof is to be properly repaired and that it will then be safe from possible collapse and further decay and leaks.

Please let me know if you have any questions.

Respectfully,



Harvie P. Jones, FAIA
HPJ/tm

copy: HJ
file

From Ahim Rosenbaum

→ letter (stabil only)

re Rosenbaum job

roof, elect, HVAC

Jack Walter (W. Jackson Walter)
J?

28 July 97 Tel

3100 Rolling Rd
Chevy Chase, MD
20815

301-654-1988 + FAX (Me)

\$175_m - 200_m ±

Nancy Gorce - Florence (205) 766-9719

Mildred Rosenbann - (205) 764-5274

AAC - Kim Hardin (this prof, 94)

ALVIN ROSENBAUM 3107 Rolling Rd, Chevy Chase MD 20815
301-654-1988 (tel) FAX-301-654-1994

Mildred Rosenbann
117 Primrose Dr.
Florence AL 35631

OCT. 20, 1997 -

Met w/ Alvin Rosenbann.
Told him I will retire
in '98. Advised him to
hire an arch. who has
recently restored a USamin
hse. (several have been).
He anticipates a several-yr.
financing effort to do the job.
Probably \$2 million will
be needed. *HR*

To 719
Date 1/4 Time 1:05 AM PM

WHILE YOU WERE OUT

M Sarah Biggs
of FLW-FNDN.
Phone (312) 663-1786
Area Code Number Extension

TELEPHONED	<input type="checkbox"/>	PLEASE CALL	<input type="checkbox"/>
CALLED TO SEE YOU	<input type="checkbox"/>	WILL CALL AGAIN	<input type="checkbox"/>
WANTS TO SEE YOU	<input type="checkbox"/>	URGENT	<input type="checkbox"/>

RETURNED YOUR CALL 4

Message
Registered & keep them posted
no progress - Jan '95

Operator Tom

AMPAD EFFICIENCY® REORDER #23-000



PHOTOGRAPHS: MEG MCKINNEY SIMLE

Built from cypress, glass, and brick, the Stanley and Mildred Rosenbaum House in Florence, Alabama, is a tribute to the timeless designs of Frank Lloyd Wright.

Doing a House Up Wright

Stanley and Mildred Rosenbaum had a wonderful problem. As newlyweds in 1938, they were given \$7,500 to buy or build a house in Florence, Alabama.

The problem was, they couldn't find a house or plan they liked. "We had a friend from Florence who was studying design in New York," says Mildred, a lovely lady with a genteel manner. "He told us about Frank Lloyd Wright."

Frank Lloyd Wright? Interested in a newlywed couple in North Alabama? It turns out he was. "We were so ignorant," smiles Mildred. "We just decided to contact Mr. Wright and ask him for a house."

Their timing couldn't have been better. The great architect, then 72 years old, had become interested in building affordable housing for the

average family. The plans for a "Usonian" house (his term for practical residences) arrived in 1939, along with an apprentice to supervise the building.



Completed in 1940, the house is an example of Wright's effort to build affordable family homes.

"It took nine months to build," says Mildred. "The townspeople at the time thought we were crazy because the design looked so different from the average house."

Indeed it did—and still does. A carport juts out from the front of a multilevel, cantilevered roof, and the elevations follow the natural contours of the site. The house was completed in 1940 and is now open for personal tours guided by Mildred. Her husband, Stanley, passed away a few years ago.

"[Wright] also designed most of the furniture," she says, drawing

visitors' attention to the dining table that extends from the wall. "But some of it, especially the chairs, was terribly uncomfortable."

Mildred shows visitors not only Wright's designs, but also her bright weavings and looms that decorate the light-filled rooms. She smiles when questioned about the flat roof. "Yes, we've had leaks," she says. "But Mr. Wright never could be bothered with technicalities."

Nor could the Rosenbaums. They knew they had found the Wright house. *Wanda Butler*

THE WRIGHT STUFF
The Stanley and Mildred Rosenbaum House: Florence, AL 35630; (205) 764-5274.
Tours: 10 a.m.-5 p.m. daily. Reservations are required. **Admission:** \$5 per person or \$4 for groups of four or more, seniors, and students.

L291

1948 addition →



↘

Sept '93 photos - Jim Hartsell, James & Herrin, Arv. - W.ville
1940 Rosenbaum Hse (+1967 Addn)
Florence Al., Frank Lloyd Wright, Arch.



↘
1948
addn
↘
carport

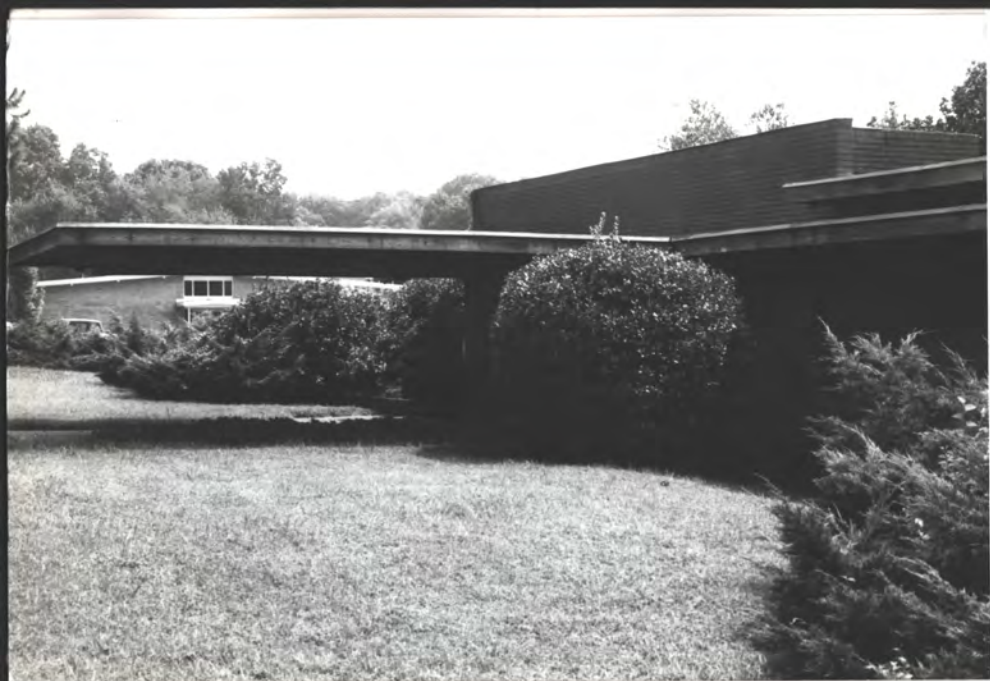
↘



↘
1940
carport
↘
denting
↘

↘





H ←



PL

Study



Study

N

LR)

Dim)

N ←



Study

CLR

H ←

CDim

CR'S

3 of 7



Study H ← LR Din



H ← Study LR Din



Din H ← PBR



Study J CLR EDin B.826 → N

↙ Guest B.R.



1948
Guest
Wing
↙

1948 rest of yard

XV
1960's KIT ↘



1960's
KIT ↘

↗
1948 rest of yard

↖ Cross. to Guest Bm
polyethylene roof patch - needs
removal & proper repair



1940
carport

→ N

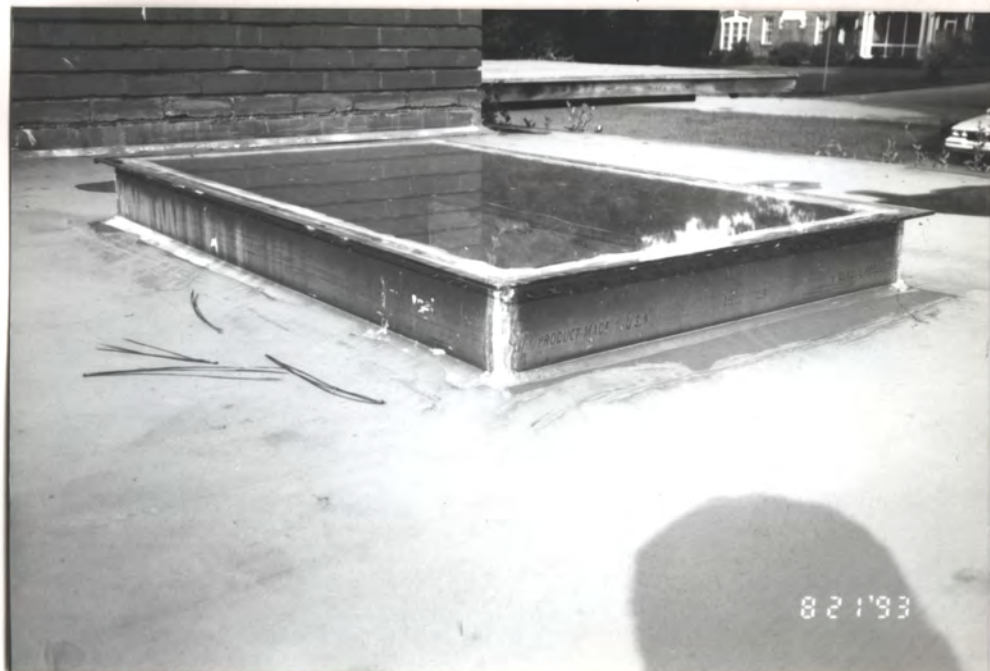
5077



brick summer (by FLW) at 1960's int. cond.

N

1940 carpet
↓



1948 WTD. slat.

N



N

N
pond



1948 WTD. +05

N



S.W.M. of 1940
H.M. by W.T.



S.W.M. of 1940
H.M. by W.T.

S.W.M. of 1940 (first) corner

1967



} bricks
screen
at AC



Stripped roof at 1960's west wing (by FLW)

↑ later prog
by Taliesin



peeled canvas topping edge at roof (numerous)
(Built-up roof is under canvas.
Painted canvas is only for south - color.)

LR



1948
addr

→ N

roof ponds & blisters

FIG. 1

water damage



water damage

Ceiling damage

FIG. 2

1940 Rosenbaum Hse (F.L. Wright)
8/21/93 Florence, AL.
6 pgs photos by Jim Huntzell, JH



→ N

Guest wing ↓

← CT, TD →

FIG. 3

BLR



→ N

FIG. 4

Study
↓



FIG. 5

A.C. unit on balcony



↑ HVAC unit on balc. + elect panel
↙ balcony at MBA
↑ roof slope, rotted

FIG. 6

↳ L.R. drain



FIG. 7

↳ c. 1967 copper scupper (top.)

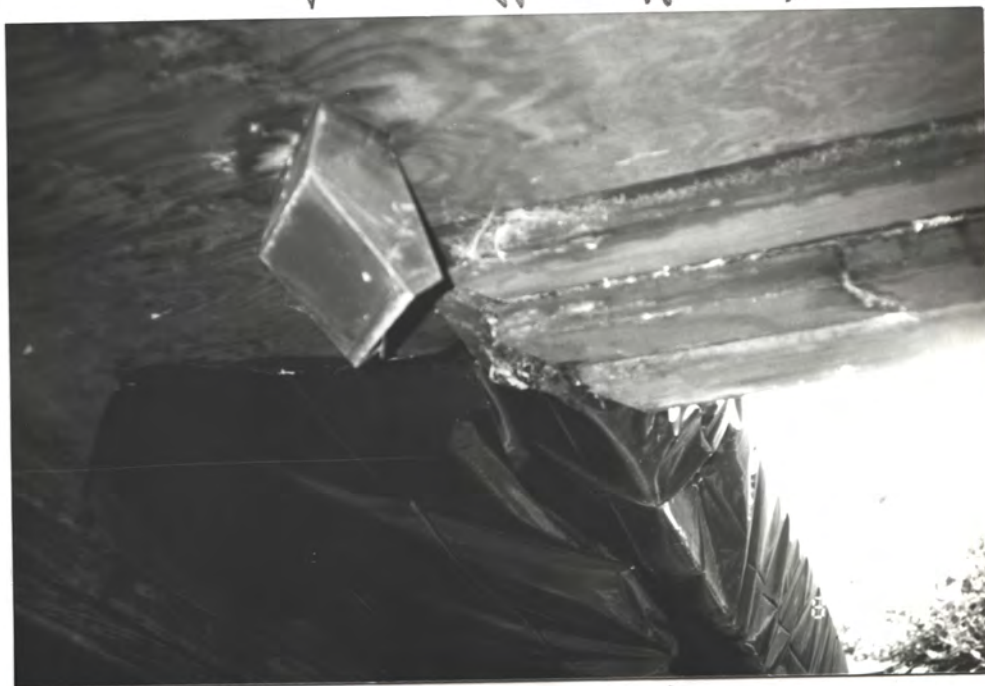


FIG. 7A

↳ polyethylene wrapped
over leaking roof edge
(promotes rot)
Weight removal.



← plastic wrap on edge

GT.YD.



FIG. 8

HIGH ROOF



Low ~~ROOF~~

broken & total destruction done.

FIG. 9

Inside



← Overstory
at 2nd
150
S.W.M.

→ W

FIG. 10



← at S.W. corner LR
FIG. 11

69



c. 1948 N. E. Wing ← (bunk rm, larger kitchen, 2nd carport)



c. 1948 admin ← → 1940 wing (except taller parapet)

1940 Stanley & Will Arch. Rosenbaum & Eversheim Dr. Florence, All. Photos Nov. 1993 Laurie P. James Franks, Nov. 1993, RM preservation study report



1940 wing, except taller parapet → make chim. "draw" better (Mrs. R.)



Entrance ← Street → Carport



Planter at east
of entry
↓
N

L.R. North Wall,
west of entry

↓
N

2



Steps
↘



1940 Camp

entry is at
sidelits

L.R.
N.W.M

↓
N

304
+ 0



N ← CHAPEL → L.R. → Study →

note roof defect →

note roof defect →



L.R.

1940 Study



Study N ← L.R.



D.R. N.B.R. C.B.R. S.W.-BR (MBR)



L.R.
↙



AN

Study ↘



H ↘

L.R.
S.W.
CORNER ↘

Study ↘

↘



↘
Study
N.W.
CORNER

↘

5
0450



↑ deflection at top



L. R. - S. W. M French Windows (typical)
brass piano hinges

↑ nail-patches at top



↑ rot, drags



↑ conc.

↑ rot, nail-patch ↑ rot



H ←

↑ S.W. Corner at
Din. Rm



N ←

rot ↗ ↑ S.W. Corner at
Din. Rm



↑ N

Study

L.R.

D.R.

N.
B.R.

Cent.
B.R.

S.W.
B.R.
(M.B.R.)

Guest Rm
Adm

7 of 60

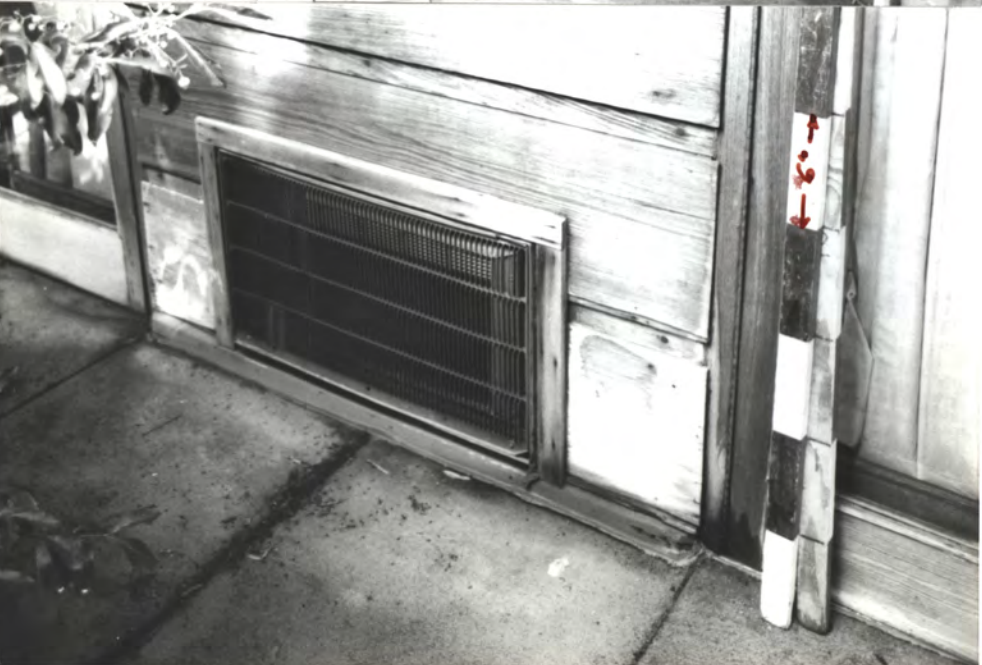


N. - B.R. →

Later A.C. unit ↙

Cent. B.R. →

Later A.C. at N - B.R. ↙



Inter duct, SW. & wires ↗

1940 balcony at S.W. corner of M.B.R., converted to A.C. platform in 1960's(?)

↙ balcony rail (solid, painted)



IMPR balcony
 * → c. 1948 Guest Rm
 Rm by EBW
 N → Sag ± 4°



Sag ± 4° Prot
 S. eave at Guest Rm Rm.



Sag



Later A.C. at
 S.E. Corner of
 Guest Rm
 Rm.

← window at
 guest rm, bath

PH

Sag ± 4°

40
89



1940 MBL Balcony → 1944 Guest Rm Add



1948 fence at "play yard"

1948 erect carport
Note misalignment of horiz. pts.
of fence, gate & hse. = not orig.



1948 erect carport (trellis added later, c. 1968, when roof deflected) - per Mrs. R.



1948 Carport

→ N
↑ door to obli. rm. / KAT

6

N
↓



S.E.
Corner
at
Gt. Md.
H
4

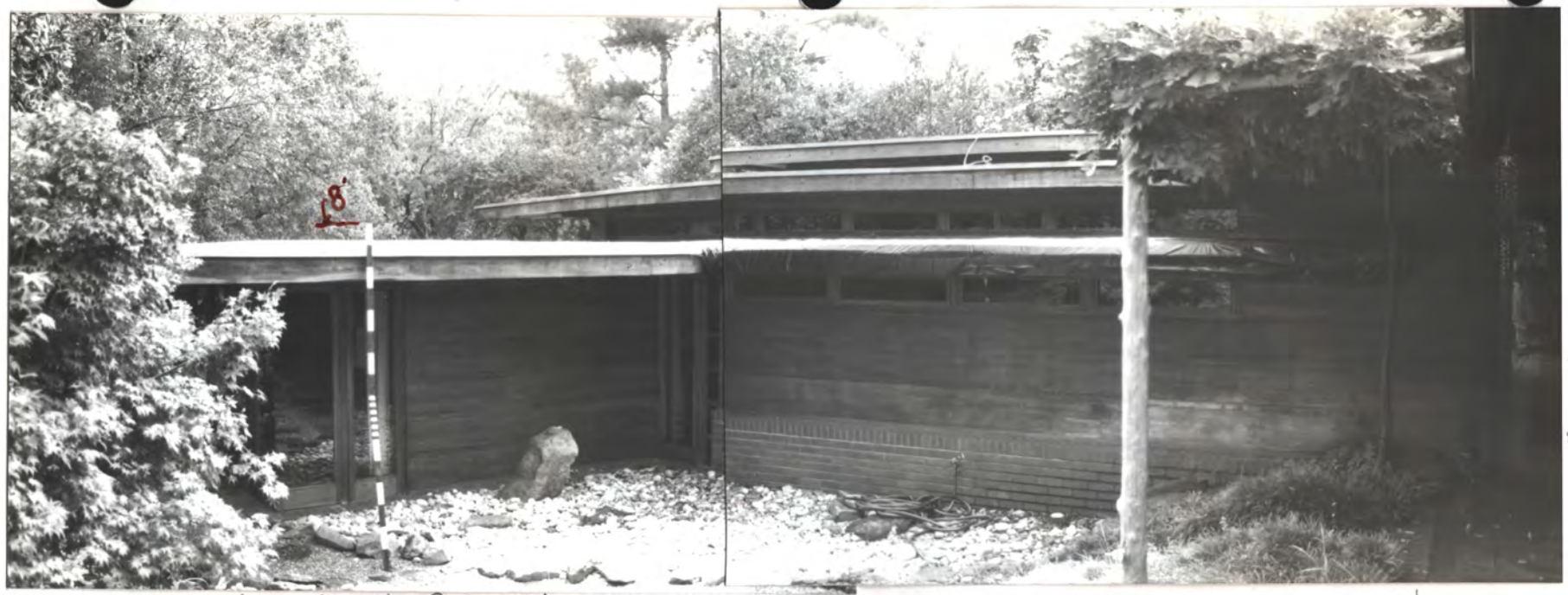


1948 pliny yard,
later converted to
"Japanese" garden

↓N

S.W. Gate at courtyard
← opened gate, w/ fence jamb
end (rotten) attached.
gate is very heavy.
Jamb too light for wtd

110460



N
 ↓
 Bunk Rm
 A.M.
 S.W.M

S.E. Guest Rm A.M.
 door to E. Corridor add.
 eave rotted & deflected, wrapped in plastic (urged removal)



62

E. Corridor A.M.
 E.W.M

City

Bunk Rm. A.M.

N



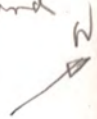
NE corner
of Great Room
↓
↓

typical
← 1968
copper shingles
by Taliesin
Assoc. (+
humped roofs)

rotted fascia,
soffit & framing
typical



Entry
1 AM
Entry is
at back-
ground



brick is
airport
stud.
beyond

1940 Entry (int.)





13 of 60

Entry door at left.
Small window looks upon planter
to east of entry door.

→ white is efflorescence,
behind late polyurethane sealer
on brick (mistake)

→ N.
Looking West from entry
into L.R., & study beyond



Looking S. from entry to hall intersection



Entry hall from entry to L.R. N →
Looking E. from L.R.



N ←

entry

fireplace



→ N

study beyond

Mrs Mildred
(Milby)
Rosenbaum

L. R. 1940



↑ N



↑ N

14

study
is
at
punk
corner
↙



↙
↘

store. cabinets added later,
not by Taliesin (was shivs)

N. WALL
L. 12.
1940



study entry (dm. 2 steps)

added
cab..



4
↙

15 of 60



↙

4 FLW ottomans



D.R.
beyond
→



H ←
Fireplace ↗

16

20

← fireplace

H

H

← Din. Rm



white is
efflorescence
behind later
polyurethane
sealer on
brick
(mistake)

H →

H → Added A.C. grille at
N.W. end of chim. (fcs.w.)

L.R.



Fireplace



p
DIZ
beyond

88

L.R. S. Wall

study
beyond

12
0660



Fireplace

S. Wall



N

L.R. (clearesting is typical throughout hse)



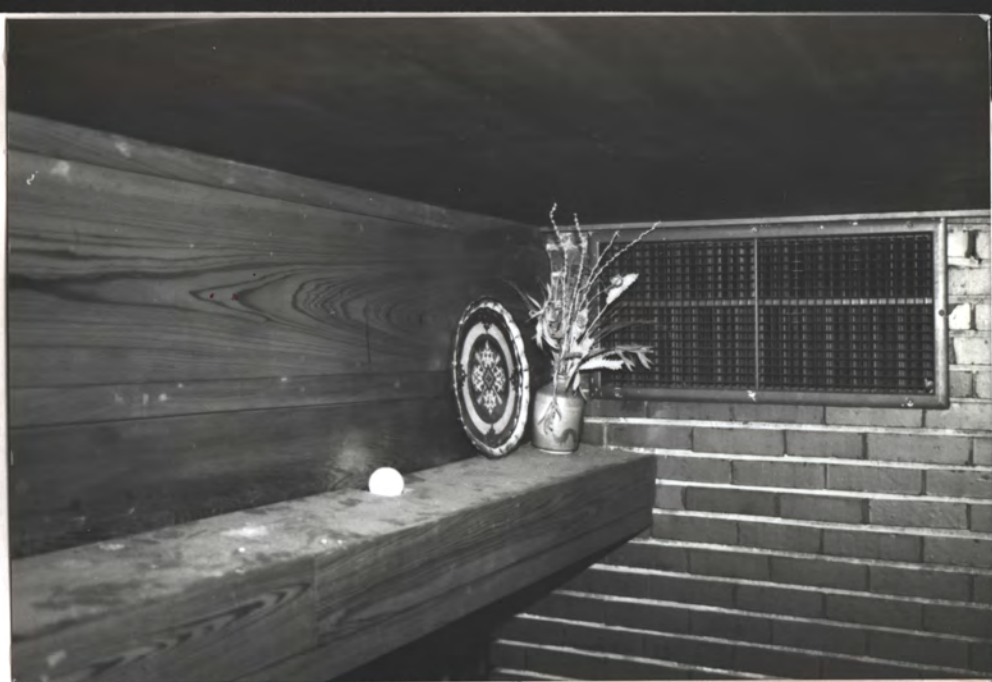
S. Wall

Typical 4 clearesting pierced - 80. pattern





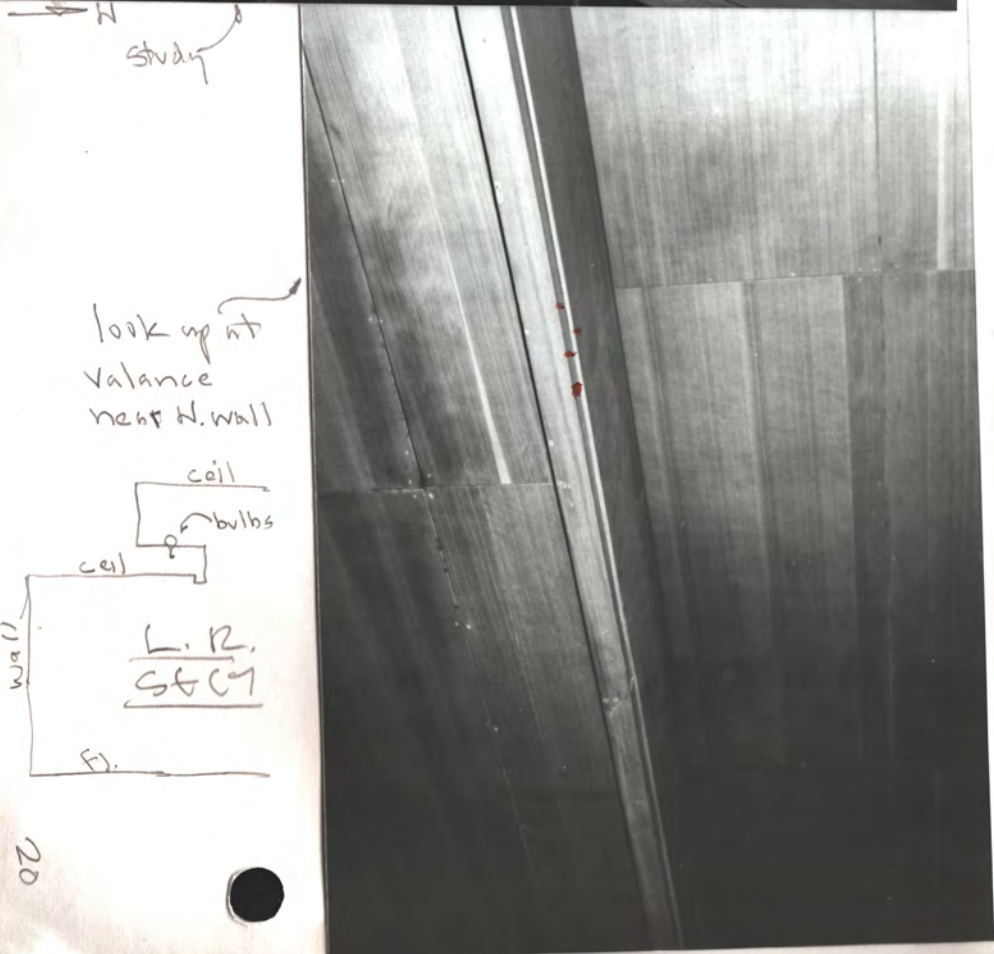
L.R.
N. Wall
Valance



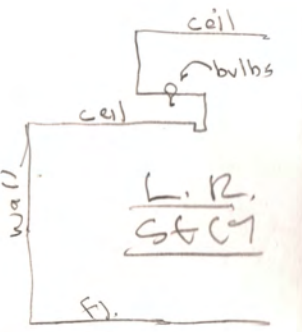
2 H. bulbs 4 o.c.

↑ later AC
grille at
chim.

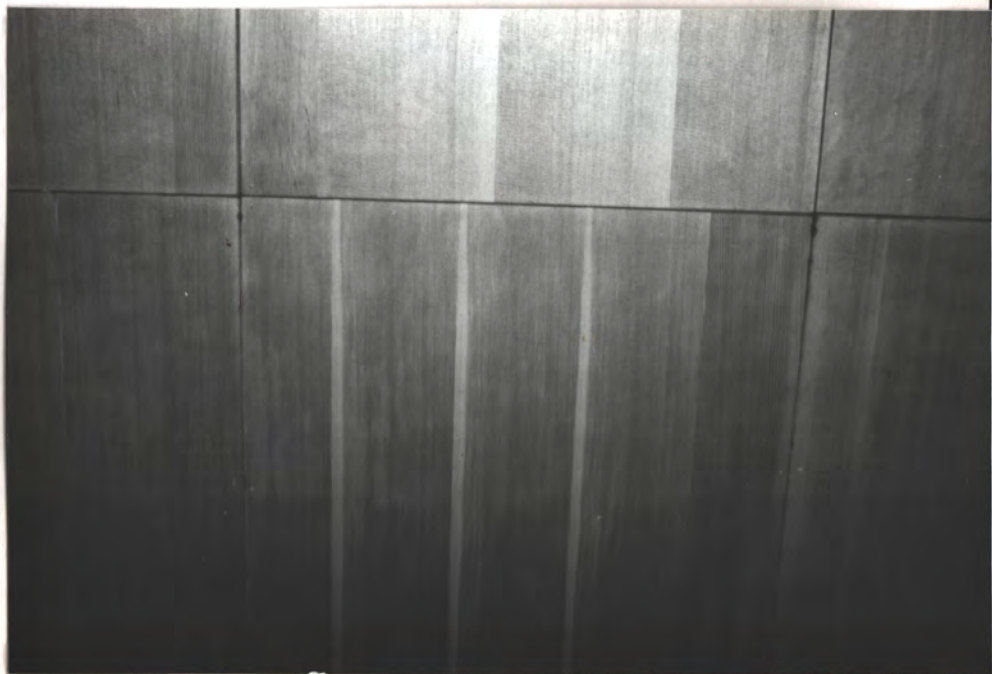
→ N
study



look up at
valance
near N. wall



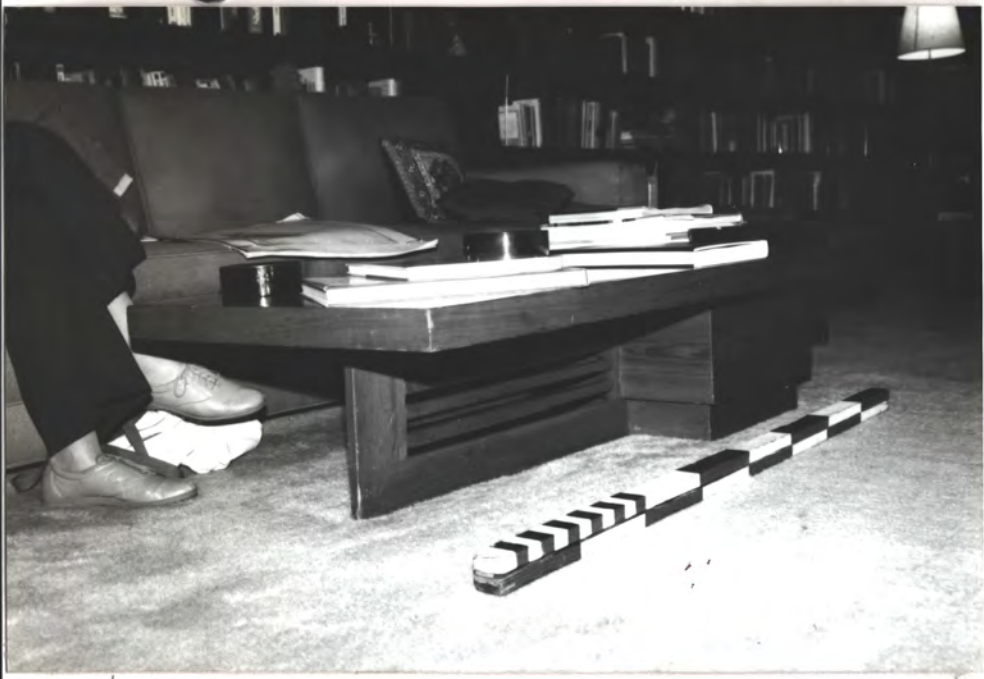
20



Ceil. pins 2' x 4'
at L.R. (typical through out)

→ N

2/9/51
40



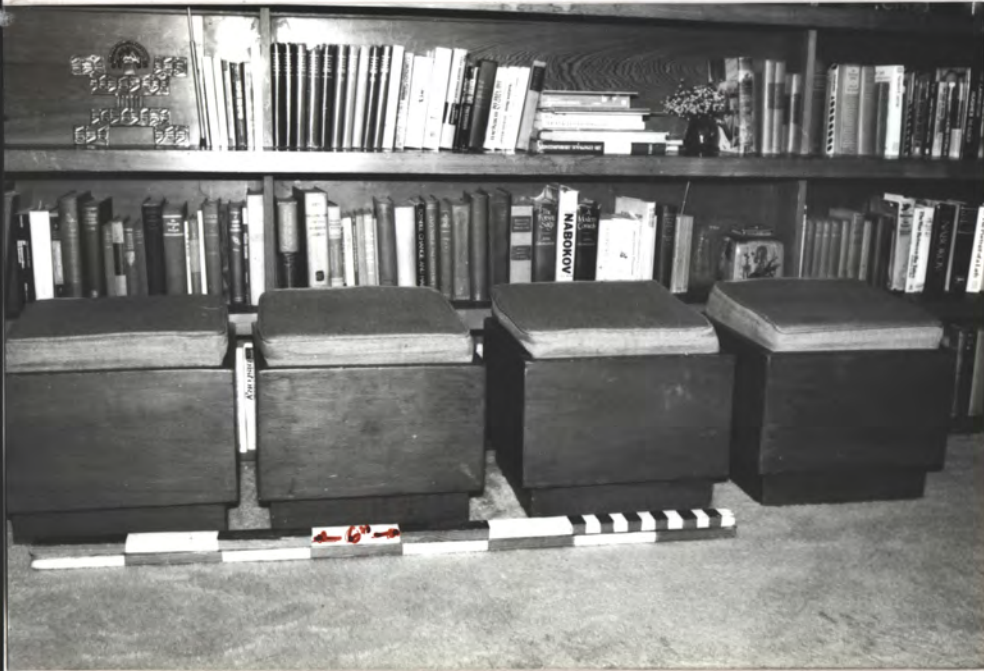
NR

7



NR

F.L.W. from remaining in LR (much gone)



AN



NR



DN. 2 steps to study ↓ L.R. BEYOND

STUDY



UP to L.R. ↑

← S. terrace



Attorne

→ AH

STUDY

→ AH



→ AH

FLW desk



→ Z



24

2 steps up
from study
to L.R.
beyond



L.R. fireplace →

Din. Nave



L.R. fireplace →

→

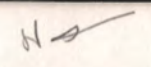
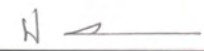
24

05
8460



FLW furn.
c. 1948 chairs by Charles Eames, design (orig. were FLW chairs)
D.W. R.M.

all built-ins by FLW





DR. → ← N
 ↑
 L.R. beyond



Orig
 KIT.
 (small) ↗

← N ↑

door to 1948
 a.m. (KIT. +
 bkrm/plyrm)
 (this originally was
 the east ext. wall)



Ennes
 Chairs ↗

Orig. Din.
 TABLE
 FLW ↗

27 of 60

FLW →
table,
Eames
Chairs

W
↓

FLW. according
door to orig.
small kvt.
(workspace per flw)
↓



Din.
Rm.



← FLW
form. design
(Mrs R.)
↓
W

DR. ← LR.



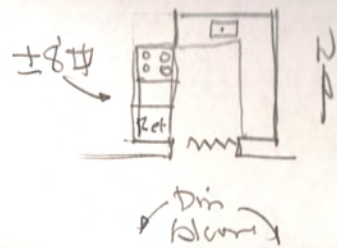
Din.
table



W
↓



1940
KIT.
(small)



Ref ↗

22

29
of 60



→

accord. AM
1940 BW
per Mrs. R.

1940 CAT.
S.W. corner



AZ

1940 bath, at N. end of hall



← skylit

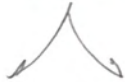
N



N



1940
B57H
A7 N,
END OF
HALL



N

N

↑ to hall



N ↓

6N

1940 B.C. A6LL

Edon to S.W. - MBE
door to S. Cent Blk ↑



N ↓

A ↓

31 of 50

see detail
photo below

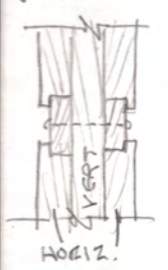


1940 B.R. K&LL door jamb P.M.B.R. door



brass
screws
10" o.c.

typical
wall detail
(ext. + int)



See
sect.
at
left

miniature scroll holder
at M.B.R. door (Danish)

33
of 60

N



North B.R.

N



bed at N. wall



S.G. Crown bed



N. Walsh NP

(punk printing)

N.-B.-R.

NP



← W
W. wall

N. wall



E. wall

→ N

↖
 hall door

Central B.R.
 (converted to Mrs. R's
 weaving rm.)

09
to 66



← W. Wall N. Wall →

CENTRAL
B.R.
(weaving)



↙ S. Wall



↙ N

curtain area →
was 1940 door
to balcony



↘ Z

FLW design



↙ N

(bad printing)

1940 Master
B.R. (S.W.)

↘ Z



→ 6"

22

394E
60



→ N

← bed

1940 M. B. R.
(SW.)



↑ N

hall door ↘

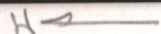
← H



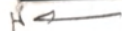
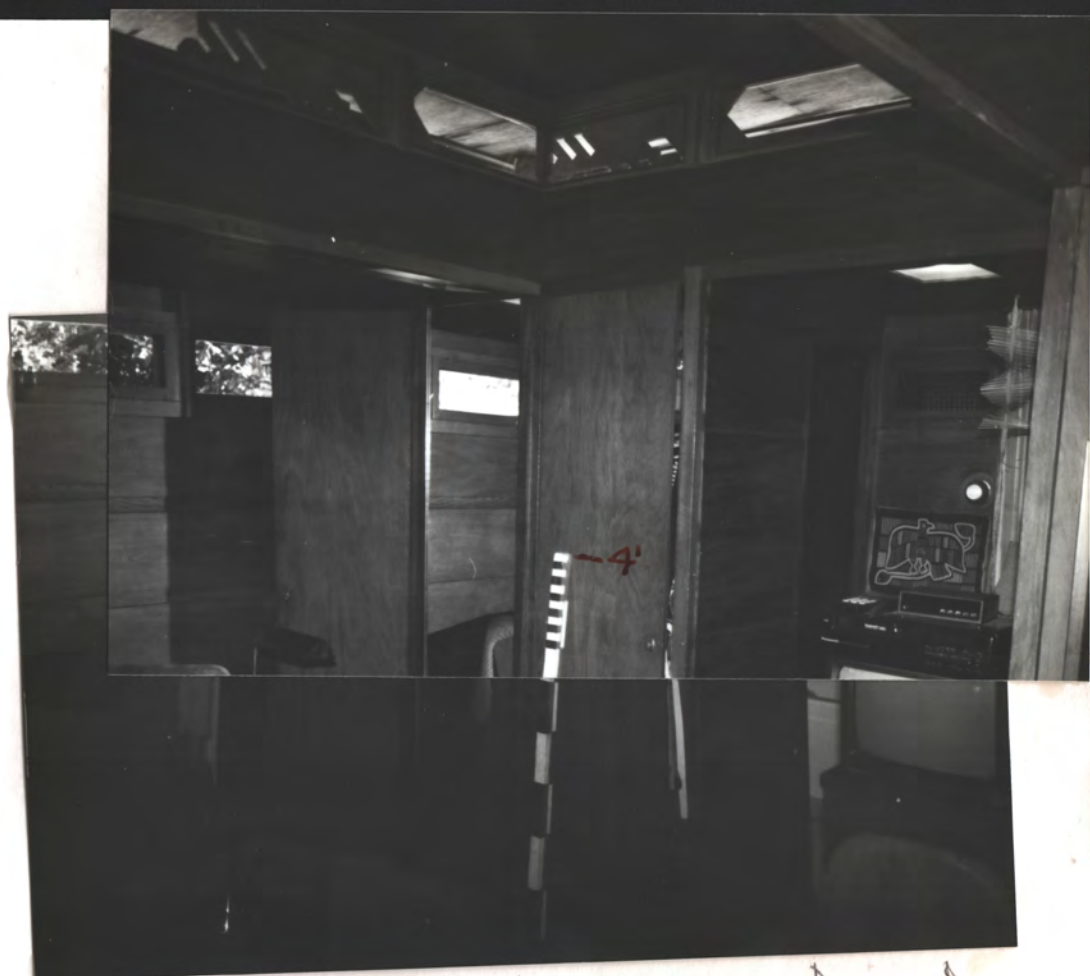
FLW design



↑
door to h/m



E.W.M.



↑ ↓
MIRROR
(deceptive)

S.E. Corner

↑
Bathroom

↑
alcove to
bakery

1940 S.W. - M.B.R.



W ↙

Pluv.

P.w.c.

mirrors ↗



W ↘

lav. ↗

w.c. ↘

tub ↗

41 08 60



AT 0660



W. HALL,



N

c. 1948 ENT hall



← bunk rm. ADA beyond (S. work + ct. g.n.)

N



HA
cp. of
door
guest rm
door



AN

1948 E. 12th to guest rm.



look W. from guest rm
into S. end of E. hall
N

AS of 10

H
S.C.
Cm



N

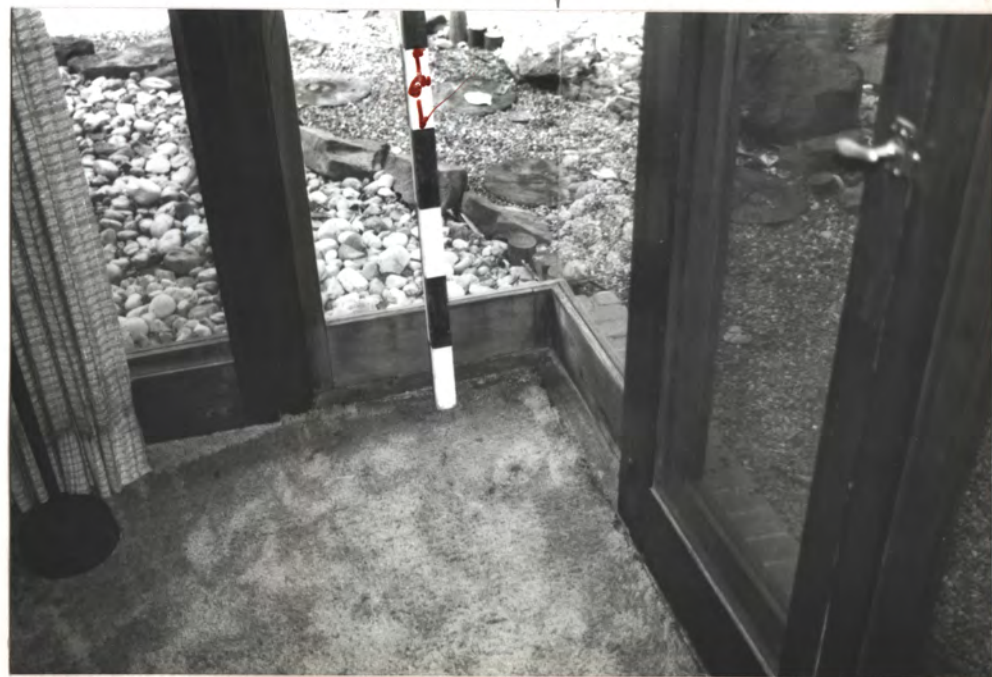


N



1948 Guest Rm. A.M.

N.E. corner



N.E. corner

N



ben

S.W.M

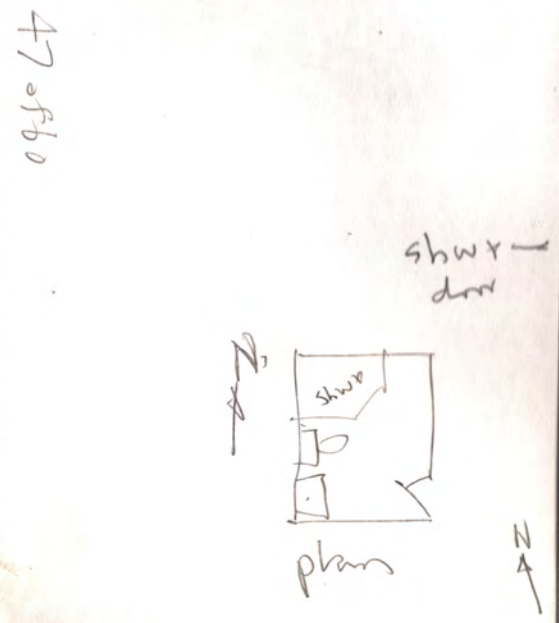
(pink prints)

↑ bath door W. wall (closed)



↑ door to
hall

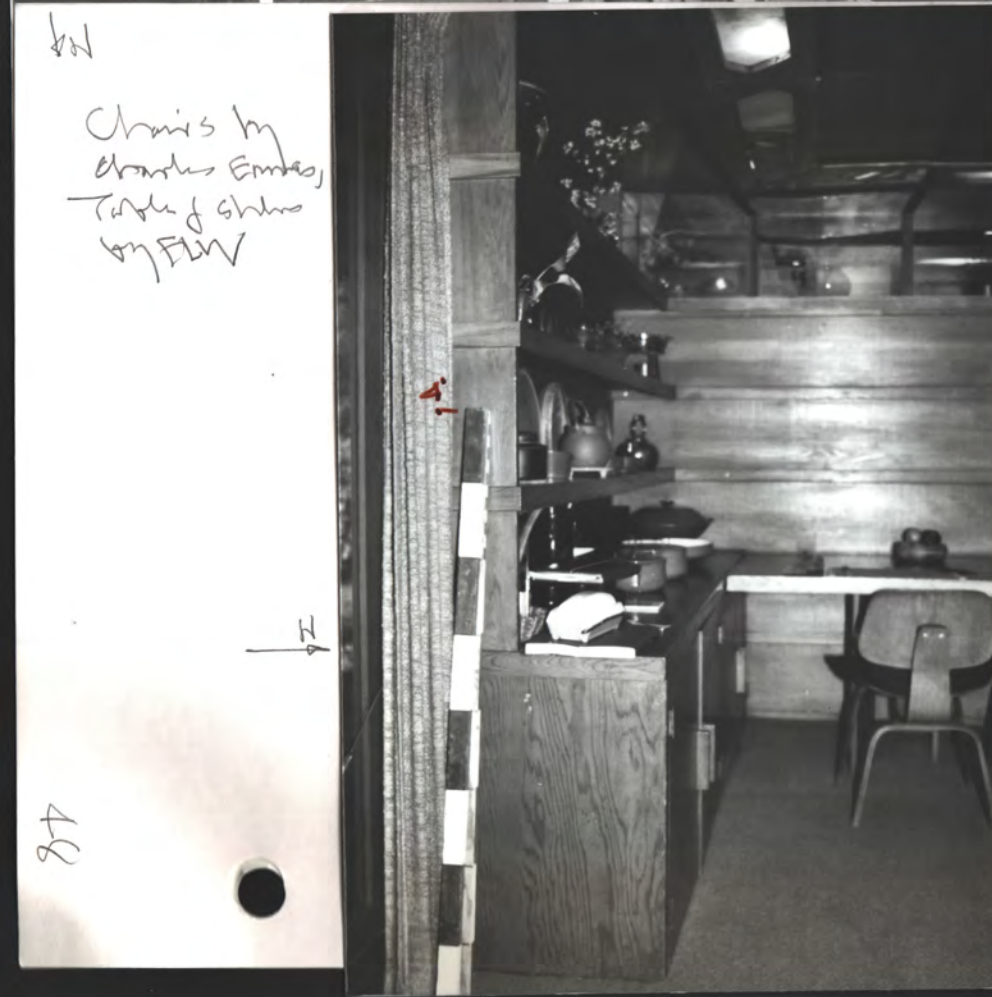
GUEST
BATH



NA



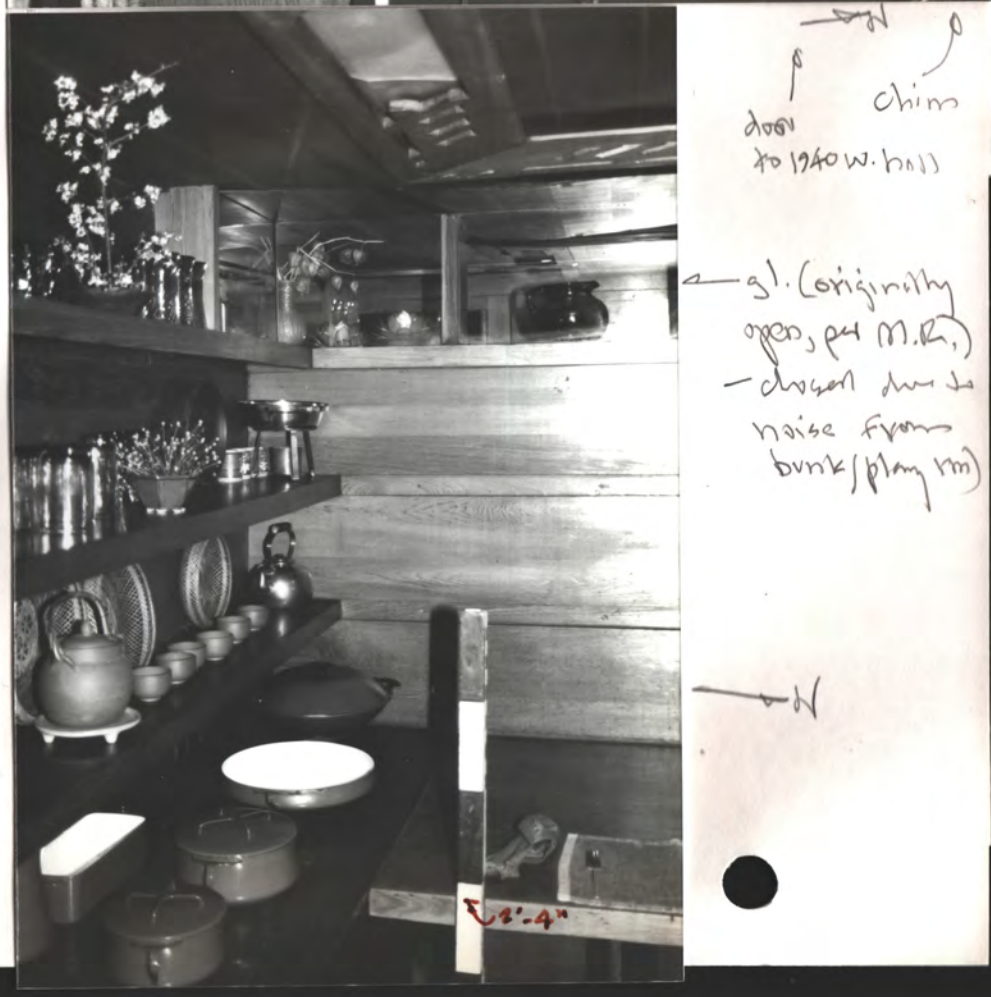
1948
DIN.
KITCH
ADD.



bol

Chairs by
Charles Eames,
Table & shelves
by FLW

87



door
to 1940 w. hall
chim

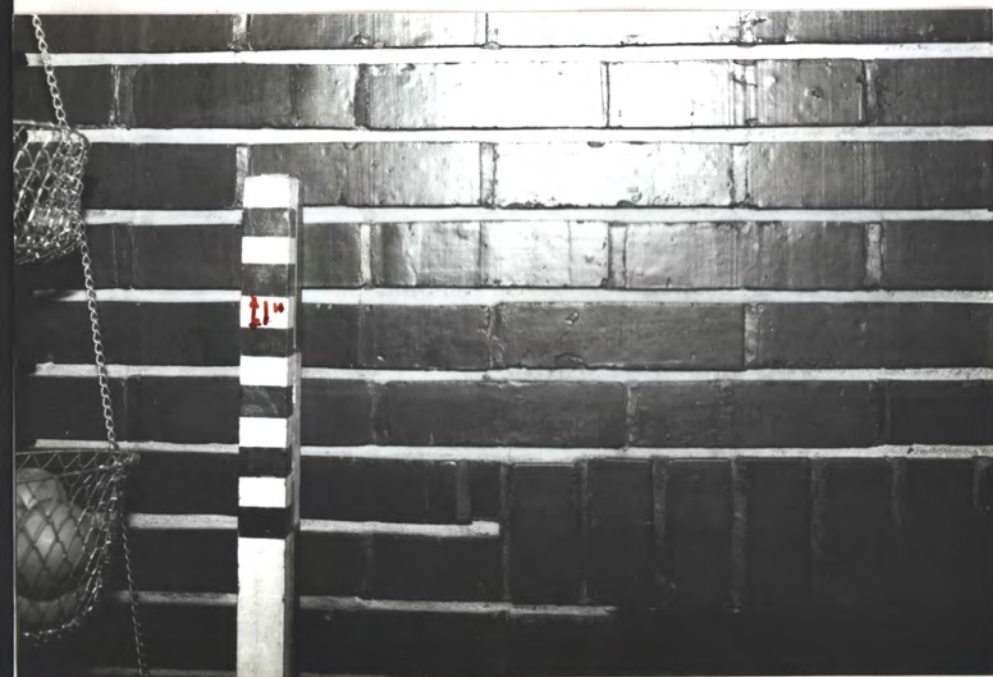
gl. (originally
open, per M.R.)
- closed due to
noise from
bunk/play rm)

5'-4"

4906
85



c. 1948 fireplace in all.



↑ added glass at transom
between 1948 din. area
& 1940 hall (was open,
but noisy, per Mrs R.)

sw. ↓
door +
1940
hall

← head - gr = flared + tinted to match trim
→ bed - gr. raked, + white

1906
INT +
EXT.

← 1948 fireplace



BUNK / PLSY RM ADD., 1958

fireplace



50

51
0960



→ N

E. Wall of E. Hall
↑ S
↑ D.



→ N
fireplace

BUNK / ALBY RD ADD. 1948



↑ door to util. rm / carpet

↑ N
↑ N



E. Wall, was 4 wall-bunks, now book cases

Skylit

N



52

2ND.
KIT.
ADD.
1948



E. Cleverstony at Bunk Rm / Play Rm

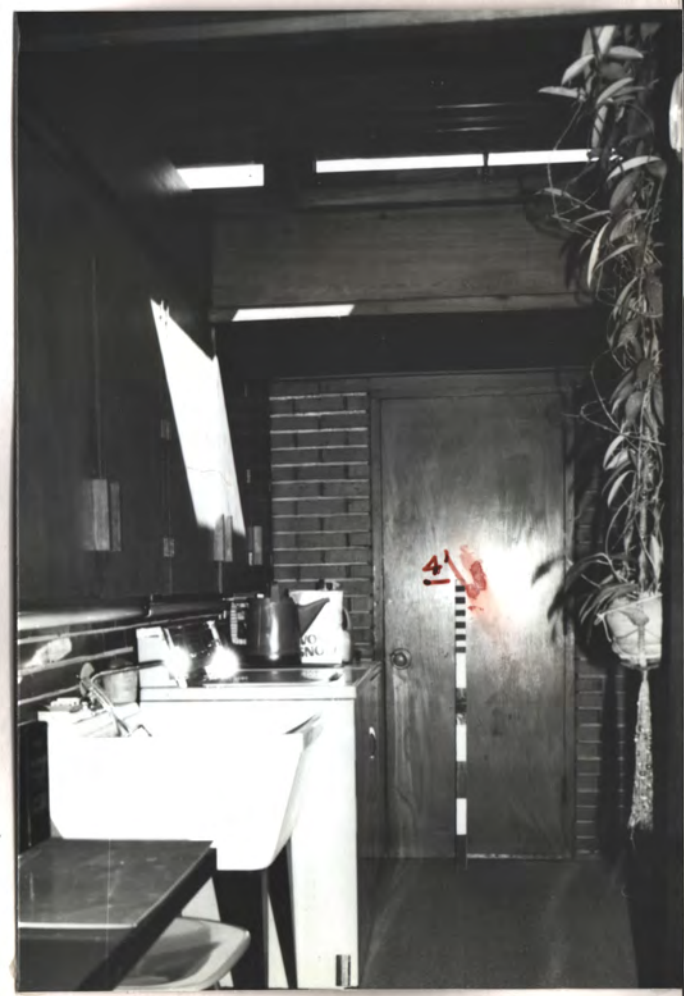


door
to
util.

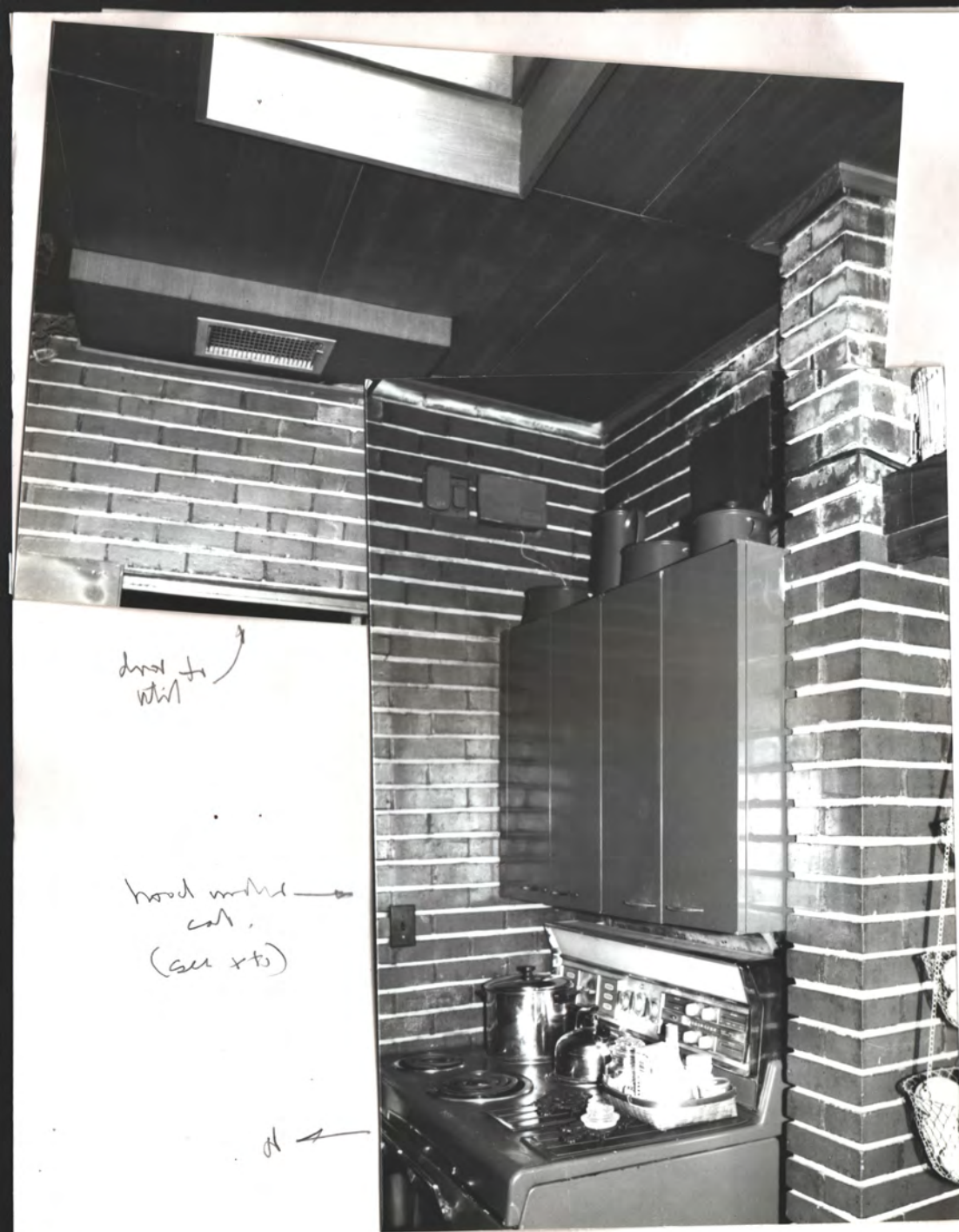


ref

53 of 60



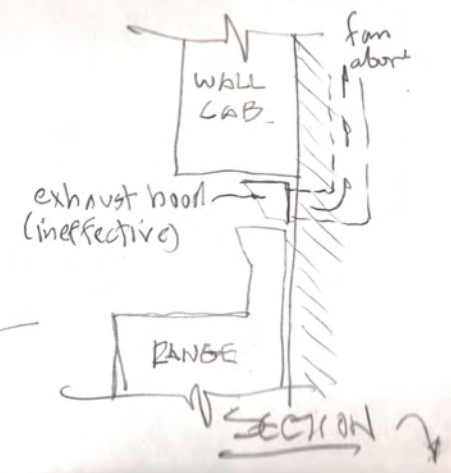
Am.



duct to
 wall →

hood under
 cab. →
 (see xts)

←



←

54



of

4

door to E. airport

door to bunk/plan



skylight

N

later duct



the

of

4

6'

UTIL. -
LAUNDRY

of



kit: beyond

N

↙ brass piano hinge



brass screw

↙ recessed horiz. batten



keeper

Hardware (varies from 1940 to 1948 approx)



57
0560



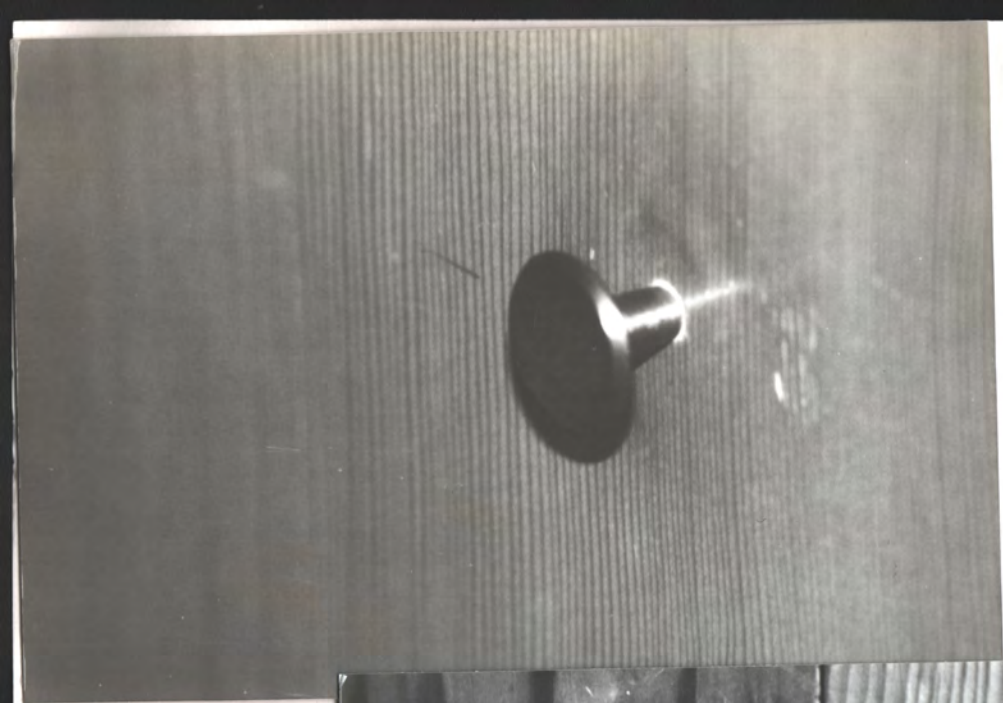
Hardware



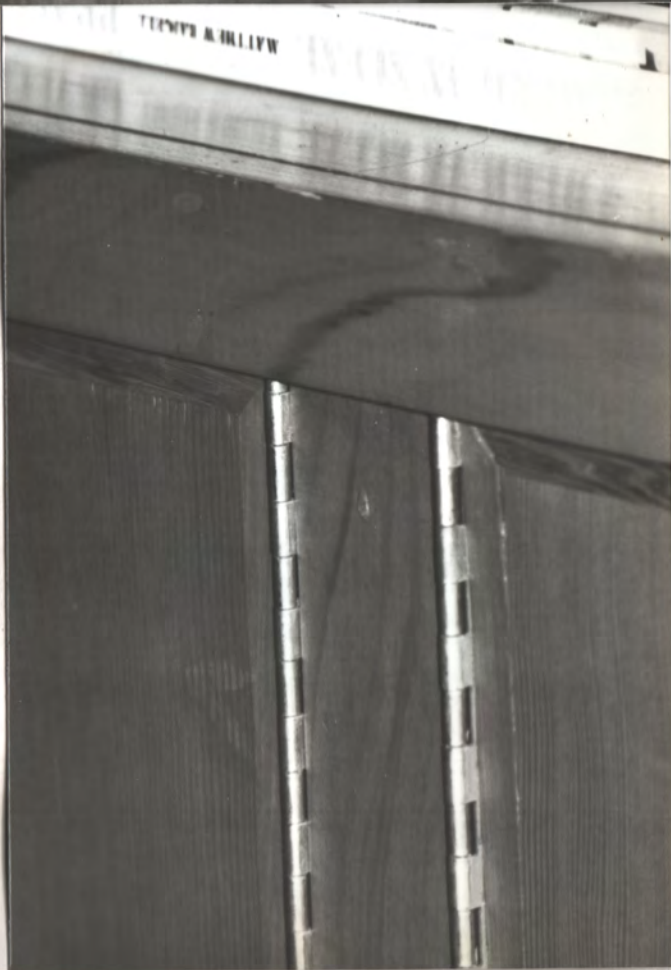
Screen-latch at French window



Cleveburn latch (operate w/ hooked rod)



CAB,
PULLS
↓



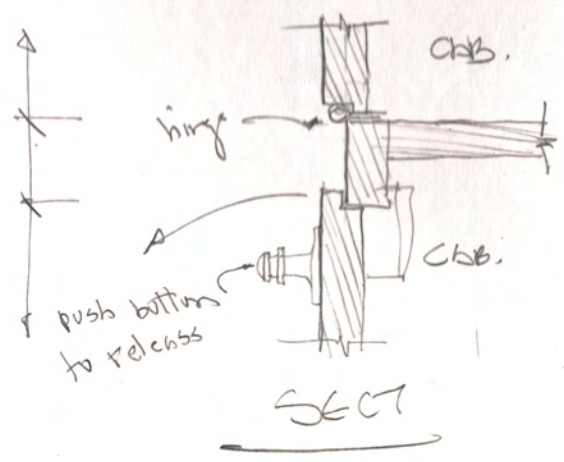
brass piano
hinges at
bookshelf cabinets

59 of 60

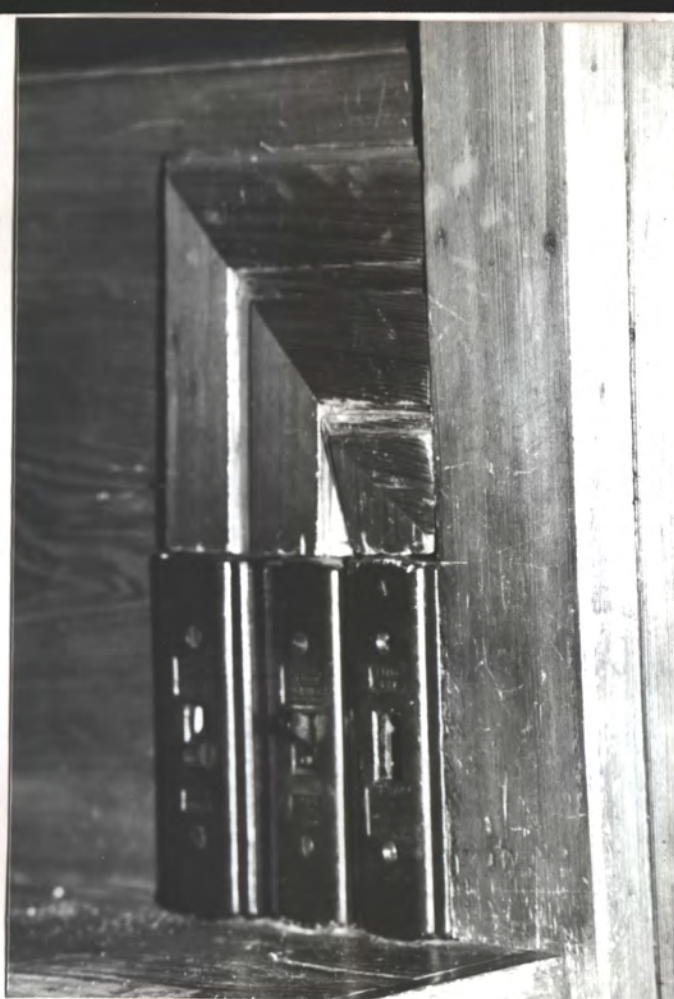
push button
to release →



cab. front repeats
wall pattern →

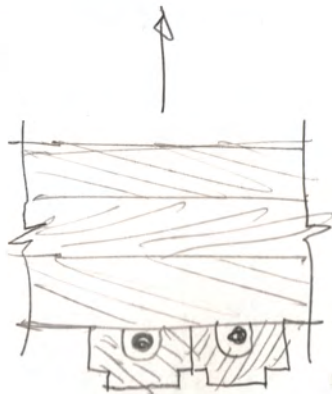


60 of 60



↑ SW. AT S. END
OF W. WALL (1940)

Lt. Sw. + wire - covers (wood)
(wires are generally on surface
of lam. walls)



PLAN SECT.

1940 Rosentman 1st
 Ft. Wright, Arw.
 Florence, Al.
 photos Sept. 1993 Jim Lantrell
 lot 4 Jones & Herrin, Arw. - Huntsville, Al

27 ft
 wall
 W 11

L. 21.7



68.128



ENTRY

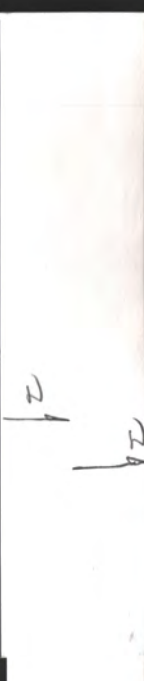


→ N
 L. B.
 (study beyond)





L.R.



82193

DIN.



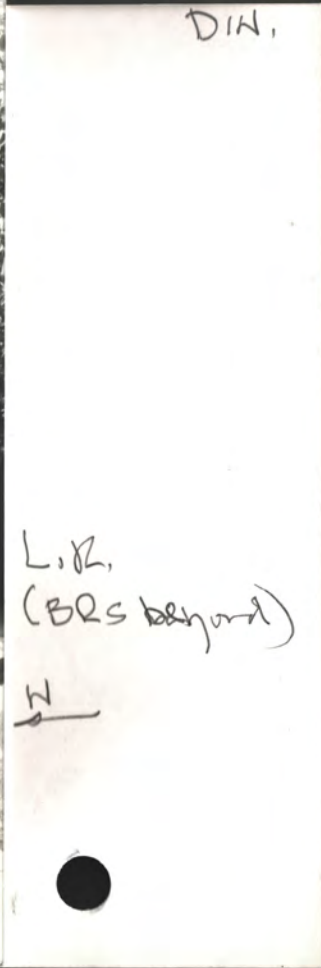
L.R.
(study beyond)

N
→



L.R.
(BRS beyond)

N
→



3684

DIW

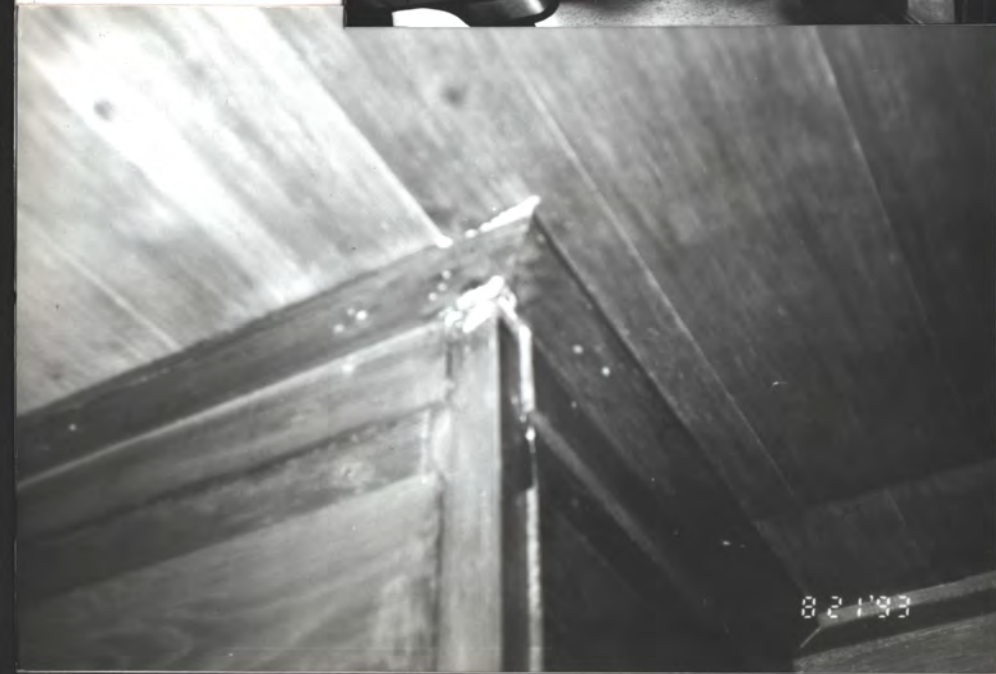
↓
N



1940
BLSWA

N
↓

BR?



Loc.?

82 '93



82 '93



AD

1960's east hall
to guest
S.E. - B.R.



west
1940 hall
to B.R.S

N

4
2
4



Door / window
intersection at
1940 hall &
MBR door?
(verify)

1939 Rosenbaum Vase
Frank Lloyd Wright, Arch
Florence Al.

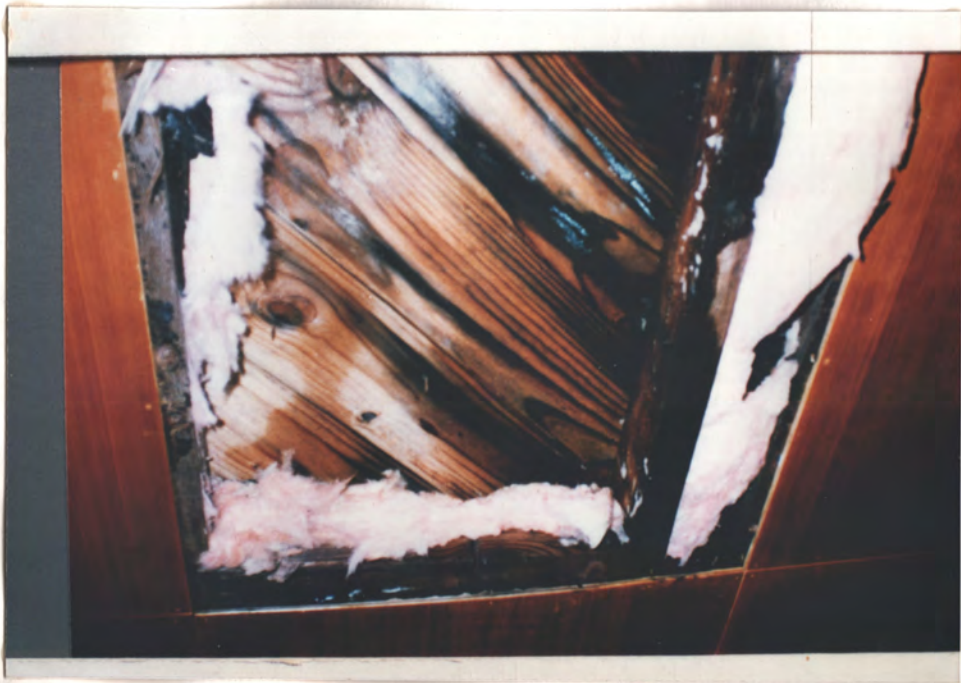


NE Wing, Bkfst roof rot

Photos of roof rot & termite damage (by entry) Ron
Parrish
March 1995



E. Hall, rot & termites



E. Hall, rot & termites



Bkfst — roof rot

lot 3

ROOF
ROT



fall out of ceil. at bkfst



E. wall ceil, at lt. panel contact



Rkfst, root rot



N. BR roof rot



Bkfst - roof decks rot



E. Hall, terminals of rot



Bot 3 Richmond

E. Hall, terminals of rot



← N.E. Wing, bkfst. area