

1868 JACKSON  
CO. COURTHOUSE

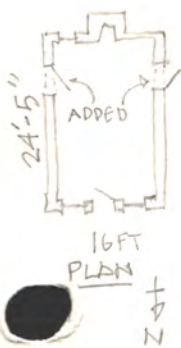


SHEDS ADDED

N. FRONT

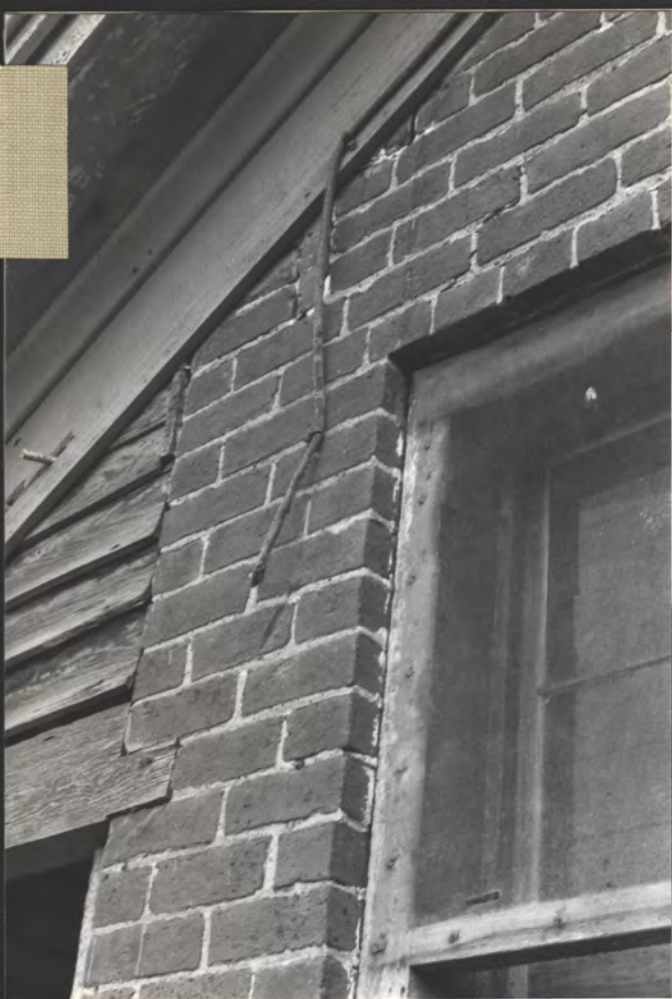
PHOTOS MAY 1984 H.P. JONES, FAIA

Roof is  
"kicked up"  
for sheds!  
See traces  
on brick  
& eave jts  
& crooks



NORTH FRONT,  
FACES R.R. ACROSS ST.

1868 JACKSON COUNTY, AL. COURTHOUSE



↑ N.E. CORNER



N.W. CORNER



↑ N.E. CORNER

Note traces on brick where original cornice return was, + blocking in brick to nail it to. Raking eaves were raised for sheds (see crook + brick traces)



TRANSOM (COVERED)



FRONT (N) DOOR - 2 PANEL



N. WALL

Note mortise, tenon & peg connections





SOUTH WALL (sheds added,  
chimney bobbed)



note  
roof  
"kicked  
up" for  
sheds



note  
 raised  
 roof  
 → ORIGINAL  
 CORNICE  
 → original  
 rafter  
 top  
 ← note  
 rotary  
 sawn  
 wood =  
 usual  
 for 1868  
 (at orig.  
 rafters)

↑ S.W. COR.



↑ N.E. COR. Padded



S. CHIMNEY (cap bobbed)

← orig.  
fascin  
trace



S. WINDOW OPNG.



S. REAR DOOR = 20TH C. IN 1868 FRAME



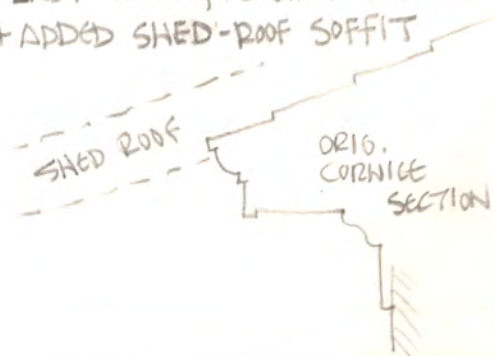
TYPICAL BRICK & MORTAR JOINTING, S. WALL



WEST 20TH C. DOOR, APPEARS ADDED



EAST WALL, ORIGINAL CORNICE  
+ ADDED SHED-ROOF SOFFIT





EAST DOOR, APPEARS ADDED (15)

ORIGINAL JOISTS, ROTARY SAWN,  
FL. + CRAWL SPACE



PINE FL. 1" ± THICK T & G, NO SUBFL

1868 Jackson Co. Ct. Hse

7 of 10



↑  
ADDED  
E. DOOR

↑  
FIREPL. MANTEL  
FRIEZE + SHLF.

LOOKING S.

↑  
ORIG. OPNG. FRAME,  
20TH. C. DOOR

↑ ADDED W. DOOR

↑  
20TH. C.  
WALL'D  
(PLASTER UNDER)

↑  
NOTE TRACE IF  
MANTEL ON  
20TH. C. WALL'D

↑  
FL. ± 4' x 6' IN FRONT OF FIREPL.  
IS 20TH. C. PATCH





LOOKING N. TO ST. + R.R. TRACKS (FRONT)



ROUGH BUT PAINTED PLASTER  
BEHIND WALL BD., BY E. DOOR  
(GREENISH PAINT ON BROWN COAT  
PLASTER, NO WHITE COAT)



MANTEL SHELF + FRIEZE (NO PILASTERS)



S. FIREPLACE

Note outline of this mantel  
on 20th. c. wall'd  
Note 2nd layer of brick  
lining in firebox, added

Note remnant of  
fence shed may  
- see photo  
opposite  
→



FRONT

1868 Jackson Co.  
Court Hse  
after moving to  
Proctor Hse near  
("Scottsboro Heritage  
Center") in Dec '86

Photos Jami 87 Hlones



FRONT



Note remnant of  
later shed roof. See  
May 84 H photos



REAR



Scottsboro Ct. Hse - 1858  
photo April '93 12 June  
March & Proctor Hse Mrs. S. A.  
in 1865-7

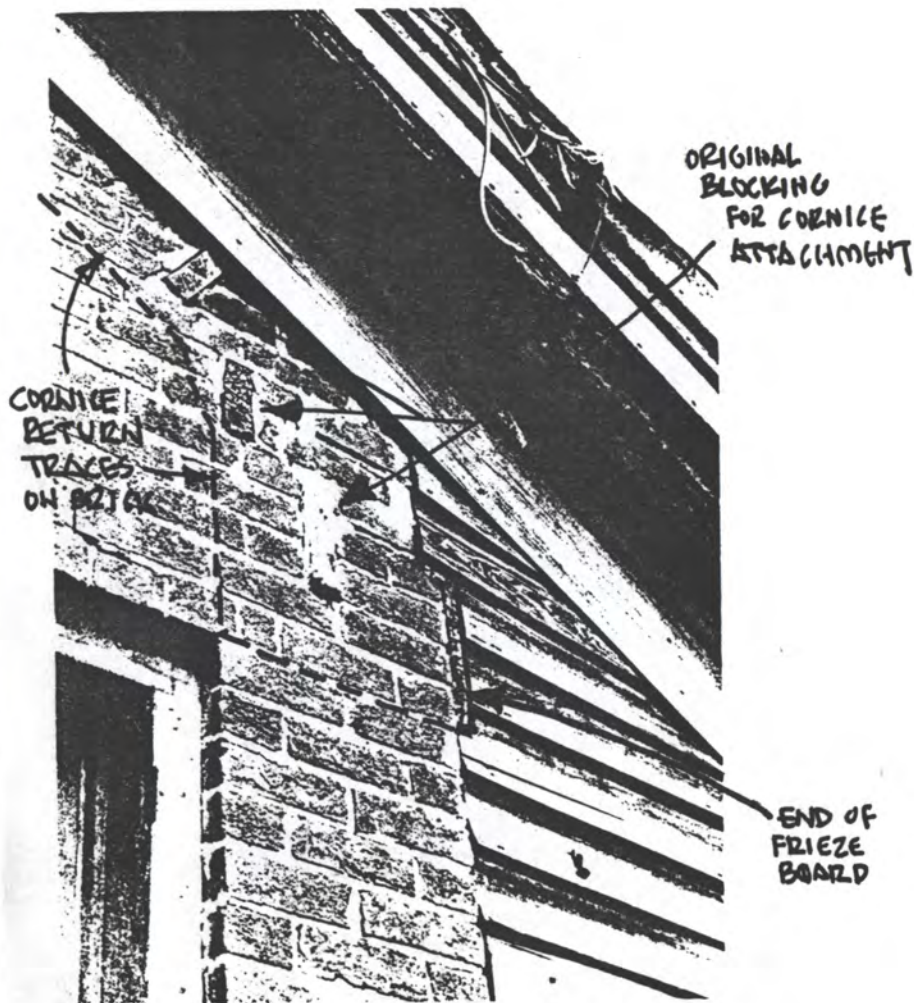
Some details not per HJ - Committee did not,  
w/ HJ sketches of note only.  
Ridge vent not correct.  
Door & shutters " " "



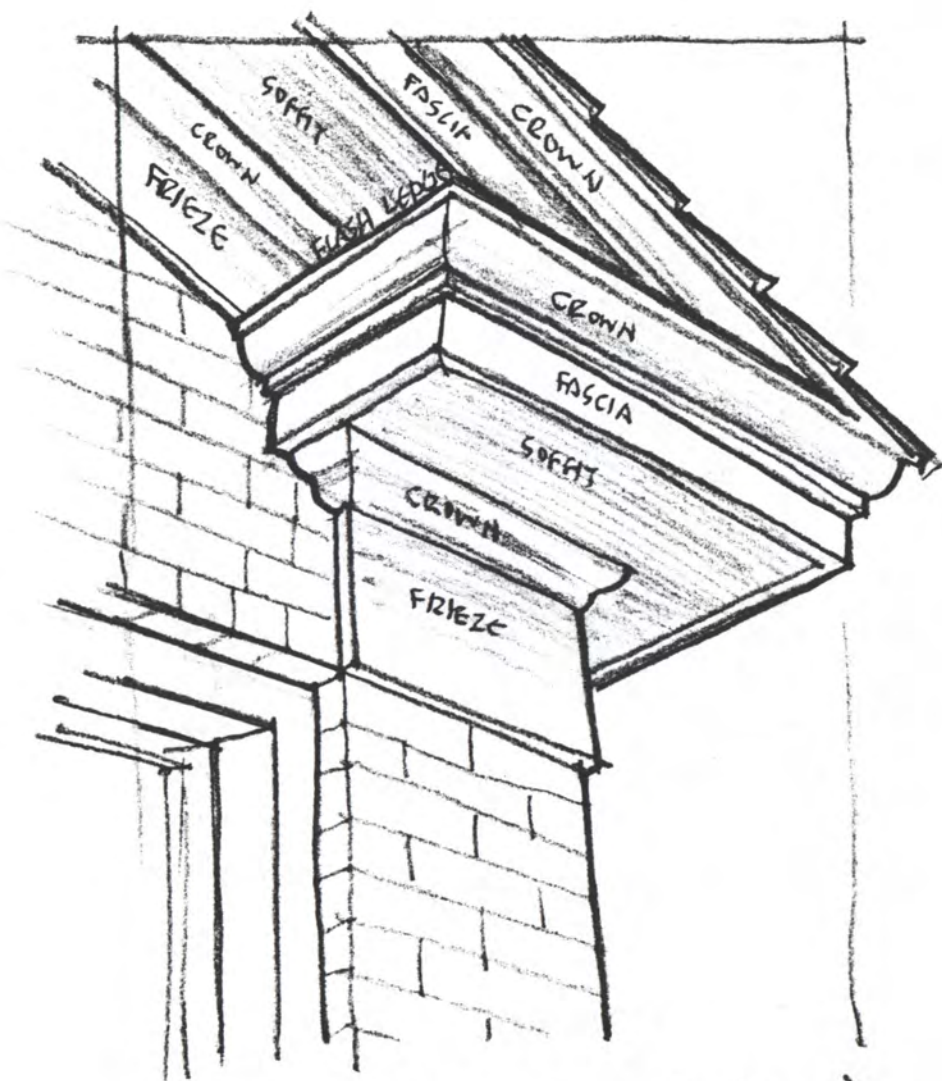
1868 JACKSON COUNTY COURTHOUSE RESTORED VIEW - SCOTTSBORO, ALABAMA - 31 MAY 1984 - H.P. JONES.

JONES & HERRIN, ARCHITECTS, AIA, HUNTSVILLE

*traced over photo on sh. 2 top rht. (enlarged)*



EXISTING CORNICE (FRONT)  
 ALTERED FROM ORIGINAL  
 (SEE TRACES ON BRICK)



RESTORED CORNICE RETURN (FRONT)  
 BASED ON EVIDENCE AT SITE (BRICK MARKS, BLOCKING, FRAMING)

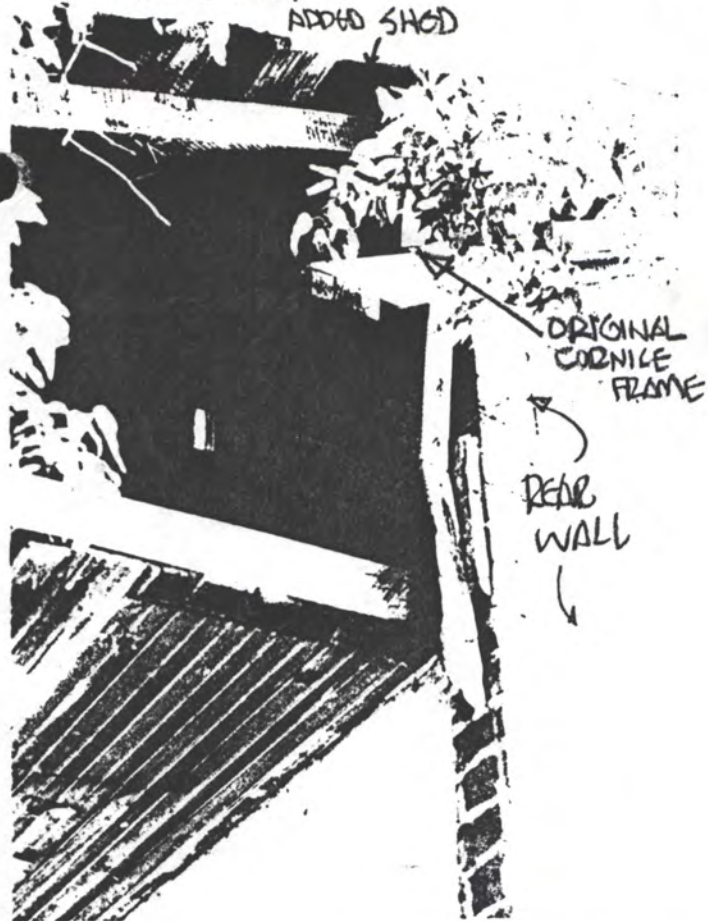
1868 Johnson Co. Court House 31 May 84

Jones & Herrin  
 Architects  
 Houston, TX

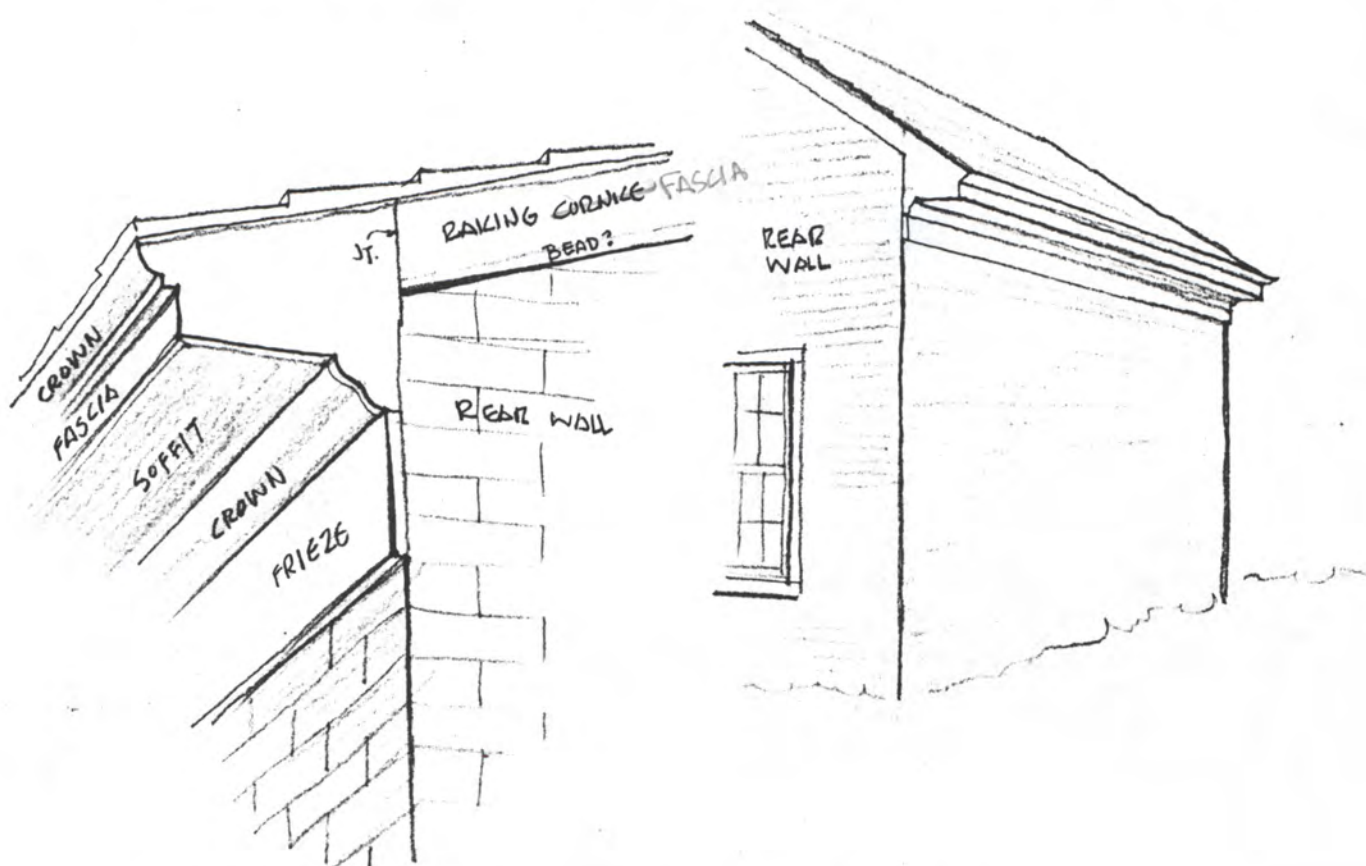
RAISED ROOF AT  
ADDED SHED

1868 Jackson Co. N. H. Scottsboro 31 May 84

John J. Herin, Arch. - HJ



REAR CORNICE ENDS (ALTERED BY SHED ADDN'S)



REAR CORNICE ENDS RESTORED PER EVIDENCE  
(SIMPLER THAN FRONT CORNICES = USUAL. TYPICAL DET. FOR PERIOD & TYPE)



# JONES & HERRIN

Architects  
AIA

File copy  
84039

June 1, 1984

## OLD 1868 JACKSON COUNTY COURTHOUSE SCOTTSBORO, ALABAMA

1. It is proposed to relocate the 1868 original Jackson County Courthouse from its site by the railroad on Railroad Avenue to a new site behind the Heritage Center. The following factors should be recognized:
  - A. The railroad is the historical reason for Scottsboro's original development. To relocate the Courthouse from its original site by the railroad will sever this historical relationship.
  - B. The National Register of Historic Places does not recognize or register relocated structures for reasons such as the above.
  - C. While it is always desirable to keep a historic building on its original site, if this is not practicable or possible then the only alternatives are to move it or lose it. In this eventuality I feel it is better to move it.
  
2. There are two methods of relocating a small brick building (16 ft. x 24 ft. 5 inches) such as this:
  - A. Lift it intact (minus the added sheds) and set it down on a new foundation at the new site. This preserves all the bonding patterns, patina and other subtleties of the old brickwork and mortar.
  - B. Dismember the wood and masonry components and reassemble them as accurately as possible on the new site. By this method, all the little quirks and beauty of the bonding patterns, patina, original roof-trim traces and other subtleties of the brickwork and mortar will be forever lost. Once Humpty-Dumpty is apart, it can never be put back in the same way with the same beauty and historical accuracy. It could at best be considered only as an approximate reproduction of the original building made with salvaged brick. Also, stored building components, based on many examples, tend to be "out of sight, out of mind" and are frequently never put back together in any form.

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Harvie Jones  
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Jerry Stallings

Debbie Cross, Office Manager

It is strongly recommended that the Courthouse be moved intact rather than taken apart. If needed for wire clearance, the roof framing could be laid flat during the move, and the chimney top dismantled down to the ceiling level. This would cause much less harm than a complete dismemberment of the masonry and framing.

Cost and technical feasibility of the move need to be examined, of course. Even if the intact move costs somewhat more than dismemberment, it is better. In my opinion the dismemberment method (done with a good attempt at reproducing the masonry accurately) would cost between \$ 10,000 and \$ 15,000, plus restoration costs; so it is entirely possible that an intact move will be less expensive. A careful, experienced and well-qualified building-mover should be engaged.

3. If the dismemberment method is chosen, the face bricks should be kept separate from the inner bricks for the two are made and burned differently. The inner bricks are soft and would not weather well and are more crudely made than face bricks. The face bricks should go back in the same wall they came from and in the same pattern. To do this, each wall would have to be clearly and closely photographed in a photo-mosaic that would clearly show the irregularities and particulars of the bond, where header-courses are, etc. The 5 different categories of brick would have to be handled separately.

High-lime mortar of the proper color would have to be used to prevent damage to the brick. Masons would have to be trained by the architect on how to place and tool and clean the joints for historical accuracy. Even with all this, our experience has been that the masonry walls could not be reproduced with any but a mediocre degree of accuracy of their original appearance, bond, and beauty.

4. If the "intact-move" method is used, the brick should not be repointed except where necessary for the same reasons cited at 3, and the architect should instruct the mason on-site and have an approved sample made prior to laying the brick.
5. The present chimney is probably one foot or more shorter than the original. It is usual for old chimneys to be shortened as the top bricks lose their mortar due to weathering. The cap of the chimney would typically have decorative corbeling. Upon restoration the proper height and a corbeled cap typical of the period should be constructed. The architect can furnish a proper detail.
6. The present fireplace has been filled-in with a later brick layer to make it smaller for burning coal. Remove this added layer. If the original firebox is not too badly decayed, retain it. If necessary, repair it per the masonry directions above, not altering the original size and configuration or mortar-joint width.

The original hearth would have been brick, based on typical examples. Carefully remove the present hearth surface to see if the brick and/or its pattern are still present or discernable. If not, consult with the architect on the pattern and laying method typical of the period.

7. The traces on the brick front (north) wall plus the remaining trim at the left (east) wall clearly indicate that the sheds are added, the gable trim has been raised near the side walls to meet the shed roofs, and the original front-wall cornice returns have been removed upon construction of the sheds. See the attached photo and sketch for the original appearance of the roof and trim based on this evidence. Note that the rear cornice-ends are much simpler than the front ones - typical of the period.
8. The unexcavated portion of the crawl space indicates that the present soil level around the building is almost a foot above the original level, for the crawl space level would typically be built even with the original exterior soil level. It is normal, based on many examinations, for the soil around an old building to accumulate by various means (humus, road resurfacing, etc.) at about 1 foot per century.

Therefore the building should have its proper (lower) soil level restored when moved to the new site. Wooden steps of the period design should go up to the doors; the architect can supply proper details.

9. Both side doors are modern in their design and frame-construction. These apparently have been cut into formerly solid walls to give access to the two sheds. This question can be resolved by removing the jamb trim to see if the ends of the bricks under the trim are built to a finished edge or if the ends were broken off later to make the opening.
10. The roof was probably hand-rived wooden shingles (not shakes) about 3 1/2 to 4 inches wide. By the late 1860's they may have been rotary-sawn but it's not likely so soon after the Civil War. Look carefully in the attic for scraps of discarded shingles and ask the architect to examine them. Then look at the roof decking tops (if the original decking remains) for types and spacing of nails and consult with the architect.

For re-roofing, the best modern equivalent is "Blue Label" grade Western Cedar Shingles (not shakes). These do not warp like lesser grades ("Red Label" and "Utility") and they look correct except for having some shingles wider than 4 inches. Install the shingles directly on spaced-out decking boards without felt or plywood under them so they can "breathe" and dry out quickly. This prolongs their life and reduces warping, and is the time-honored way of installing them, for these sound technical reasons. Don't worry that you can see daylight in the attic. This is good, as long as the shingles are properly lapped. Consult with architect.

11. The flooring and joists appear to be original, except for the patched area in front of the hearth (these areas frequently were burned due to popping coals). The missing and patched areas should be carefully replaced with dense old pine cut to match. Modern pine will not match and should not be used.

The floor should be washed only. It should not be sanded or stained or varnished, for these treatments would not have been used in a building of this type at this time. Even pretentious houses did not have varnished floors until well after this building was built. We must resist the temptation to "gussy-up" the past, which would result in presenting a false picture of our history.

12. The window sashes are 20th century (the muntin shape and connections are 19th c. types). Probably the original sashes had the same number of lights since windows have been built to fit standard pane sizes for about 200 years. Therefore it would be alright to temporarily keep these until proper reproductions could be made with the period muntin shapes, connections, glass etc.
13. The front door, based on its design and construction, is of the period and probably original. It should be carefully repaired, reusing all the old parts and splicing in new wood only where necessary. Scrape a small area for original paint - color determination (both sides). Proper reproduction hardware can be obtained; consult with the architect. The back door is 20th century. Ask the architect to furnish a proper detail for this board-&-batten door.
14. Remove the added wallboard inside to examine the paint and the (presumably) original plaster behind it. Try to determine if the plaster is original. If so, it should contain animal hair as a binder. This would not be absolute proof, as animal hair was used in plaster after the 1860's also, but it would be a good indication.

The small areas of plaster which were visible had an uneven surface, which could be original. I have observed this in other similar 19th century buildings. If it is original it should be kept uneven for the reasons cited at 11.

15. Remove the wallboard ceiling to see if the original ceiling was plaster (it probably was). If so, the ceiling joist bottoms will have 1/4" wide strips of plaster dust about 1 inch apart where the plaster keys oozed between the wood lath strips. Also look for lathing nails about 1 1/4 to 1 1/2 inch apart on the joist bottoms. If both these are absent the ceiling was probably wide boards. Look for characteristic nail patterns.
16. The remnant of the mantel (shelf and frieze) is right for the period in design and is probably original. We can send an appropriate detail for the missing pilasters based on similar mantels of the period in our records. First, the added wallboard should be removed to trace off an actual-size pattern of the pilasters whose trace probably remains on the original plaster wall behind the present wallboard. At the same time it can be confirmed if the present mantel shelf and frieze fit the trace on the original plaster.
17. Careful scraping should determine original interior and exterior paint colors and these should be accurately matched. The architect can help on this.
18. PROCEDURE
  - A. Investiage costs, technical aspects and timing of moving the building intact versus dismemberment and reconstruction.
  - B. Ask architect to meet with contractor and owner on specific details of the work as outlined above.
  - C. For best results, the architect should be involved in the restoration work on the new site. There are many subtleties which cannot be conveyed in conversation or on paper. This is too important a building to treat in a typical "remodeling" fashion.
19. Best wishes on this project! This building should be saved, as Alabama has very few original Courthouses.

Respectfully,



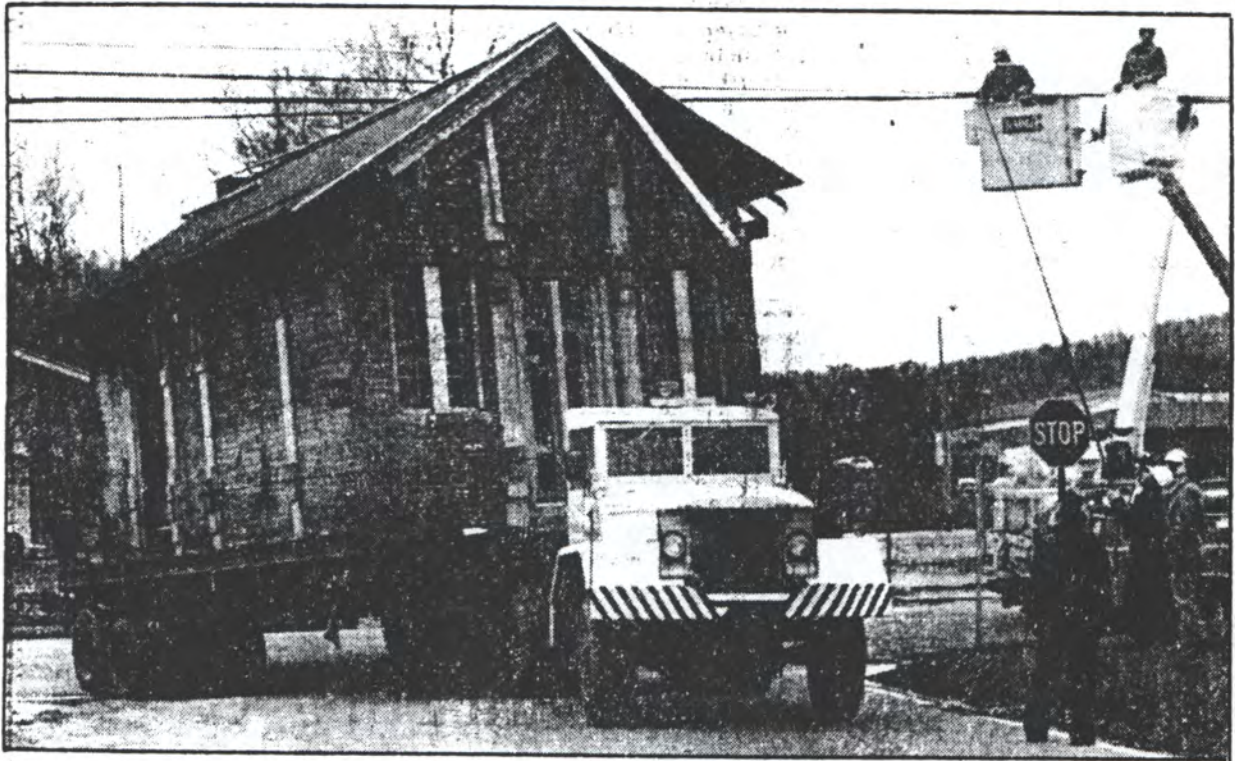
Harvie P. Jones, FAIA  
HPJ/dfc

Moving of Restor. Council. - JfH, ArVh - HJ

# The Huntsville Times

# S

SUNDAY, DECEMBER 14, 1986



## Moving Day

Scottsboro's first courthouse got a change of address Friday morning when workmen moved it about 10 blocks to the grounds of the Heritage Center. The small brick building served as the

county courthouse between 1868 and 1870. The courthouse was accompanied by police and electric power board crews.

(Times Photo by Jeff Tryon)

# Valley

Monday, September 7, 1987



Jeff Tryon/Huntsville Times

A major event at Scottsboro this weekend was the Sunday dedication of the one-time Jackson County Courthouse at the Heritage Center.

## Jackson's 'little courthouse' dedicated in Sunday rites

By JEFF TRYON  
Times Staff Writer

SCOTTSBORO — After being trucked across town and getting a complete facelift, Jackson County's historic "little courthouse" was officially dedicated in a Sunday afternoon ceremony at the Jackson County Heritage Center.

Scores of Tate family ancestors attended the dedication in honor of Judge David M. Tate, who served as probate judge during the brief period the building was the county courthouse.

The one-room brick structure

who we are.

"I want the answer to the question 'What do these relics mean?' to be that of a more perfect understanding, more widely understood, of the role of the courthouse in county history and county government," Tate said.

Dr. Tate said Judge Tate wanted only to be a farmer and a father, but was "impressed into public service" by the turbulent times surrounding the Civil War.

Judge Tate was born in 1824 in Marion County, Tenn. He married Martha A. Winn and settled on a 390-acre tract in Big Coon Valley

year and placed among other antique buildings on the grounds of the Heritage Center.

Over the years the building has been used both as a residence and business.

The county seat had been located at Bellefonte, but in May 1860, the people voted to move the courthouse from the small river town near what is now Hollywood to Scottsboro.

But before the move began the Civil War intervened.

The two-story courthouse located in Bellefonte's town square was destroyed near the end of the Civil War, although the exact

*Roof vent not correct  
Mould shapes " "  
Doors of Mantel " "  
(Salvaged Int. Vix.)  
Hardware not correct  
(Int. Vix. Salvaged)*