

LAHN
~~Anna~~ Rockwell

140 Inverness

S - J - G - 31401

912-234-1278

Historic Savannah Foundation

P.O. Box 1733, 212 West Broughton Street, Savannah, GA 31402-1733 (912) 233-7787 Fax (912) 233-7706

October 8, 1993

Mr. Harvie P. Jones, FAIA
Jones & Herrin Architects
104 Jefferson Street
Huntsville, Alabama 35801

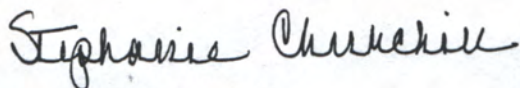
Dear Harvie:

On behalf of the Board of Trustees of Historic Savannah Foundation, it is my pleasure to notify you that the Dr. William Parker Houses at 324-326 East Bryan Street have been selected to receive a **Project Award** from the Foundation this year. The award is given in recognition of the extensive renovation of this formerly shabby double house as a handsome contribution to Warren Square and an addition to the community.

The award will be presented at the Foundation's Annual Meeting, on Tuesday, October 19, at 7:00 p.m. in the First Congregational Church, Whitefield Square.

Congratulations to you for this honor, and would you please let me know whether or not you will be able to attend the Annual Meeting that evening? We will look forward to seeing you there.

Sincerely,



Stephanie D. Churchill
Executive Director

cc: Mrs. Mills B. Lane, Jr.

CIRCA 1806 DR. PARKER HOUSE
WARREN SQUARE, 324-326 EAST BRYAN STREET
SAVANNAH, GEORGIA

The Dr. Parker house is a five bay, side-gabled, clapboard, two and one-half story, dormered, center-hall house that was internally converted in the later part of the 19th century to a duplex by installing a partition in the center of the hall, slightly shifting the hall walls, and building two sets of stairs and entry doors. A one-story shed of four rooms is at the north rear which is original but was deepened by a few feet in the later part of the 19th century.

The four front rooms retained their Federal period woodwork, including flooring, mantels, sash and door trim, paneled wood wainscoting, chair-rails, and some original doors. One rear dormer retained its original configuration, and was used as a model for restoring the others. The mid-20th century steel-post makeshift entry portico was revised to a design compatible to the house, while deliberately using stock 1992 mouldings and other components so that future historians will be able to readily date this portico to the late 20th century.

Sept. 15 1913 W. J. Falk
at request of Hist. Savannah Fndn

JONES & HERRIN

Architecture/Interior Design

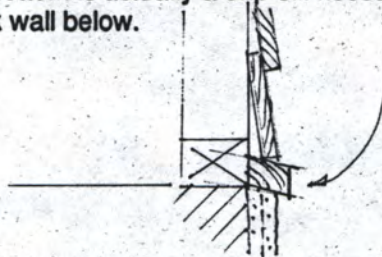
September 13, 1993

Mr. Mills Lane
THE BEEHIVE PRESS
321 Barnard Street
Savannah, Georgia 31401

Re: Dr. Parker House

Dear Mills:

The "trim board" we saw at the clapboard bottom is actually a drip-sill necessitated by the thickness buildup of the stucco on the brick wall below.



This same condition is at the Ball house and others, and is o.k. I prefer to paint this and the corner-boards the same color as the clapboards. I also prefer to paint the downspouts the "trim" color (they are now the siding color). The downspouts are now the siding color and the corner-boards are the trim color.

Ralph, Dale and their crews are doing a fine job and their efforts are greatly appreciated. It was a pleasure to see all the good work of the past year.

I look forward to helping you and Ralph unravel the mysteries of the Broughton/Habersham pawn-shop house. When I get the measurements and my \pm three-hundred photographs mounted and annotated I will try some sketches for you.

You and Mrs. Lane are performing a service in historic preservation that is surely unprecedented in any city. The latest project is, I believe, the ninth house restoration or partial restoration you have recently undertaken, not counting the five infill houses either planned or completed. In addition there are the many houses done in the past by the Lane family, including your own and Mrs. Lane's houses. You are a case of a single family being the difference in saving or not saving a major portion of Savannah's historic architecture. You have done this out of a sense of good citizenship, which is the best reason for such deeds.

Respectfully,

Harvie P. Jones
HPJ/tm

70 WEST 69TH STREET
NEW YORK, NEW YORK 10023

Print 280 of HJ

NOTES

October 20th 1991

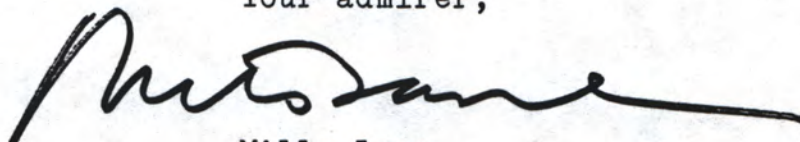
Dear Harvie:

Congratulations on your 1991 Preservation Award from Historic Savannah, an honor well deserved and only the first of many in the future in Savannah.

As you know, my mother has purchased another historic house and a nearby vacant lot on which a new-old house will be built. If you could fit it into your plans to come to Savannah in the late fall to take a look at these projects, plus to comment on the progress of Heineman and consider other projects that may have been added by then, I'd very much appreciate it. Unfortunately, I will only be in Savannah on December 7th, December 24th (impossible for you, of course), December 26th-28th, and January 2nd-4th.

Please give a little thought to your schedule and we can chat on the phone in a week or two to see what can be worked out. Meanwhile, I'll ask John Reiter to measure and draw up the house on Warren Square that will be your next project - it appears as 7.12 on page 40 of Historic Savannah.

Your admirer,



Mills Lane

180 St. Wm. Parker H. Co.
324 E. Bryans St.

1606 Parker Ave

E. Bryan St.

17 Aug '92

Vic. S.E. Corner

NR Jones

Evidence is that dormers are original as is. Cont. to send photos of H. dormers, which are in better repair. Sides are modern

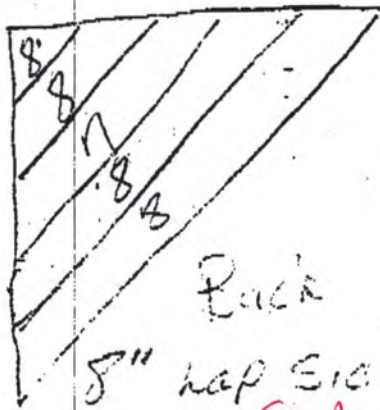


SE. Full Dormer (modified)
Leaving/Corner board
3 1/2 Beaded

Sides are modern

S.W. Dormer (modified)

Bds widths change SIDE TO SIDE



Back

5" cap Siding

Shake shingles against gable frame (Fed. det.)

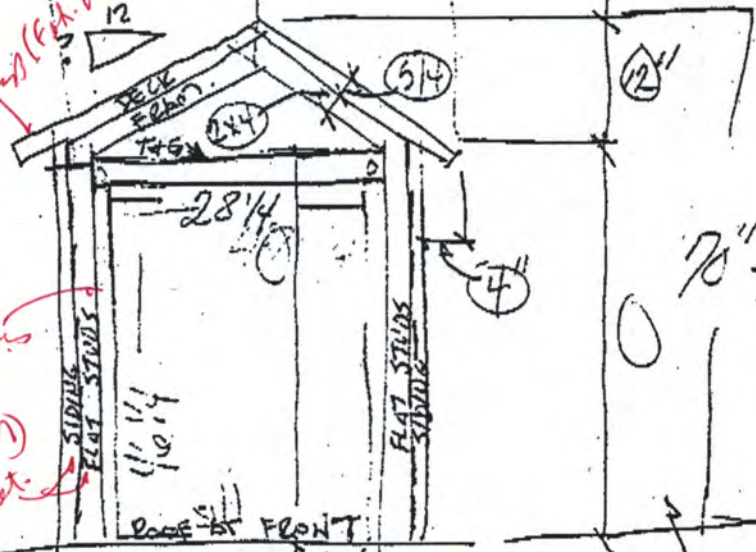
Window LAMB

is also framing for Siding

TRIM 3x3 1/2
M & T

1 5/8 Sill

Tapered (Fed. det.)



BACK EL.

FRONT EL.

FIM in dimensions from STA

JONES & HERRIN

Architecture/Interior Design

1967 • Celebrating Twenty Five Years of Design Excellence • 1992

August 17, 1992

Ralph Anderson
J.T. Turner Construction Co.
5105 Paulsen Street
Box 10046
Savannah, GA. 31412

Re: c.1806 Dr. William Parker House (Mills Lane) Renovation
324-326 East Bryan Street
Project No. 91167

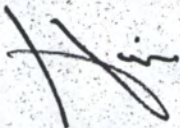
Dear Ralph:

1. Please get me the dormer dimensions and sketch sections and I'll work up details for you.
2. Please verify my memory that the sides of the dormers are original (or old) beaded 5/4 T & G boards sloping with the roof. If so, we will keep these, and install rigid insulation between the existing flat studs, similar to our details for the Spencer dormer. In that event, don't do the dormer clapboards shown on 13/6.
3. Per our discussion with Mills, do the beaded double corner trim boards at the clapboard corners per the evidence you found, extend the corner trim down through the clapboards at the joint between the rear shed and the house, use +/- 5 inch exposure clapboards on the front and +/- 8 inch exposure clapboards on the other three sides per the nail and clapboard evidence you found (which matches the house just to the east) and use 8 inch bottom diameter colonettes for the portico. Low-pitch roofs to be copper or terne-coated stainless, per details 1/4, 1/5 (compare prices). Basement is being deepened and minimum plumbing stubbed-in per Mills directions to you.
4. Per our discussion on the curved ceiling at the kitchen where the stair-winders project down from the ceiling, the perfect model is in the small second floor closets under the attic stairs. These ceilings are simple and very attractive. If our predecessors can do this in a small closet, we can certainly do it in a kitchen.
5. I was most interested in your discoveries about the original single-family floor plan and window locations, and will annotate my records (with August 15 photos) accordingly.
6. It looks like things are going well. Give my regards to Dale and his crew. The Heineman house came out nicely, as well.

7. I'll be sending notes and revised plans on the c.1795 Spencer House, per our discussions with Mills.

Lynn and I enjoyed our tour of the islands with your family on Sunday afternoon, and having dinner with you and Robin. It was good to see all of you again.

Thanks!



Harvie P. Jones, FAIA
HPJ/am

cc: Mills Lane, letter
file, letter
HJ, letter

JONES & HERRIN

Architecture/Interior Design

1967 • Celebrating Twenty Five Years of Design Excellence • 1992

June 8, 1992

Ralph Anderson
J.T. Turner Construction Co.
5105 Paulsen Street
Box 10046
Savannah, GA. 31412

Re: c.1806 Dr. William Parker House Renovation
324-326 East Bryan Street
Project No. 91167

Dear Ralph:

Attached are 9 sets of the Parker house restoration-remodeling plans. Please give one set to Mills.

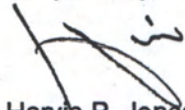
If these are to be reviewed with Beth Rieter, point out to her that the 1871 view (on Sheet 1) shows the rear shed without a chimney and with a window, just as these plans are drawn.

Does a set need to go to the Tax Abatement consultant?

Please look these over carefully and let me know if you see any items that we should discuss.

We appreciate your continuing good work!

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

cc: Mills Lane, letter
file, letter
HJ, letter

attachment: 9 sets plans

JONES & HERRIN

Architecture/Interior Design

February 12, 1992

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, GA. 34101

Re: c.1806 Dr. William Parker House Renovation
324-326 East Bryan Street
Project No. 91167

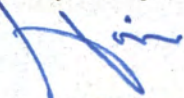
Dear Mills:

I suspect we will find that the early 19th century rear shed rooms were torn off in 1895 when the Parker house received it's extensive Victorian remodeling and addition. It seems more likely that the early shed rooms had a steeper pitch that allowed shingles to be used. By copy of this letter, I'm asking Ralph, for interest, to look at the framing at a dining room to see if it is 1895 or early 19th century.

I don't know if the attached photo of the 1808 Williams House in Savannah shows an early configuration, or is modern, but it shows a 3 or 4 in 12 shed roof pitch for shingles.

Would expensive low-pitch metal roofs have been common on rear rooms in the early 19th century?

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

cc: Ralph Anderson, letter & photos
file, letter
HJ, letter

Harvie: When we get together in Savannah, I'd be glad to consider again a steeper pitch for the shed roof. See my Georgia architecture book, p. 39, though these are slightly later examples.

Mills lane

Mims Lane called 17 Feb '92
re: →

1. Bryan, St. 120. (Dr. Parker)
Raise rear porch roof (all done dirt match)
2. Do authentic C.D.'s

JONES & HERRIN

Architecture/Interior Design

January 9, 1992

Mills Lane
70 West 69th Street
New York, New York 10023

Re: c.1806 Dr. William Parker House Renovation
324-326 East Bryan Street
Project No. 91167

Dear Mills:

Attached for your review are 2 sets of 2 sheets of preliminaries on the Dr. Parker house. Per our discussion, these show the 1895 level 3 north rooms removed, and the Victorian newels and mantels replaced by a simple newel and simplified copies of the west unit level 3 Federal mantel respectively. The exterior is shown restored to Federal details, except we can save cost by retaining the north (rear) Victorian 6/6 sashes.

Some questions:

1. The level one spaces are shown to be devoted to your storage, and not finished, heated or cooled except for required 1-hour rated ceiling and division between units. OK
2. Should the east unit ~~basement~~ *simple stairs in both sides* stair be retained? Or converted to a closet at east level one?
3. Most Victorian interior trim is to be retained except the vertical-plank wainscots at the level 2 north rooms, and the Victorian mantels and newels, per our discussion. The newels will be set square to the plan and simplified. ~~The level 2 north mantels will be simplified versions of the west unit level 3 Federal mantels.~~ OK The level 2 north room Victorian wainscots will be deleted.

NOTE: Since you have been working for a "Tax Abatement" certificate on the previous houses, you should make sure that the approving agency will approve the removal of the Victorian elements and the 1895 addition before removing them. Ann Rockwell asked me to furnish about 80 "before" photos of the Ball and Hieneman houses at the request of the reviewing agency, which leads me to believe they may be going by the "Secretary of the Interior's Standards." These standards preclude the removal of such elements as the 1895 mantels, newels, and perhaps the level 3 addition. It is important to resolve this question, for it might preclude getting the tax abatement certificate.

The 20th century modifications such as the west bath, asbestos shingles, and concrete stoop can be removed (in my judgment) under these standards.

The safest thing to do, which is our procedure in "Tax Act" projects, is to secure approval of the plans prior to executing the work.

We'll proceed without regard to tax benefits + hope for approval.

4. Which fireplaces should be:
- a. False
 - b. Gas log
 - c. Wood-burning

all 4

gas log or burning depending on whether condition of original chimneys. We do not want to rebuild.

Item "C" would probably necessitate rebuilding the entire chimney to meet current codes and would therefore be costly. Gas vents could probably be installed in the existing flues.

5. By copy of this, I'm asking Ralph Anderson and John Rieter for any comments regarding codes, zoning or any other item they see.

6. The landing at the portico would be more comfortable if we had more floor space between the entry door edge and the first step (about 8 inches is shown). However, the portico roof is already very wide (see front elevations) and I'm afraid would look gangly if we widen it. If we widen it by about 3 feet we could have ~~2~~ colonettes instead of 2. Your preference?

3

When the present stoop is removed, I'd like for Ralph to look for clues of the original portico, which could guide us on this one to some degree.

Simply

Should the attic be finished, heated, and cooled?

yes to all three

8. In laying out the plan, it looked best to put the back doors at the kitchen rather than in the dining rooms. Your preference? We would need two separate stoops (rather than the divided stoop shown) if we put the doors in the dining rooms.

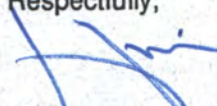
-ok

9. Ralph, ask your mechanical sub to look at the duct routes shown, which can keep all ducts in joist spaces except a short run by a wall at basement level 1.

If level 4 is to be conditioned, see if there is a low horizontal blower unit that could fit close to the south wall, south of the stairs, with a short duct blowing along the south wall of the attic. This unit would be in a new closet if Mills chooses to finish out the attics.

10. Ralph, talk to your mason about repair methods for the split bricks at the east chimney. Since we will stucco it, you could use galvanized through-bolts. Another method would be (after the top portion is removed to be widened as shown) to "knit" the splits together with new bricks.

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

cc: Ralph Anderson, letter & drawing
John Rieter, AIA, letter & drawing
file, letter

Harvie - I'll be in Sav'h Feb 11-18 - so if you can send revised schematics to me there then I'll show them to my mother.

tel. 22 Jan. 1972 J. M. Lane

LOVE / PARKER

1. Lower roof pitch on rear (verify AC ht.)
2. No chim. (window) at rear

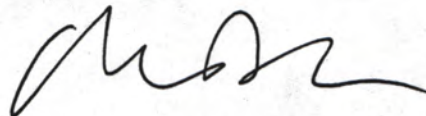
70 WEST 69TH STREET
NEW YORK, NEW YORK 10023

December 18th 1991

Admired Architect:

Thank you for your visit to Savannah. Despite an occasional outburst of know-it-all from me, I have been unable to find a satisfactory model for the transoms of the Bryan Street, Savannah, houses, and so hope that you will be able to conjure up something good. My thought would be simply to divide each transom into three rectangles by means of two muntin bars, or four rectangles by means of three bars.

Happily,



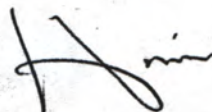
Mills Lane

Dec. 26 '91

Dear Mills:

I think this single transom division would have been what this modest double house would most likely have had.

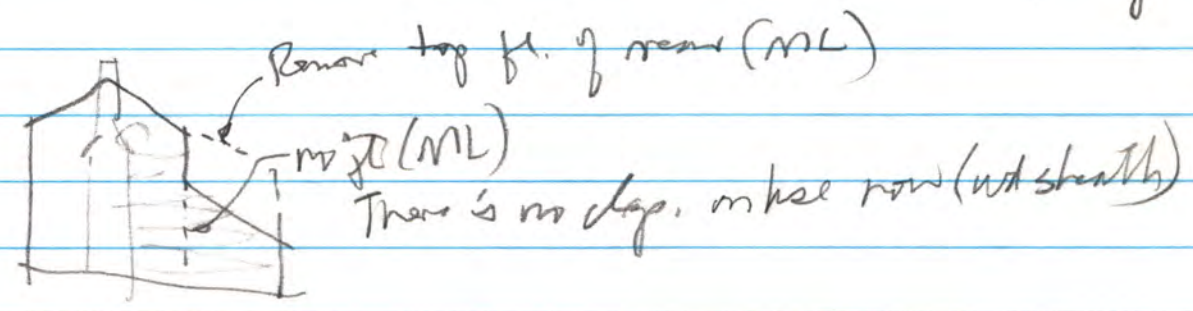
Best wishes for 1992.



C-HJ

Summary - 9 Dec '91 Mills Lane, MD, John Pester, Ralph Anderson & Jim Turner
 324-26 E. Bryn M. St

- 1 Replace Vic. panels
- 2 " Vic. windows (use west fl 2 wanted as model)
- 3 " Vic. walls
- 4 Stairs fndm. of E chimney. Modify E. chimney top to match W.
- 5 Peds walks. (bricks)
- 6 2 stoops on back. Add back door at E. with N.E. Rm.
- 7 Put big Vic. doors back in W. unit (see in bsmt)
- 8 Look up " " " (OHJ) repair article
- 9 Front transoms - " ^{10/11} ~~front~~ ^{mounting} per old handbook
- 10 Remove CB walls at str. Put wd. fence (at str. only)
- 11 Wheel chair ramp at curb
- 12 Keep Vic. int. trim except items 1, 2, 3
- 13 ^{look at} 1/4 W. Harris St. blinds - Bull St (P.S. = look good)



14. Brick up most level 1 windows (ML)
15. " " E. of W. " " ext. doors (ML) P.S. - Not west = other access to str.
16. Gl door of SIMPLE wd steps (no roof) at rear
17. Screens - wd back door than let (a)
 " " " " door (b)

Keep Land. in bsmt
 Keep Bsmt door at SW. corner (for owner
 str. access to bsmt)



THE BEEHIVE PRESS
321 BARNARD STREET
SAVANNAH, GEORGIA 31401
912 · 236 · 4870

PORTICO

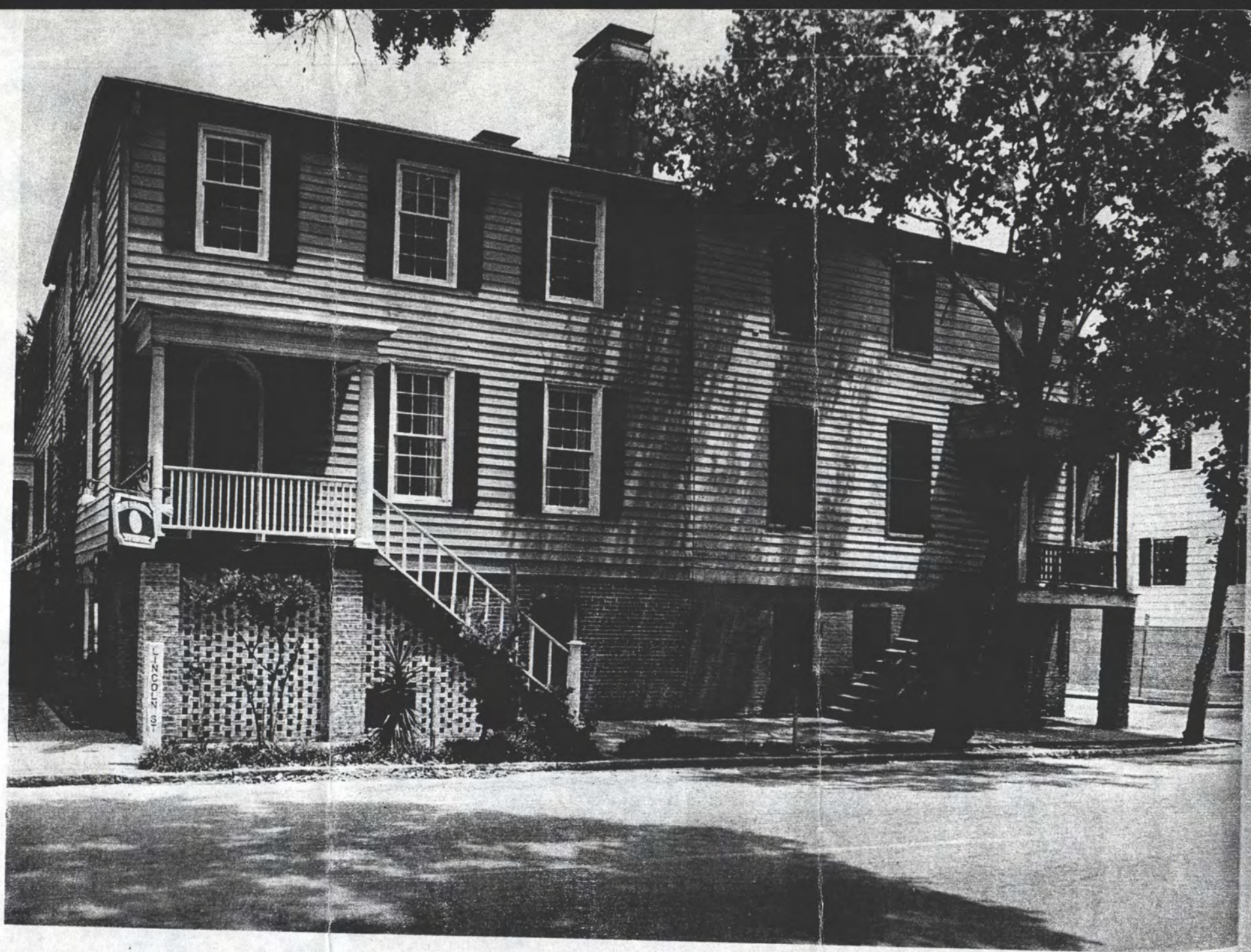
December 10th 1991

Dear Harvie:

For the porch on Bryan Street, I'd suggest very, very slender Tuscan columns (like 130-132 Lincoln Street). You might try making the landing as small as possible, so that the effect is delicate. Be sure to make the steps as steep as code will allow; finish the newel with something other than a flat cap, maybe a small round or flattened knob, and make the post more interesting than a square pillar.

Your admirer, with thanks,

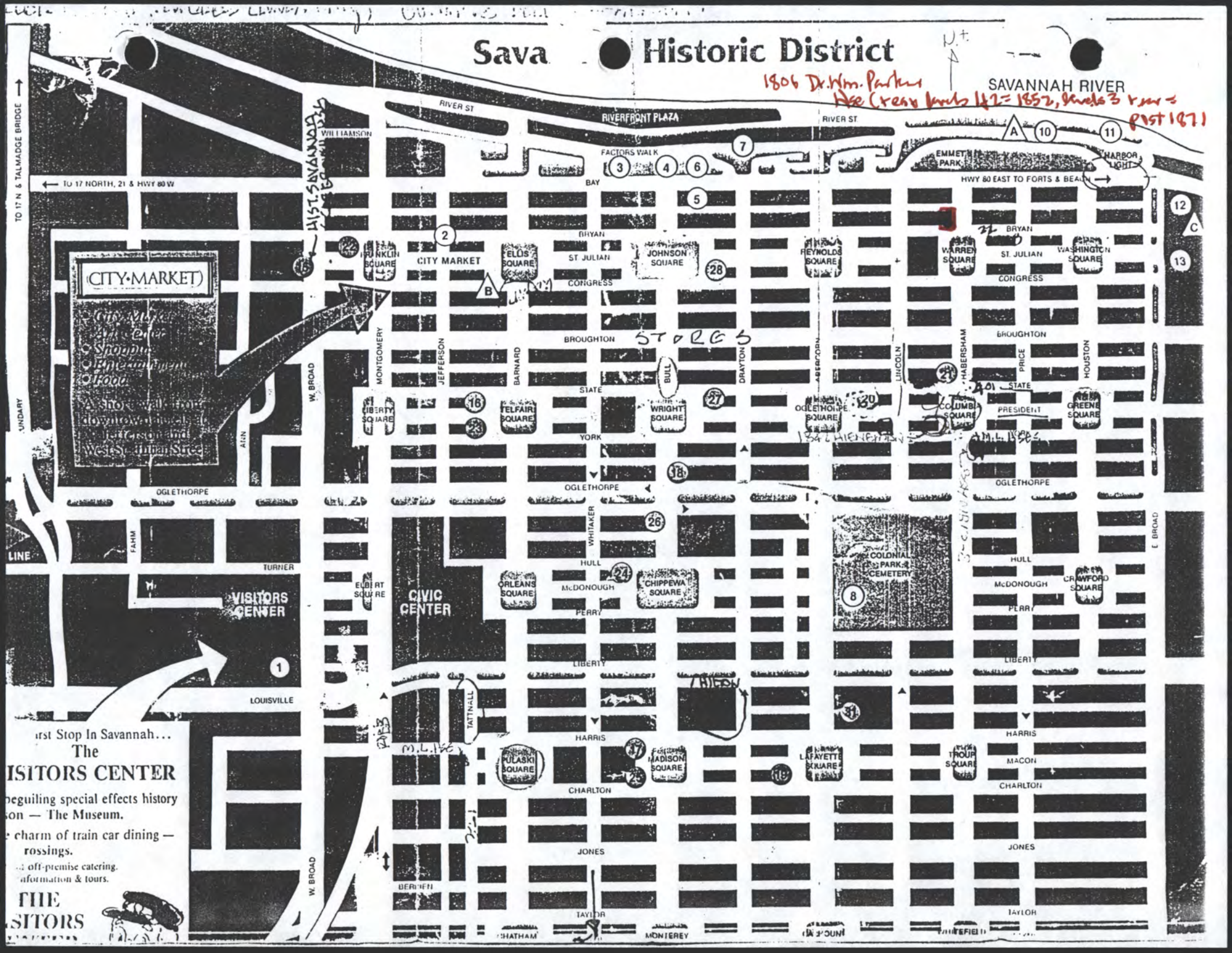
Mills Lane



Steele White Houses, 130-32 Lincoln Street, 1824.

Sava Historic District

1806 Dr. Wm. Parker
 See Census Maps 142 = 1852, Maps 3 & 4 =
 Post 1871



CITY MARKET

City Market
 Shopping
 Fine Antiques
 Food

A short walk from downtown Savannah
 at the corner of
 West and
 Middle Street

VISITORS CENTER

First Stop In Savannah...
The VISITORS CENTER
 featuring special effects history
 on — The Museum.
 the charm of train car dining —
 crossings.
 off-premise catering.
 information & tours.

THE VISITORS CENTER

1871
VIEW OF
SAVANNAH,
GA.

See - 10 N 50
R57C 1930-31

185 HELMHO
112

1806
Wm. PHELPS HSE
(ADD. = 1852) - R66L

N 50

HIST
INFO.



1871
VIEW OF
SAVANNAH

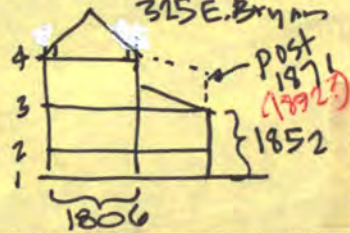
324
Rosedale
930-9175

182
Newman
1-2

182

DR. WIM. PARKER

315 E. Bryan



91167

Nov. 18-91

Savannah
Warren Sq

- 7.12 324-26 East Bryan Street
Built for Dr. William Parker
1806-09; remodeled 1895
- 7.13 32-34 Habersham Street
Built for Harry Schroder
1898
- 7.14 415 East Congress Street [not illustrated]
Built for John Ballou
1839
- 7.15 419 East Congress Street
Built for John Ballou
1839
- 7.16 426 East St. Julian Street
Built for Henry F. Willink
1845; moved from Price Street, south of
Oglethorpe Avenue
- 7.17 421-25 East St. Julian Street
Built for Thomas Magee
1892; doorways altered
- 7.18 420 East St. Julian Street
Built for Margaret A. Pendergast
1868
- 7.19 419 East St. Julian Street
Built for William Pope
1826; reconstruction
- 7.20 22 Habersham Street
Built for George Basil Spencer
1790-1804
- 7.21 24 Habersham Street
Built for John David Mongin
1797; moved from southwest tything of
Warren Square with lower basement
and new porch



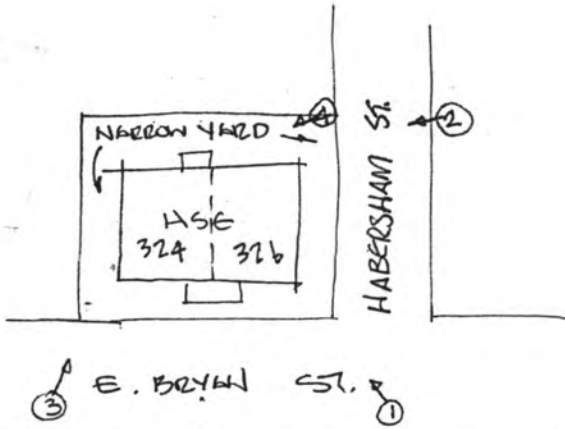
7.12



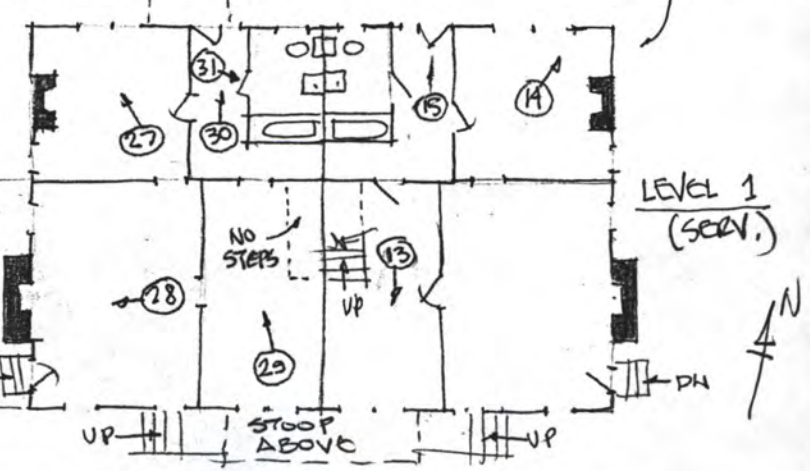
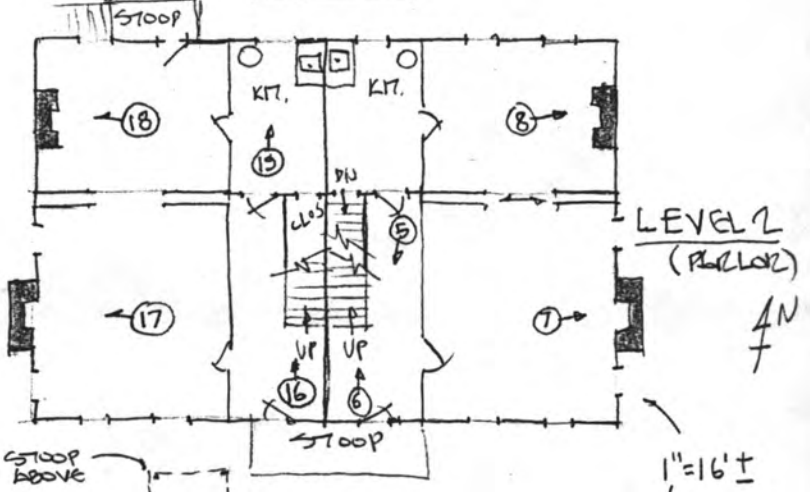
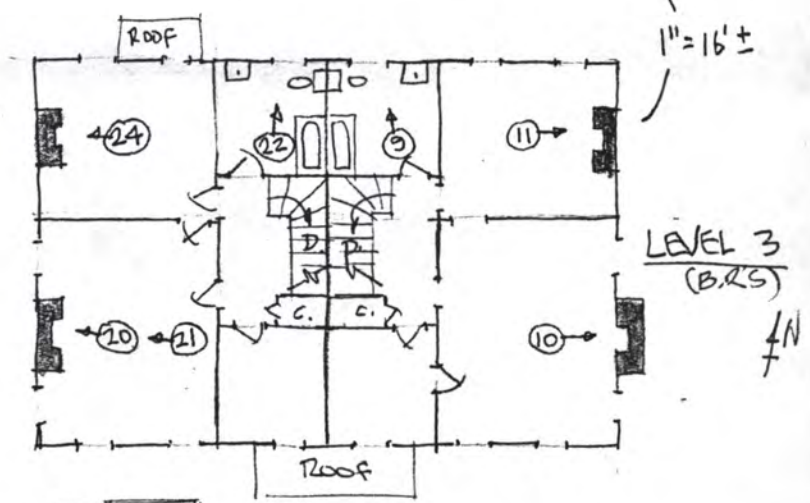
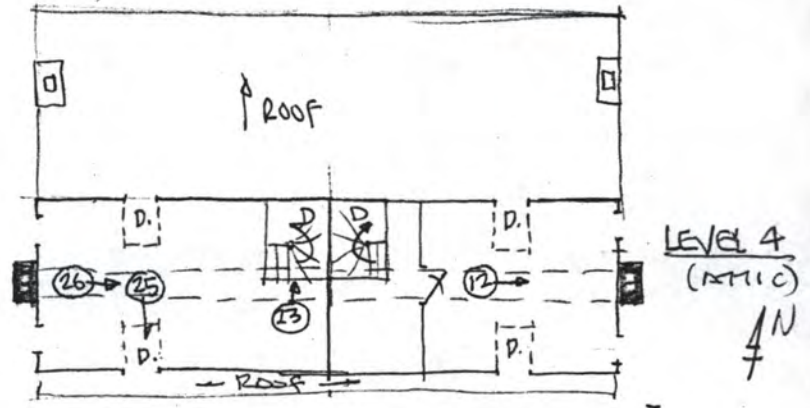
7.13



7.15



WARREN SQ.
SITE SKETCH - NO SCALE



JONES & HERRIN

Architecture/Interior Design

104 Jefferson Street Huntsville, AL 35801

"BEFORE" PHOTO KEY PLAN
 C. 1809 DR. PARKER DOUBLE-HOUSE
 324 & 326 E. BRYAN ST.
 & HABERSHAM ST.
 WARREN SQUARE
 SAVANNAH, GA.
 PHOTOS DEC. 1991
 HARVE P. JONES, FAIA
 JONES & HERRIN, ARCH.
 HUNTSVILLE, AL.

BLDG

YARD

UP

STOOP ABOVE

UP

UP

324-326 East Bryan Street

Lot 13

Warren Ward

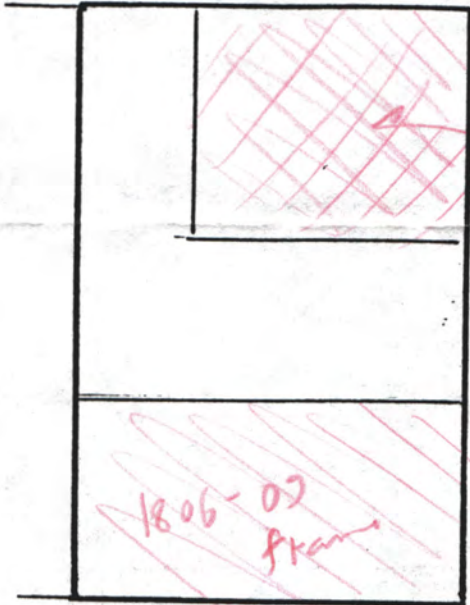
324-326 East Bryan Street

Lot 13 (South 1/2)

11 Habersham Street

Lot 13 (North 1/2)

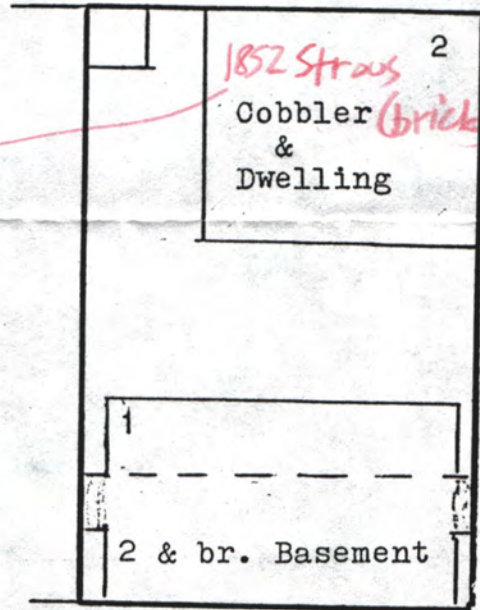
Bay lane



Bryan Street

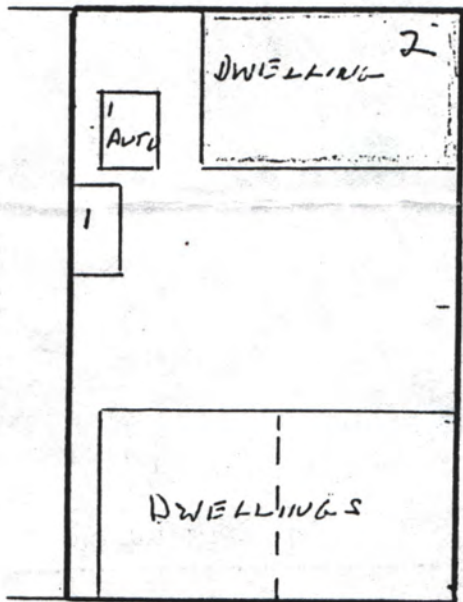
Vincent 1853

Bay lane



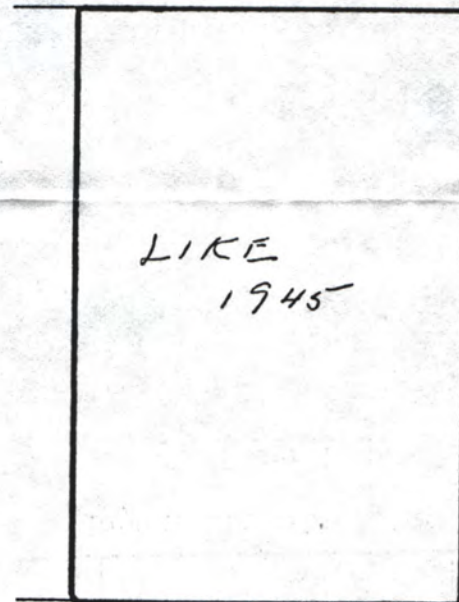
Bryan Street

Sanborn 1884



Bryan Street

Sanborn 1945



Bryan Street

Sanborn 1973

324-326 East Bryan Street

South $\frac{1}{2}$ Lot 13

Warren Ward

11 Habersham Street

North $\frac{1}{2}$ Lot 13

City Ledger 1791 - 1804 , & 1804 - 1806

1791 Mathew McAllister

1794 R. Watts

1797 Richard McAllister

1803 E. Stark

1806 William Parker, paid May 30 for 7 quarters due April 1806

1809 T.D. Dr. William Parker \$5000.

(See next page for details of tax digests.)

1845, April 4 (3 C 175) Ann Johnson et al sold to Patrick Duffy for the estate of Dr. William Parker lots 13 and 14 "at the corner of Bryan and Habersham streets with the improvements thereon, late the residence of William Parker" for \$5500. (N.B. the amount is hard to read, it may be \$2500.)

The fact that the valuation of improvements drops 50 % when Patrick Duffy buys the property may be because Parker was paying non-resident double taxation.

If 324-426 East Bryan is this early house, the residence of Dr. Parker, it must have been built between 1806 and 1809.

324-326 East Bryan Street

South $\frac{1}{2}$ Lot 13

Warren Ward

11 Habersham Street

North $\frac{1}{2}$ Lot 13

Research by Ernest H. Lorenz 111, A.S.C.

1809 T.D. Dr. William Parker			\$5000.
1810 T.D. " " "			5000.
1811 T.D. " " "			6000.
1812 T.D. " " "			6000.
1813 T.D. " " "			5250.
1814 T.D. " " "			5250.
1815 T.D. " " "			6000.
1816 T.D. " " "			4500.
1817 T.D. " " "			4500.
1820 T.D. " " "			5000.
1841 T.D. " " "			4000.
1842 T.D. " " "			4000.
1843 T.D. " " "			2000.
1847 T.D. Patrick Duffy			2500.
1848 T.D. " "			2500.
1849 T.D. " "			2500.
1850 T.D. " "			2500.
1851 T.D. John H. Strous			2000.
1852 T.D. " "			3500.
1853 T.D. " "		<u>(\$3500.)</u> <u>2000.)</u>	5500.
1854 T.D. " "			4000.
1866 T.D. " "			4000.
1868 T.D. " "			4500.
1870 T.D. " "			7500.
1873 T.D. " "			7500.
1874 T.D. " "			6000.
1878 T.D. " "			4000.

Lot 13

Warren Ward

1880 T.D. Nagle	North $\frac{1}{2}$	\$1800.	ASC
Strous	South $\frac{1}{2}$	4000.	ASC
1881 T.D. Nagle	North $\frac{1}{2}$	1800.	ASC
Strous	South $\frac{1}{2}$	2200.	ASC
1886 T.D. Nagle	North $\frac{1}{2}$	1900.	ASC
Thompson	South $\frac{1}{2}$	2200.	ASC

The \$2000. increase in the value of improvements from 1852 to 1853 suggests that 11 Habersham, a brick building on the north side of the lot was completed in 1852 for John H. Strous.

324 - 326 East Bryan Street

Lot 13

6/10/1895
Washington Ward

Savannah Morning News, April 2, 1895, page 8, column 5

.....Two practically new dwellings have been built from the old two-story and basement house at Bryan and Habersham streets. The work has been underway for some time by Mr. Sullivan, and is about complete. The property is owned by Miss Ida Henderson....

1890-94 T.A. ~~Thompson~~ ^{Wilson} 2800.
Miss Ida Henderson 1200. lot + \$2000. imp.

1895 T.D. Miss Ida Henderson South $\frac{1}{2}$ lot 13 \$1200. lot + \$2000. imp.

324 - 326 East Bryan Street

Lot 13

Warner
Washington Ward

Savannah Morning News, April 2, 1895, page 8, column 5

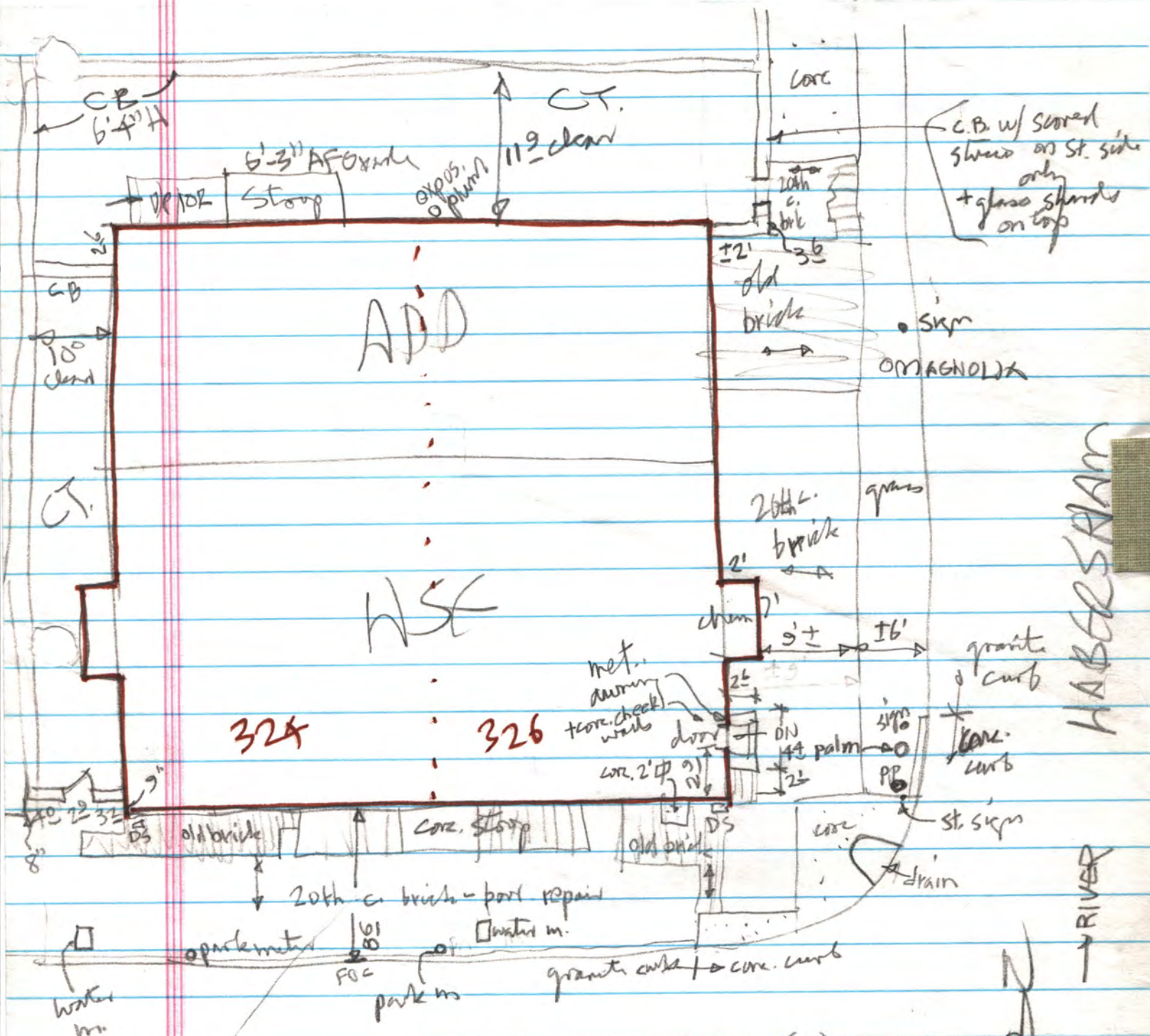
.....Two practically new dwellings have been built from the old two-story and basement house at Bryan and Habersham streets. The work has been underway for some time by Mr. Sullivan, and is about complete. The property is owned by Miss Ida Henderson....

1890-94 T.A. ~~Thompson~~ ^{Wilson} 2800.
Miss Ida Henderson 1200. lot + \$2000. imp.

1895 T.D. Miss Ida Henderson South $\frac{1}{2}$ lot 13 \$1200. lot + \$2000. imp.

*Most of the Vic. modifs appear
to have been done in 1895 - (A)*

324-326 E St Julian St Savannah 8 Dec '91 W



ADD
HSE
324

326

Bricks = flat half bond 90° to sts (ca)

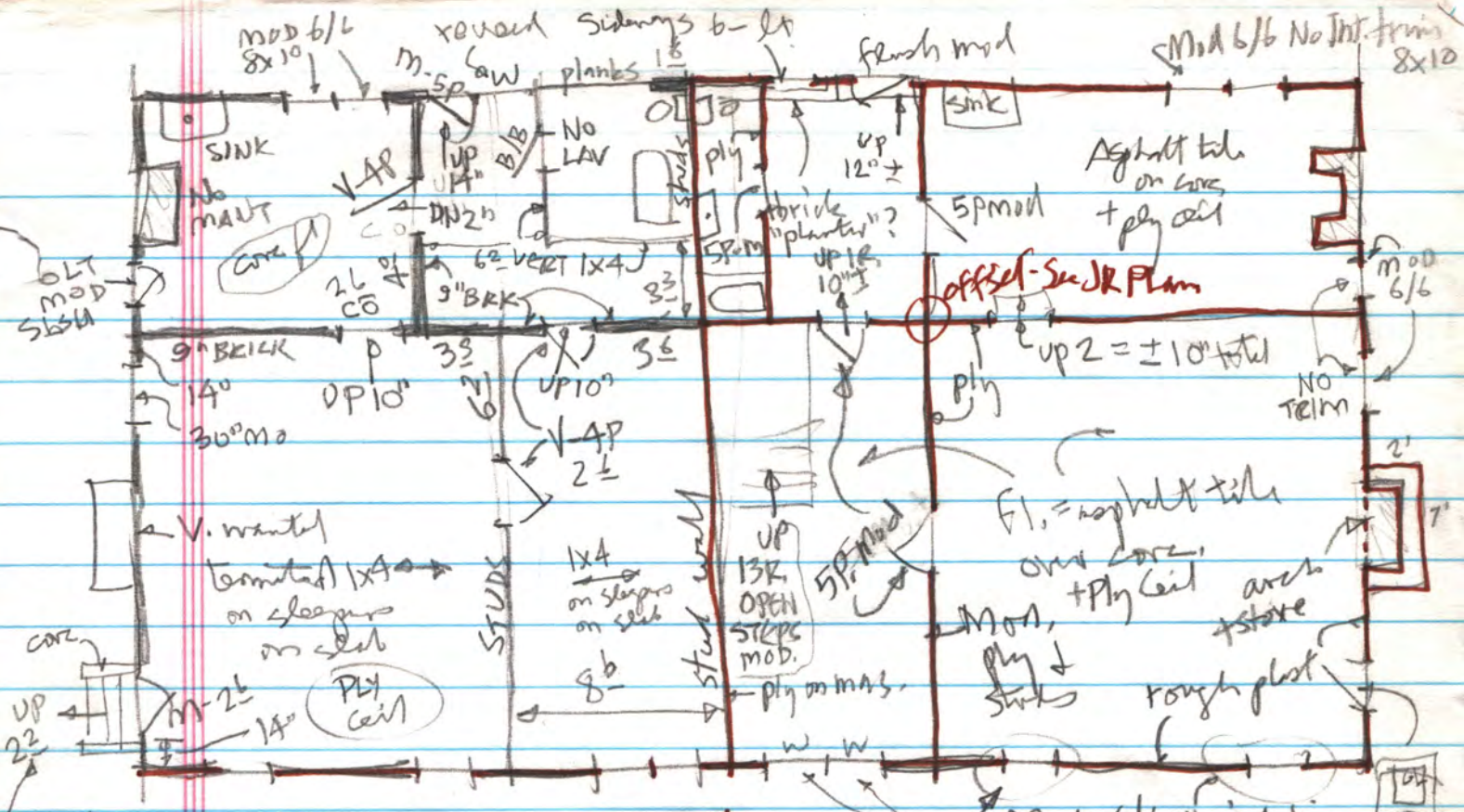
324-326 E BRYAN

Warren Sq

HABERSHAM

FIELD NOTES

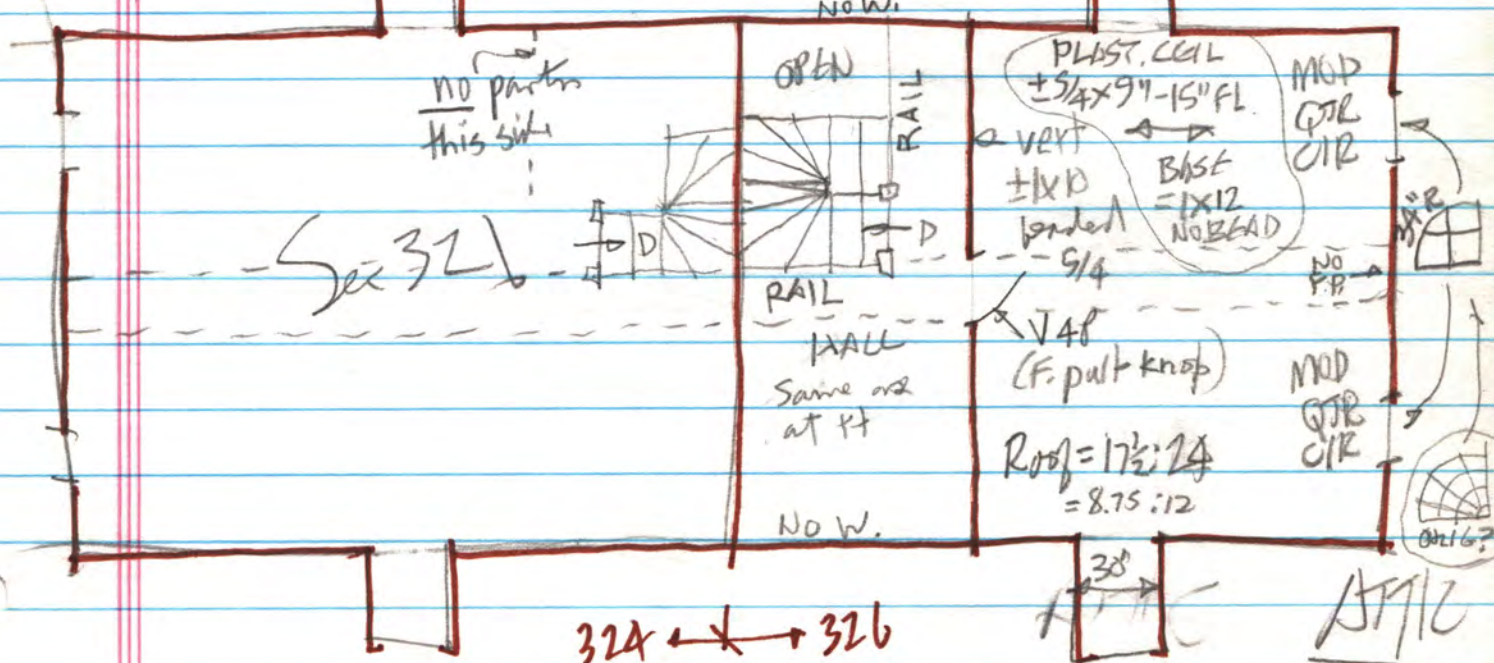
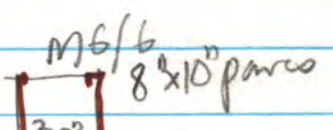
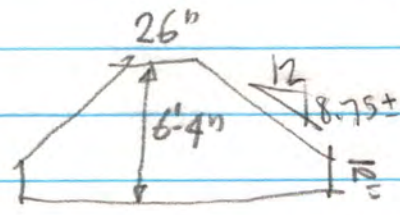
RIVER



324-26 E. Bryn Mawr St.
 Savannah Ga
 8 Dec '91 MJ

LEVEL 1

GRND. FL.

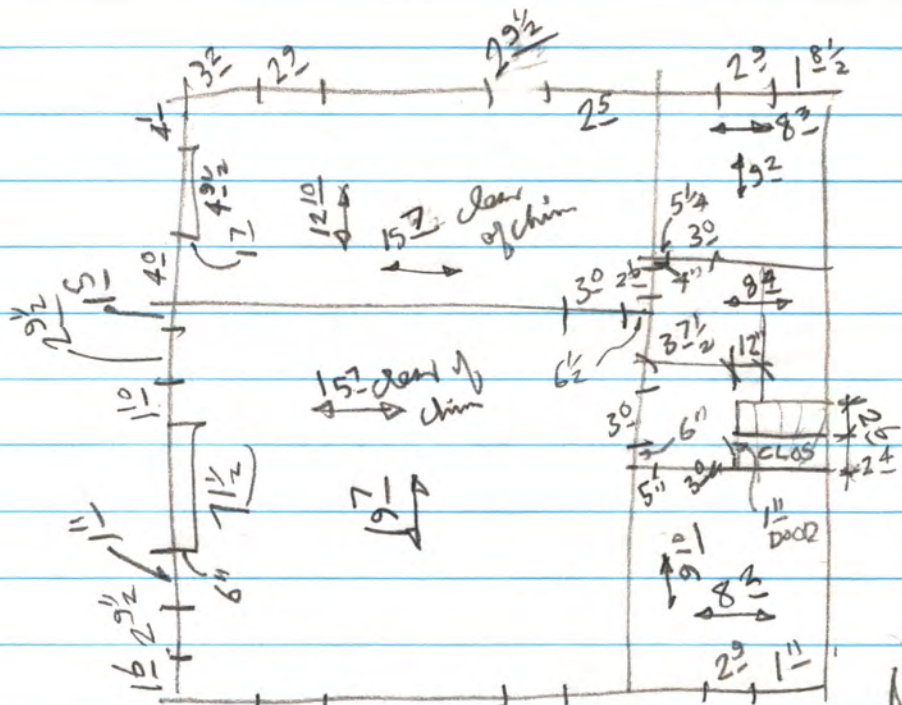


324 ← → 326

Mod 6/6 8x10 panes
 LEVEL 4

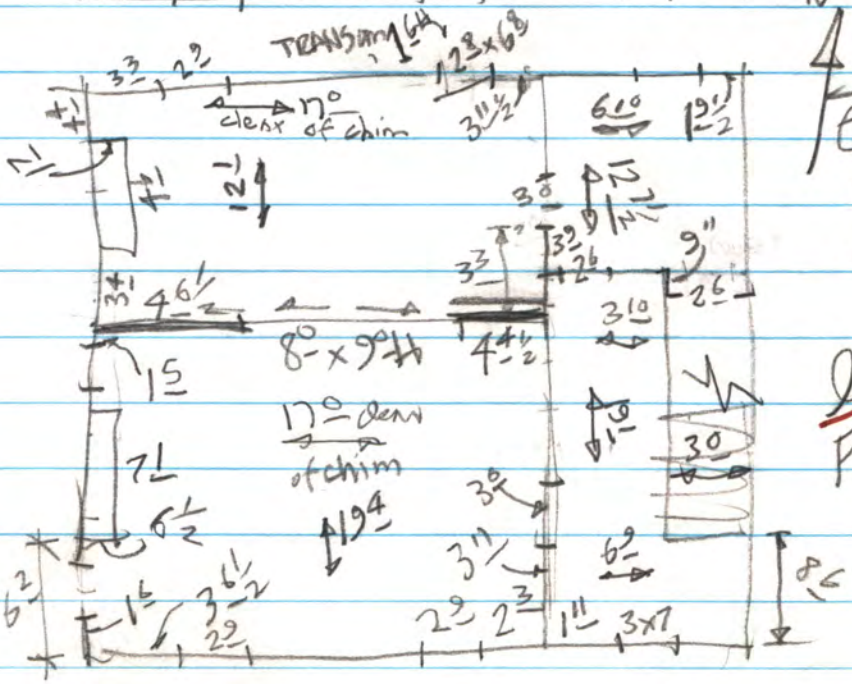
57th PARKWAY
 JOSEPHES
 x 29 1/2
 (12m) 5" W.

5th Floor

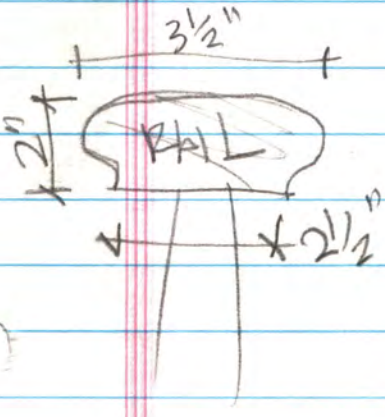


Level 3
 BR.

North West
 4 Unit
 E. BRYAN ST.
 SAVANNAH
 10 Dec 91
 HU

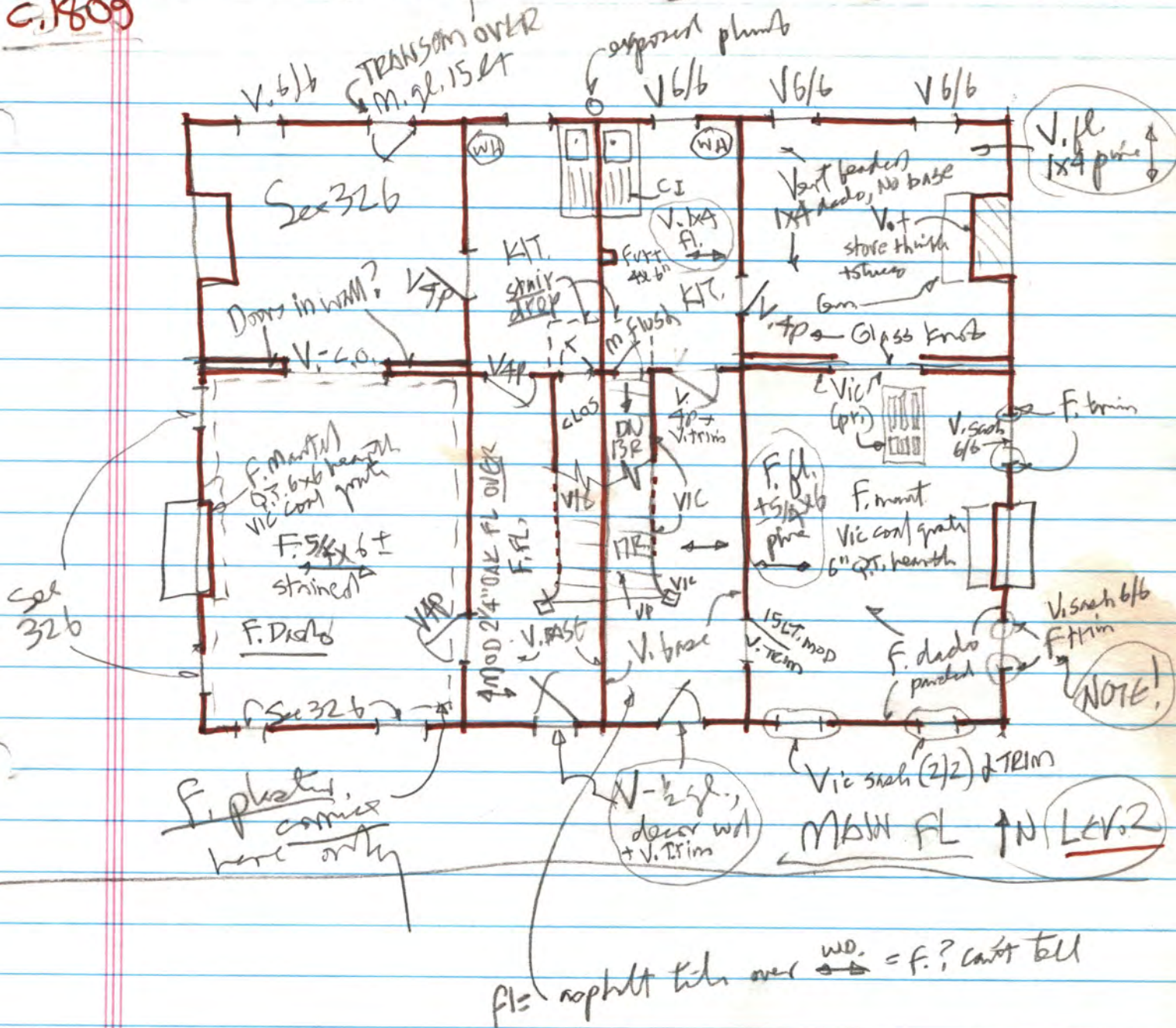


Level 2
 PARLOR

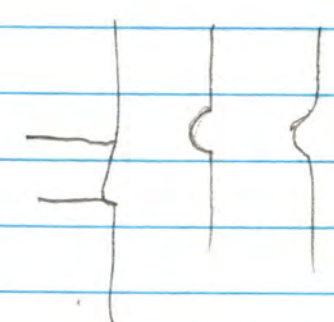


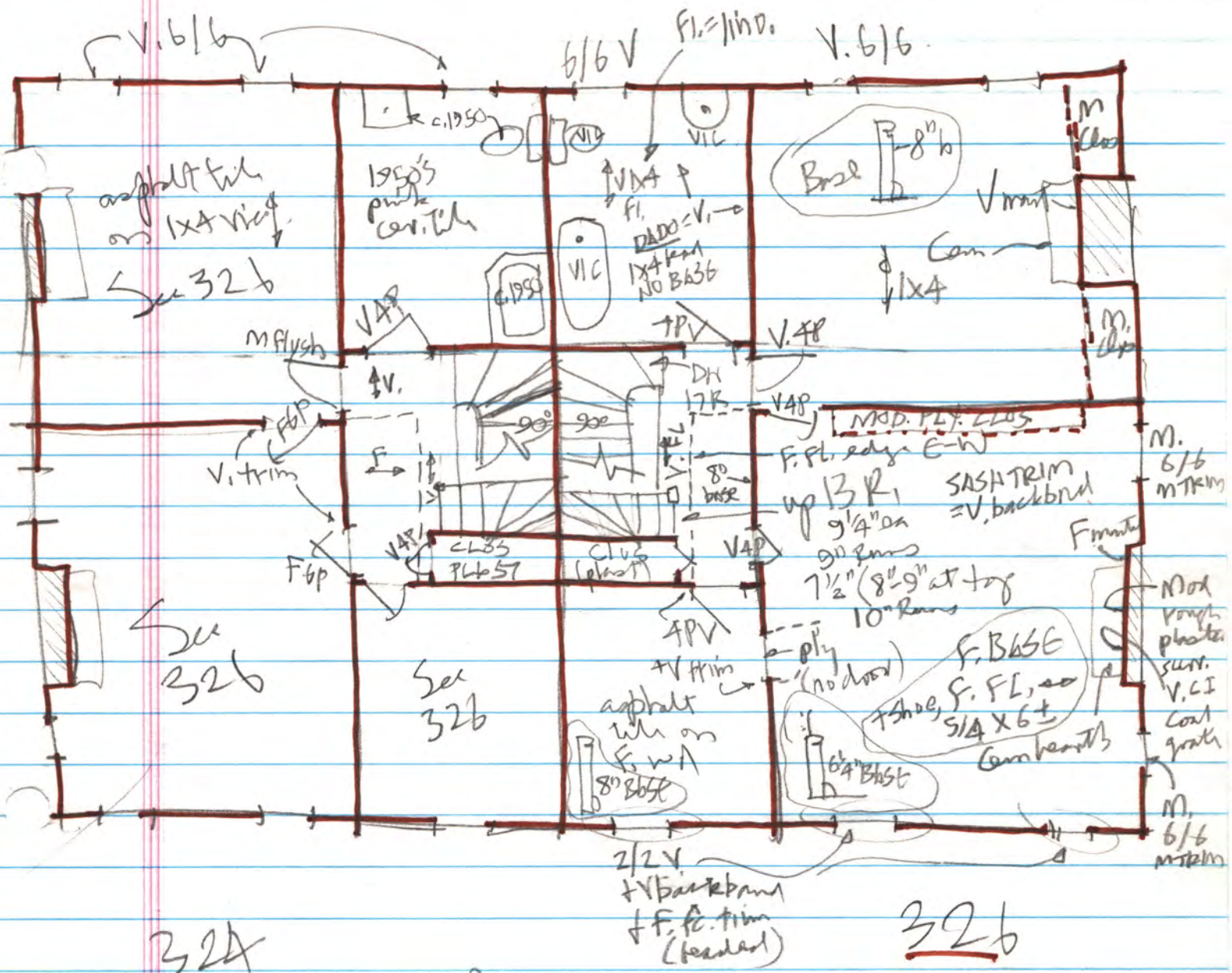
C.1809

324.26 E Bryan St. Swann (Doc 4) HS



324 ← → 326





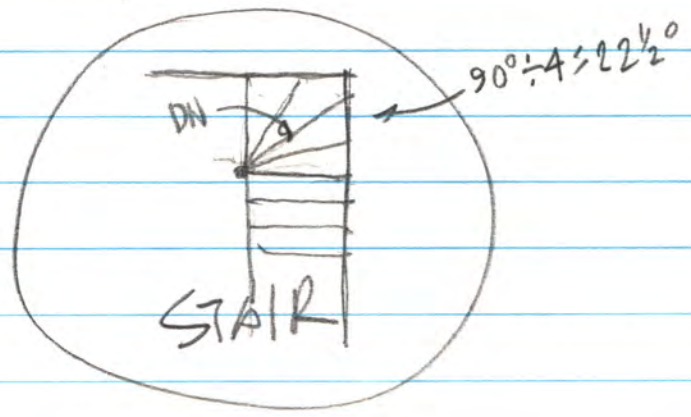
32A

Level 3

32b

V. 6/6 sashes = 10" x 15" panes

324-26 E. Bryan St. Savannah 8 Dec '91 AJ

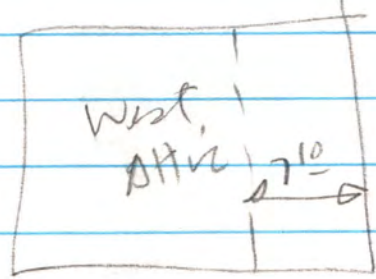
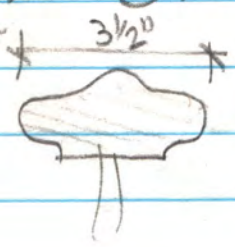


1. Screen - w) back door then kit (A)
" " " din (B)

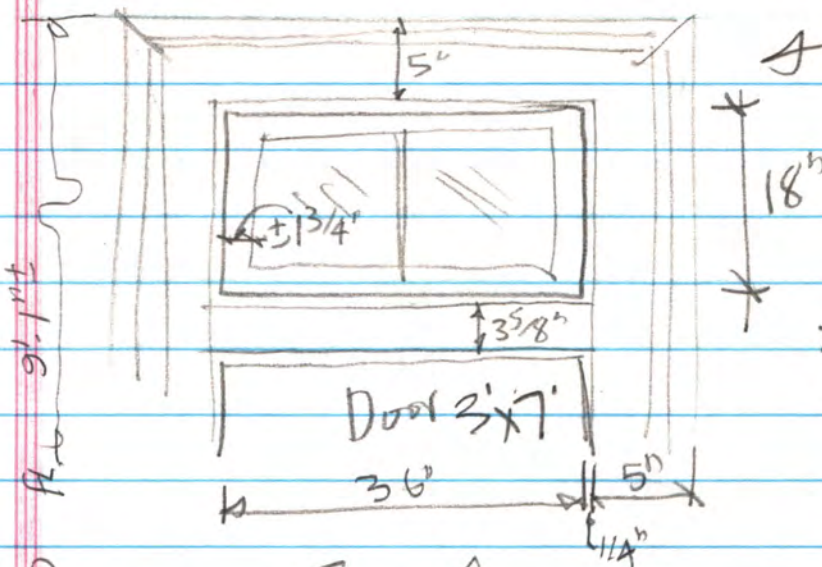
2. Land in bsmt

3. Keep bsmt door at SW wall

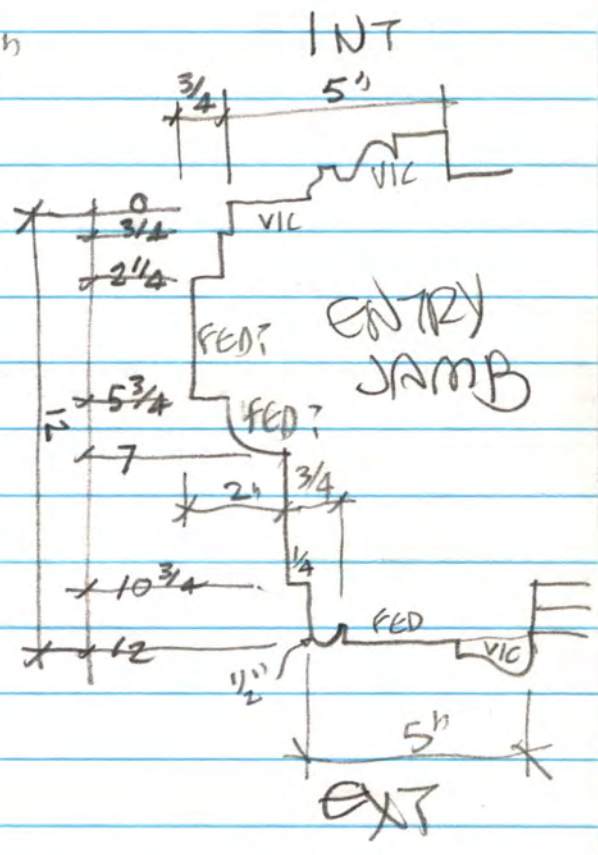
Handrail = $3\frac{1}{2}''$ w.



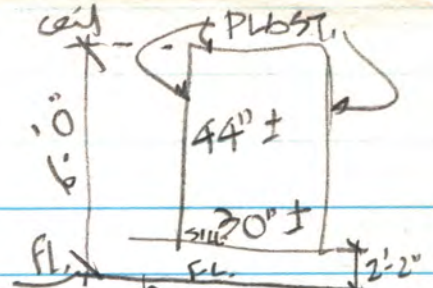
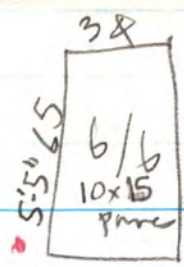
ENTRY TRAWSON (INT)



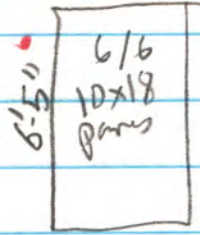
E Bryan St. Savannah
10 Dec '21 HS



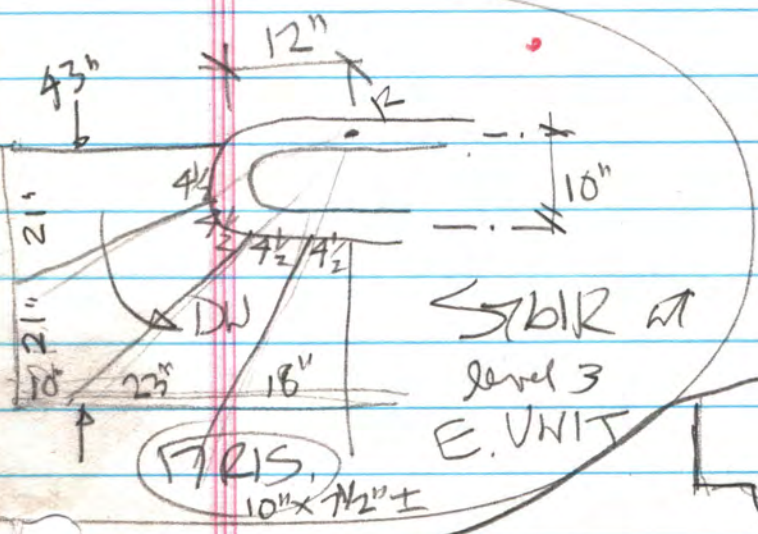
Fl. 2 Vitr (near) Sash
(inside steps)



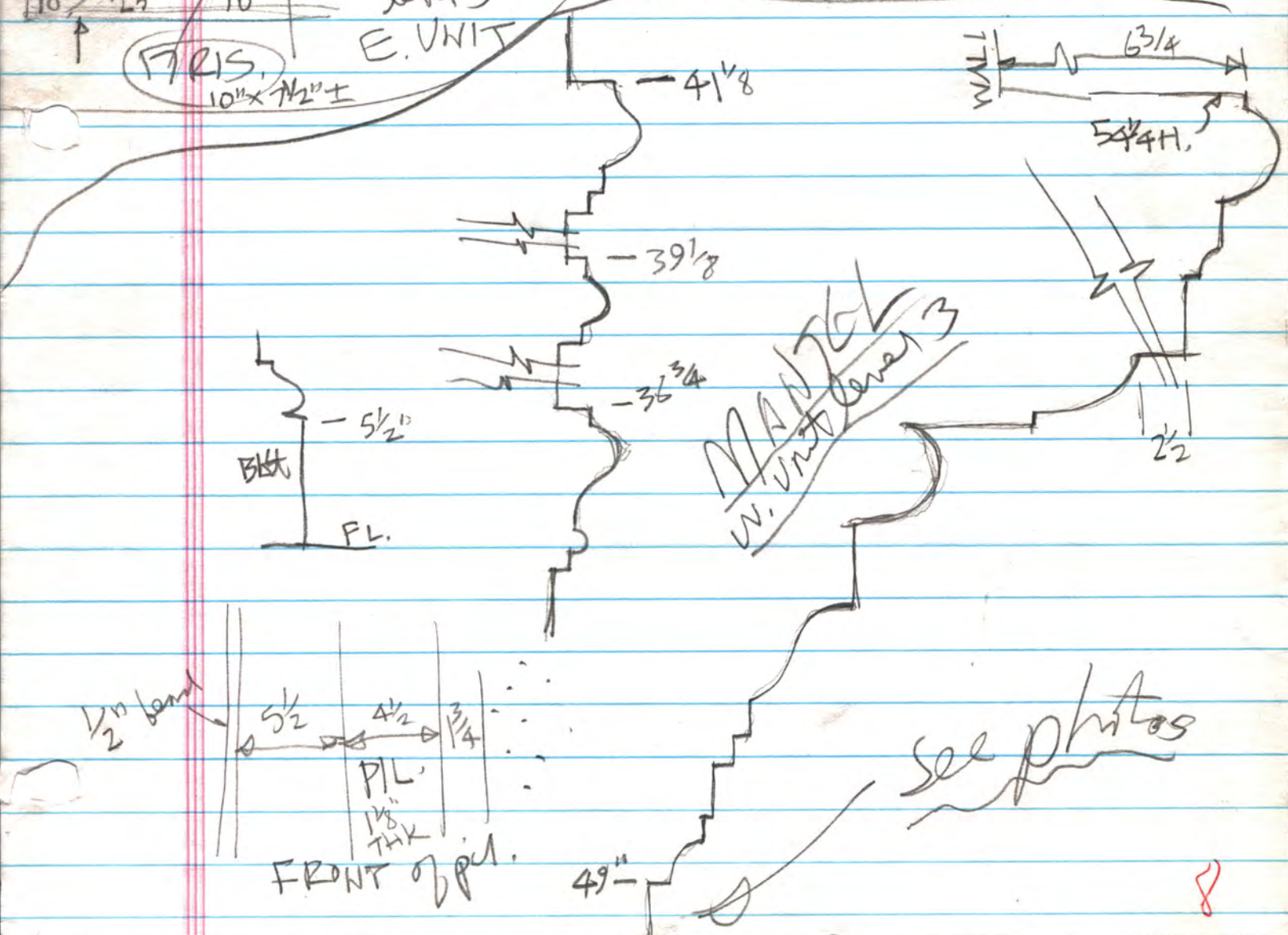
Fl. 1 Vitr (near) Sash



Dormer
8x10-6/6

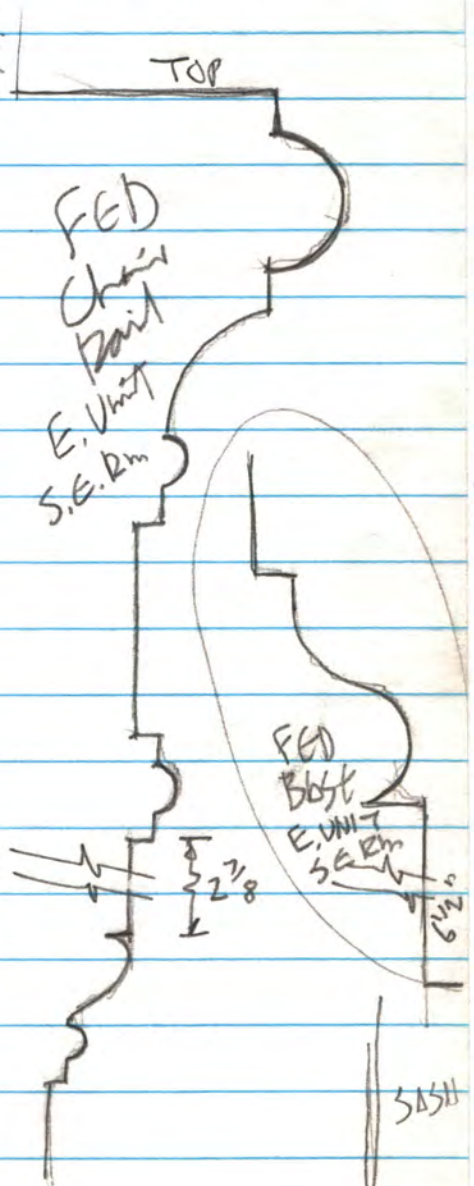
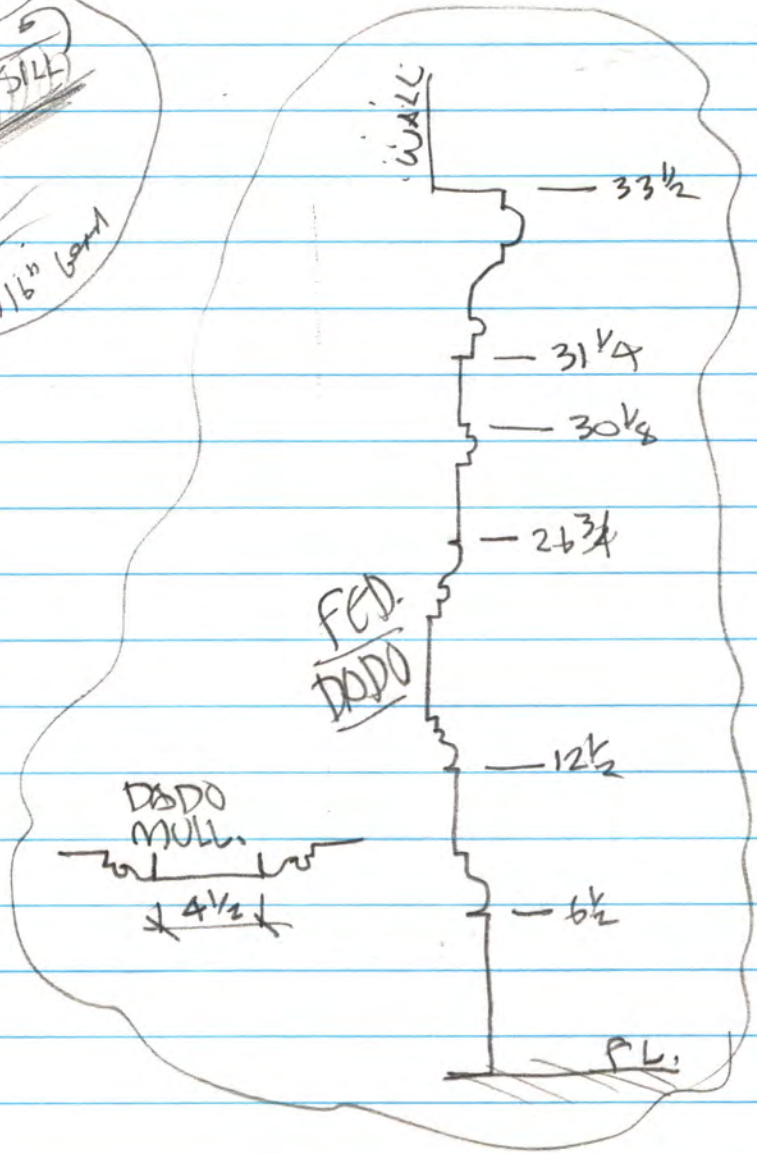
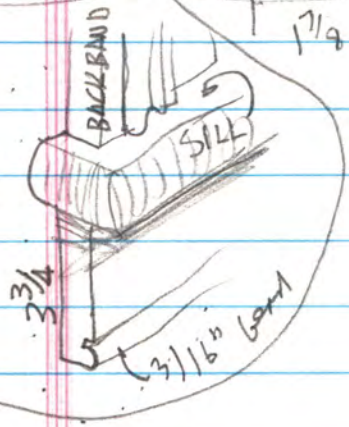
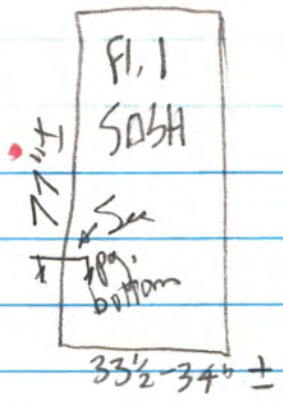
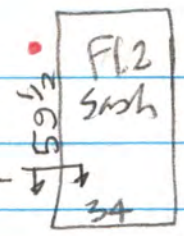
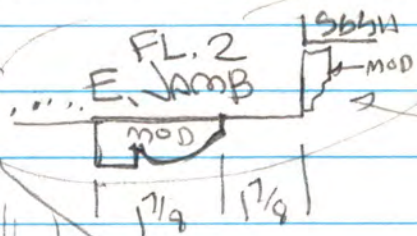


WELBRTAS
± 15" deep x 5'-4" w. (Felt) com.
+ 2 1/4" wood border

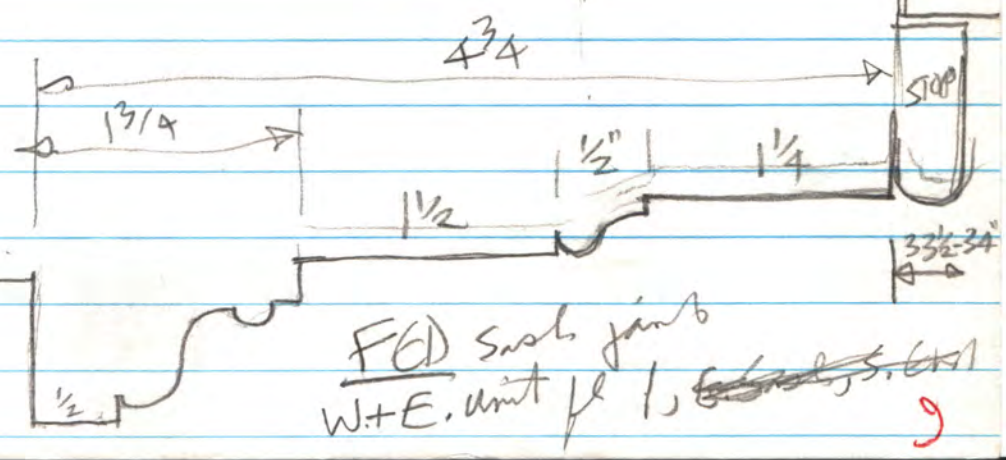


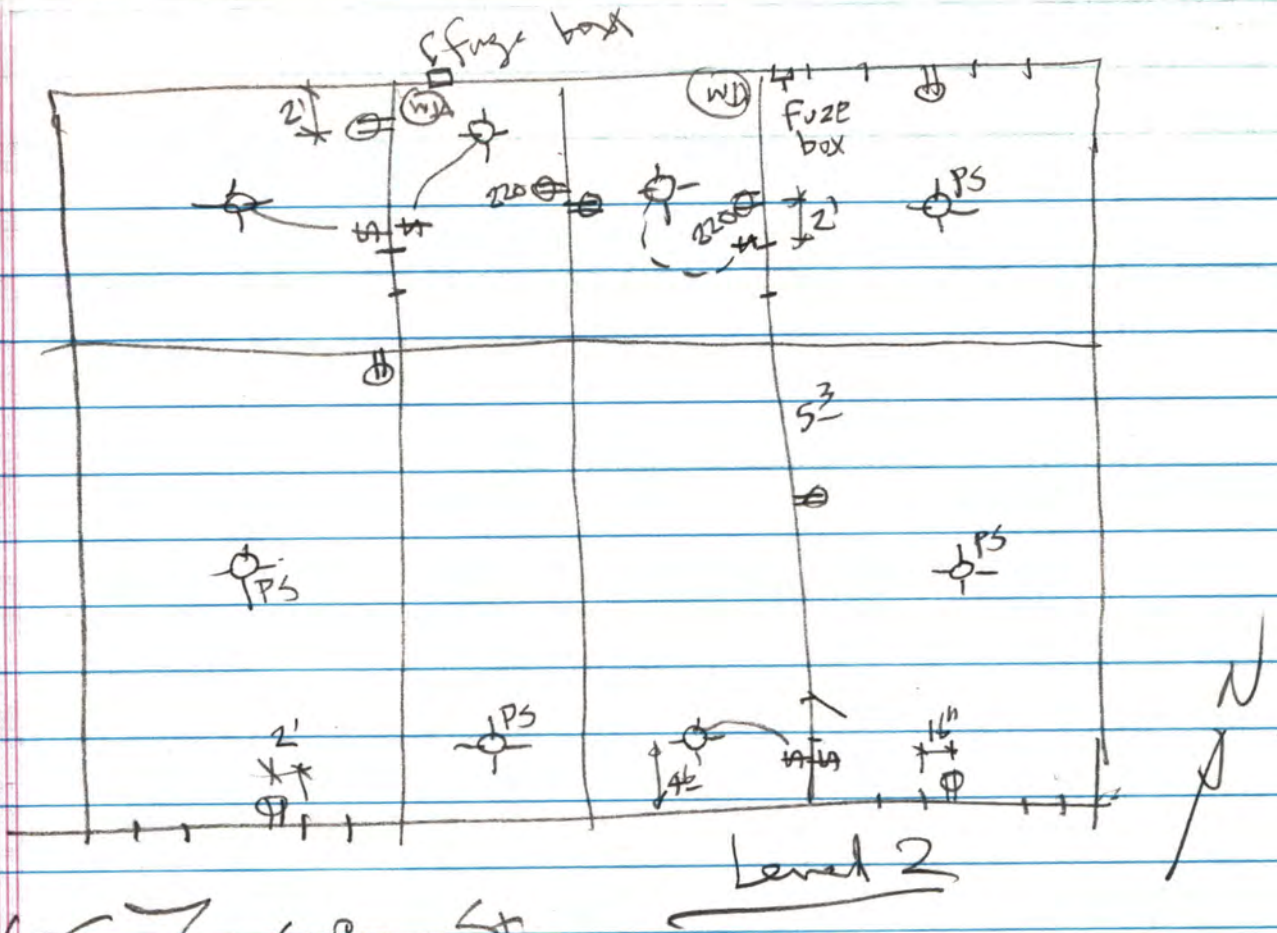
E. Bayan St. Swamps
 Dec. 10 '91 (11)

FL. 2 S. Jamb
 = Same as
 FL. 1

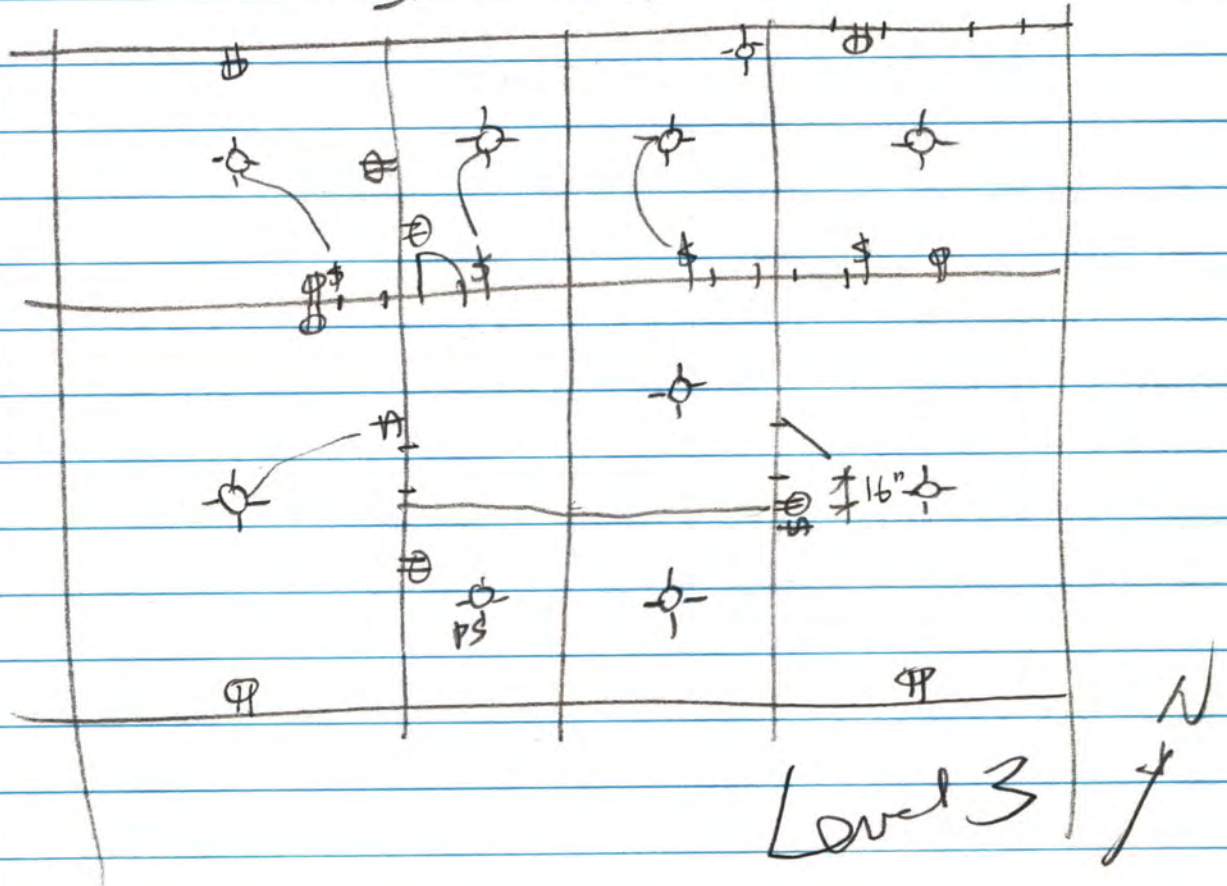


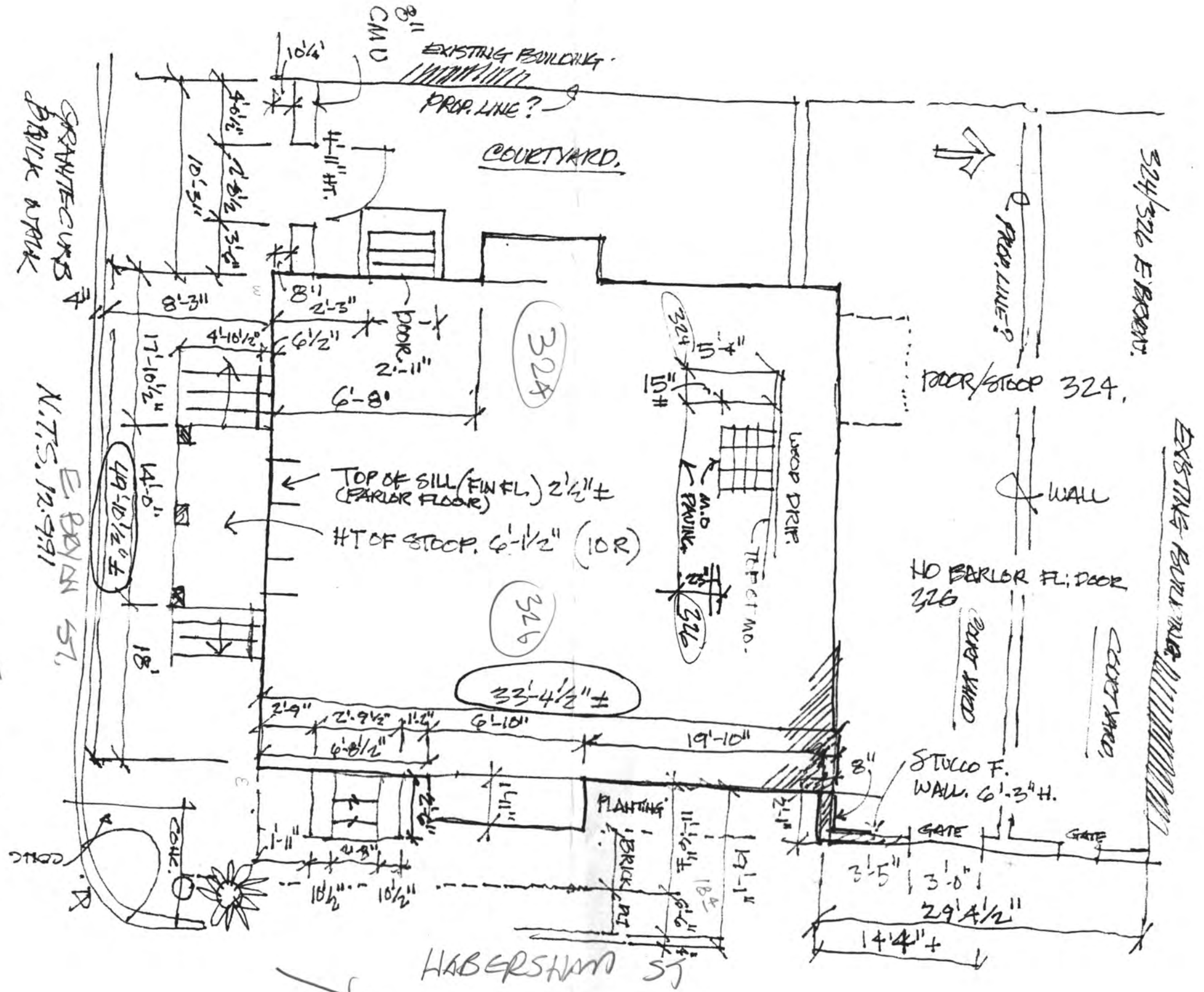
VIC BACKBAND
 VIC JAMB (Dorado Sash)
 1st Fl. east with S.E. 11





ELECT. E. Bryan St
 Dec 10/11/11
 Savannah





Drawn by John Peter, Arch-Summer
 Dec. 1991

NOTES
 10/22/91 (43)

GRANITE CURBS
 BRICK WALK

E BRYAN ST,
 N.T.S. 12.9/91

HABERSTADT ST

324/326 E BRYAN

EXISTING BUILDING

NO EARLOR FL. DOOR 326

STUCCO F. WALL 6'-3" H.

PLANTING

BRICK PAT

WOOD DRIVE

M.O. PAVING

TEMP. MO.

WALL

CONCRETE DRIVE

COURTYARD

DOOR/STOOP 324

324

326

33'-4 1/2" ±

TOP OF SILL (FIN FL) 2 1/2" ±

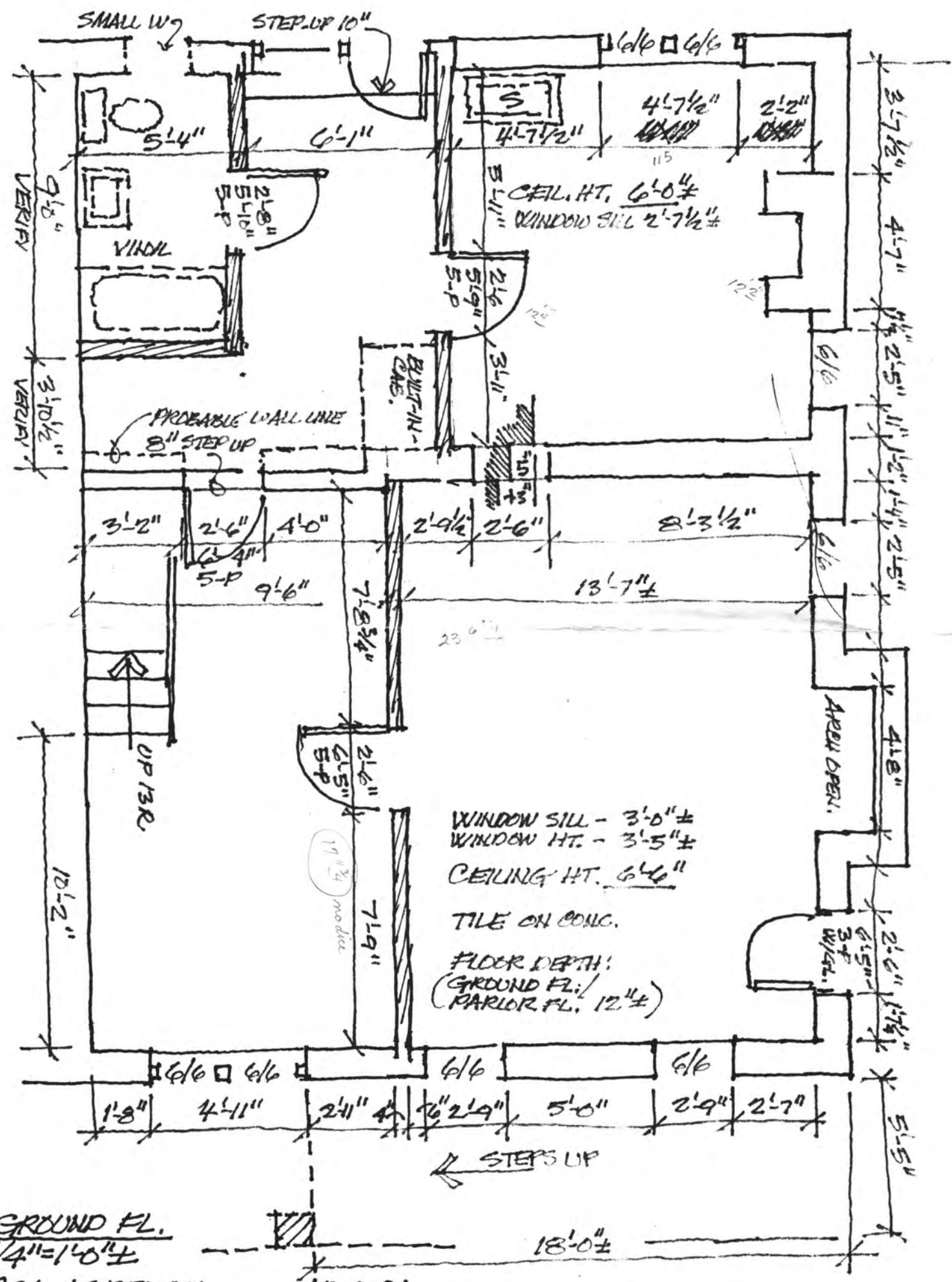
HT OF STOOP 6'-1/2" (10R)

EXISTING BUILDING
 PROP. LINE?

COURTYARD

PROP. LINE?





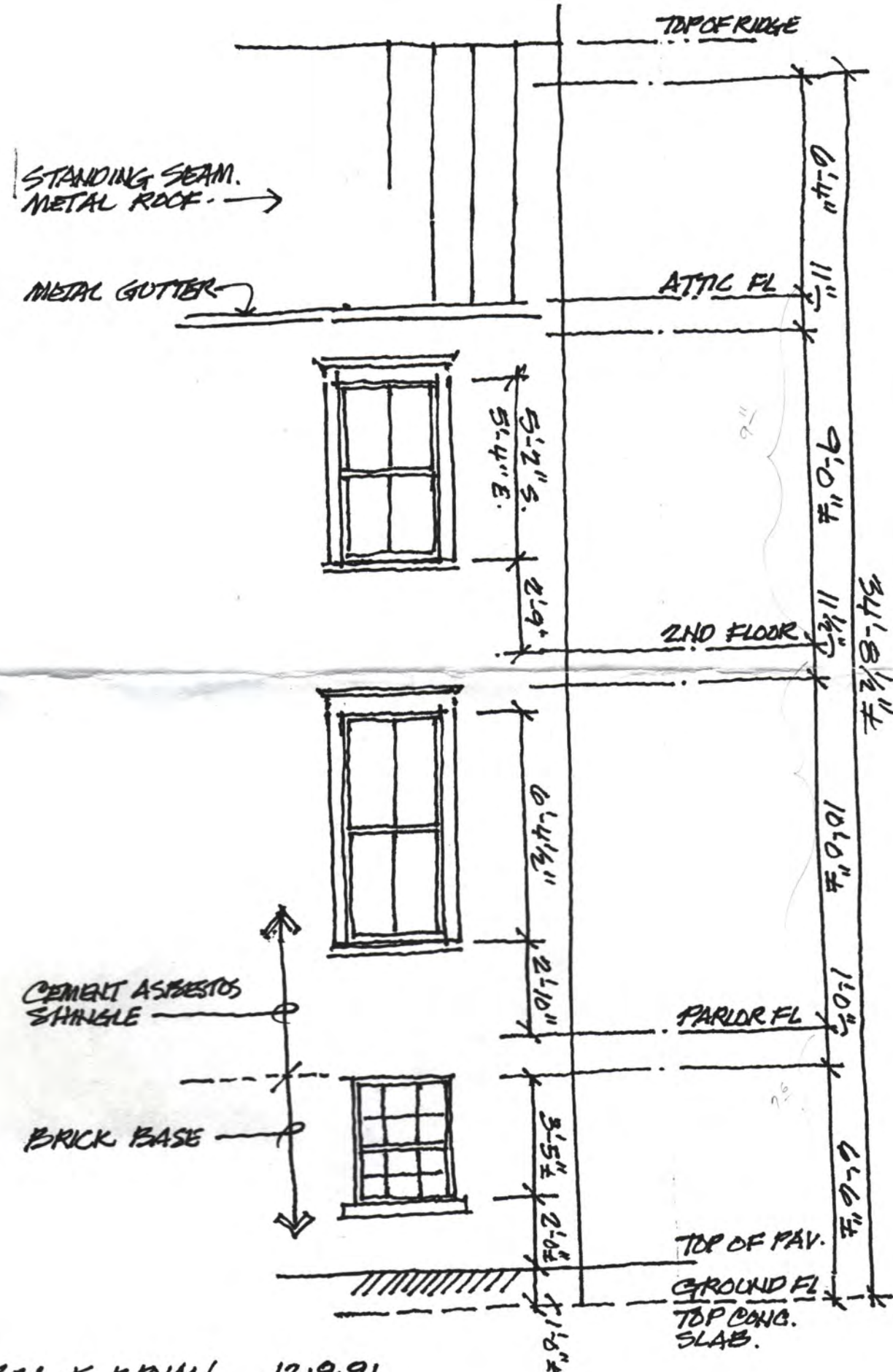
GROUND FL.
 1/4" = 1'-0" ±
 326 E BRYAN.

12.9.91

WINDOW SILL - 3'-0" ±
 WINDOW HT. - 3'-5" ±
 CEILING HT. 6'-6" ±
 TILE ON CONC.
 FLOOR DEPTH:
 (GROUND FL. /
 PARLOR FL. 12" ±)

STEPS UP

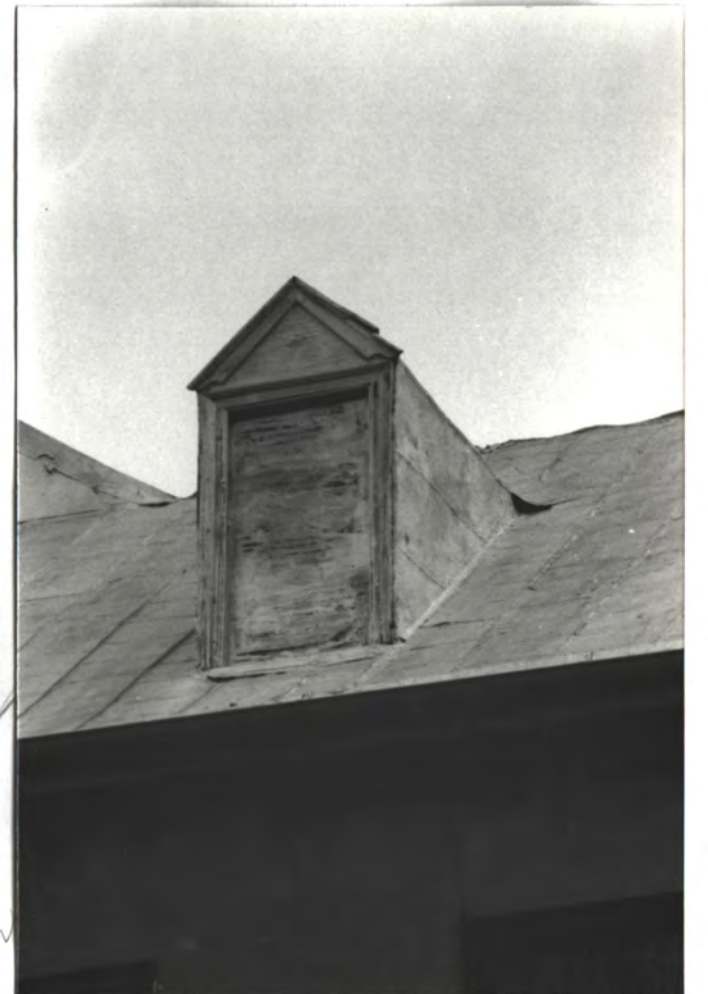
18'-0" ±



326 E BRYAN. 12.9.91
 SOUTH ELEV. 1/4" = 1'-0" ±

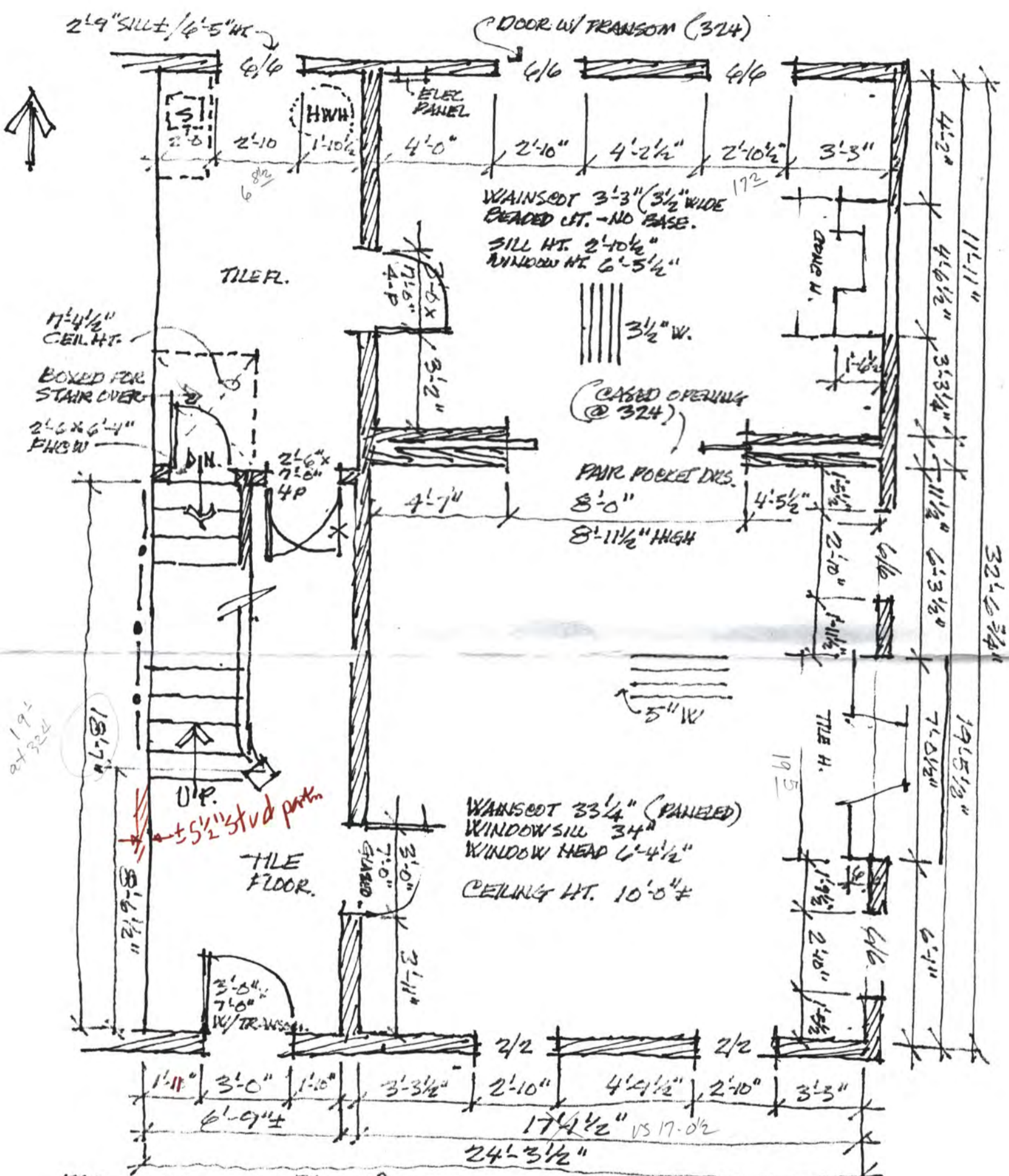


BRONX ST., EAST OF WEST 121 ST., S. SIDE

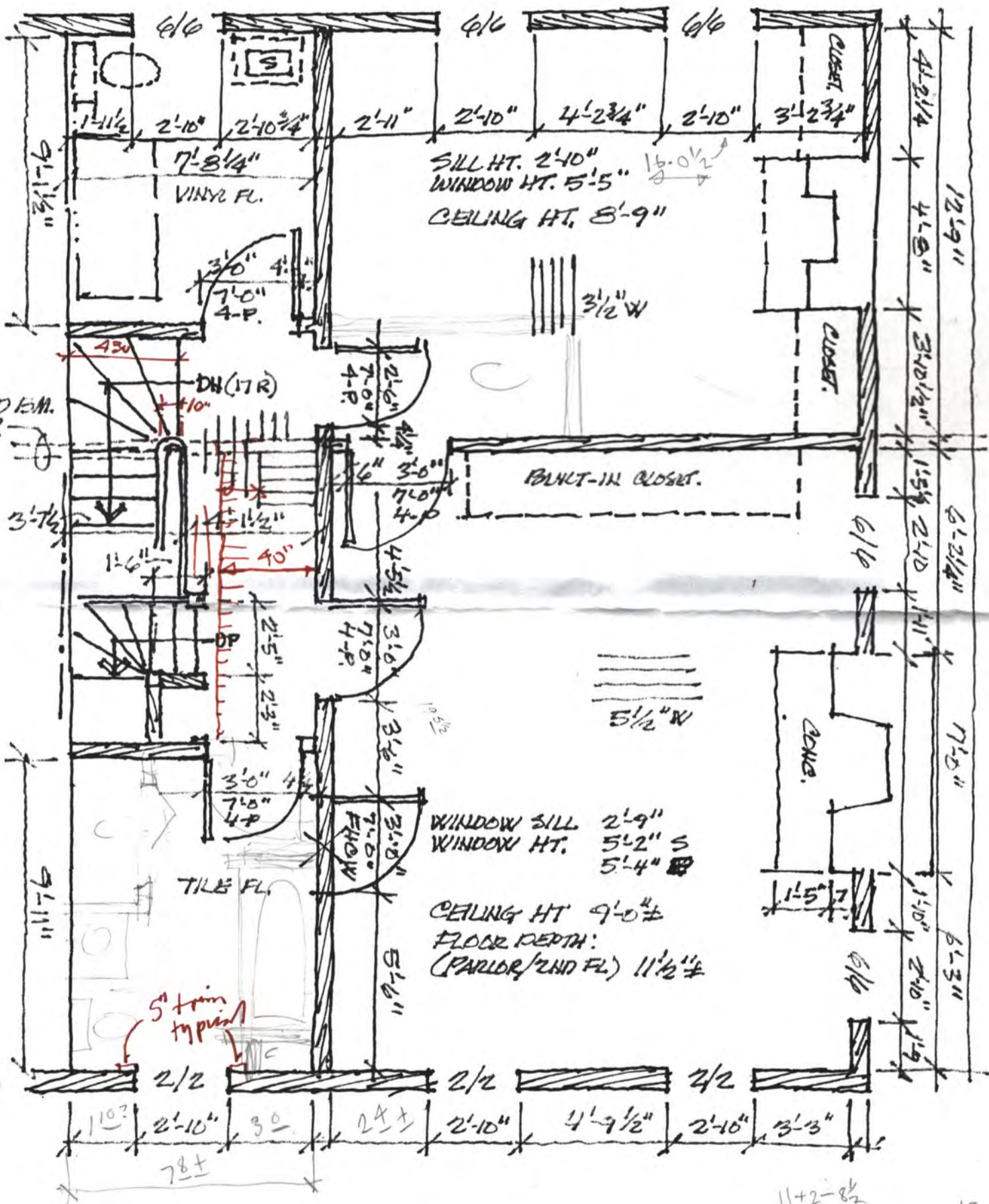


N.W. Corner 14th Street & Broadway

"AS BUILT" by John Pictor, AIA



PARLOR FL.
 1/4" = 1'-0" = L
 326 E. ERYAN - 12.9.91 - EDGE OF STOOP.



13+3 1/2"

3'-8"

10'-5 1/4"

SECOND FLOOR

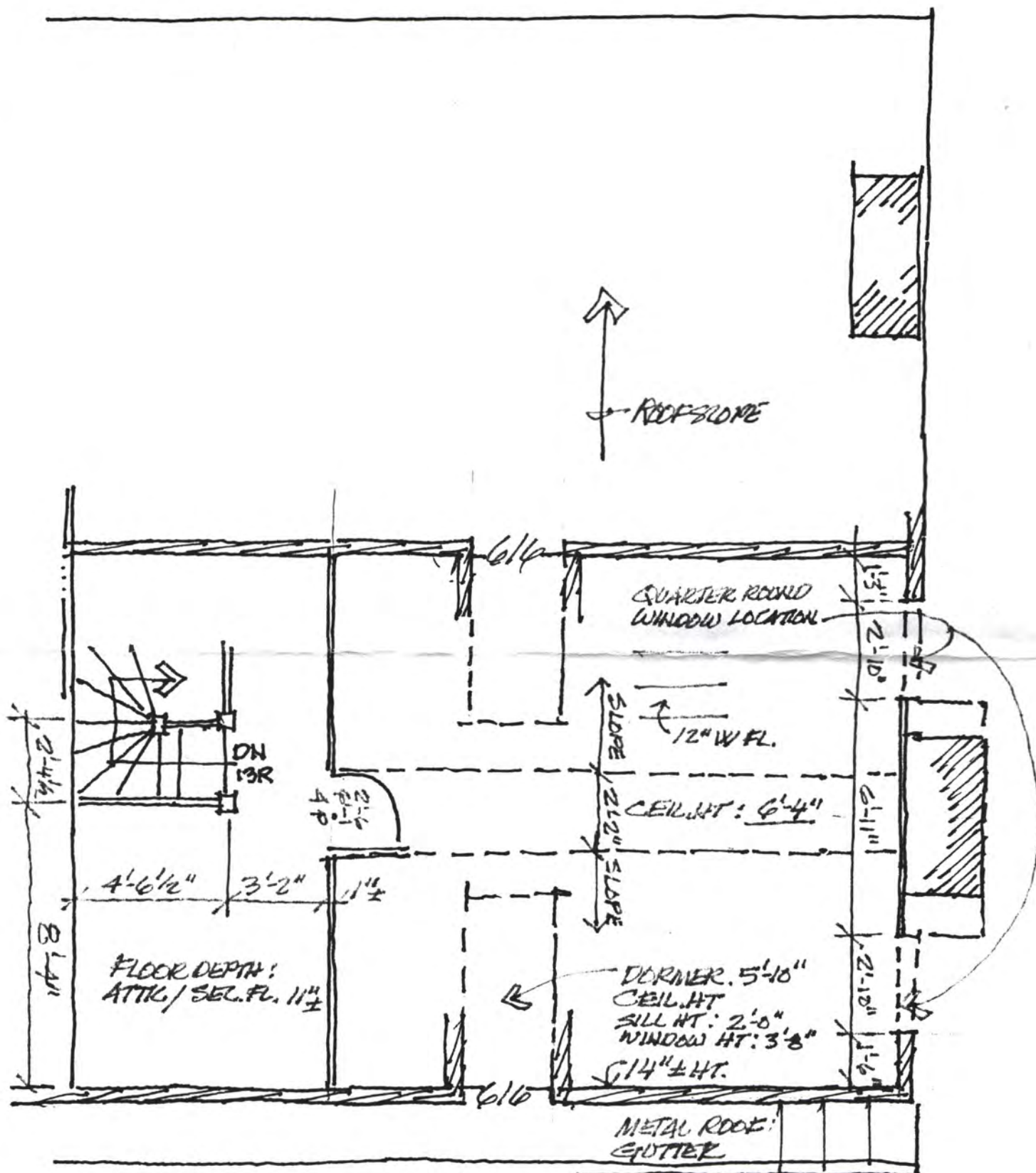
1/4"=1'-0" ±

324 E BRYAN

12.9.91

11+2-8 1/2
13-8 1/2

15 12 1/2
13-8 1/2
2-4



ATTIC FLOOR.
1/4" = 1'-0" ±
326 E BRYAN 12.9.91

Apparent original early 19th c.
dormer
N.W. corner Habersham St.
& Broughton St.



dormer →



Habersham ← → Broughton

Same



→
Mbt to
orig.
dormer
(?)



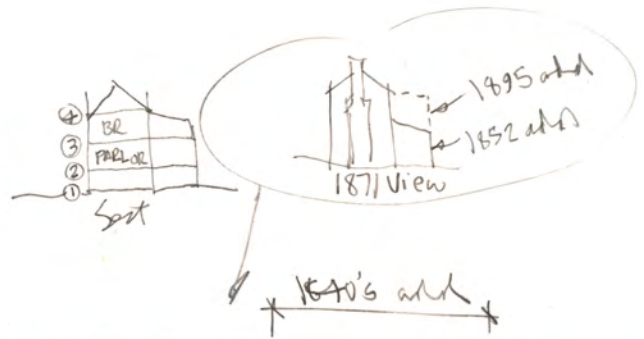
State St, east of Columbia St, S. Side

10/24



Dr. William Parker House
 c. 1806-08 Savannah, Ga., Warren Sq.
 324 & 326 E. Bryan St
 (rear address: 184 _____)
 Photos Oct. 1991 John Rieter AIA, Savannah
 Owner - Mrs Anne (f Mills) Lane, "
 To be restor. 1992 by Jf H, Arch - H Jones, FAIA

← cem. asbes shingles



storey f
 stoop posts
 = 20th c.
 2 1/2 gashes
 = late Vic.
 paint 1880
 - 1881 (?)



PHOTOS



PARLOR



324
E. Bryan St.

Vic. (1895)
balustrade



PARLOR

2

34
8



from parlor looking to new addn (1852)



parlor to stair hall



new addn 1895 (level 2)



parlor (level 2)

324 E. Bryan St.

← new 1852
add



level 3
front rm

level 3 door
to stair hall
(only remains
orig door)



324 E. Bryan
St.

A

CLP

level 3 near rm
add.
(Not shown
on 1871 view
= post 1871)



8 Feb 85

F12 + attic

Vic. (reads?)
balustrade



attic dn.
to level 3



attic
level 4

324 East
Dwyer St.





fl. 2 ceil.
transition
from front
to rear add.



324 Grand fl.
(324 has no stairs
to grand fl.)

Step dr. from est.
Step up to rear add.



Parlor
326 E. Bryan St.

level 2 Rear add., mod. closets
on side

89



Parlor to rear
(pocket door)

level 2



Rear
A.D.D.
level 2?
verify



Parlor level 2

326 E. Brynne St.



around the windows are under front story
level 1

Victorian
balustrade
level 2



326 East
Bryans St.



Owner - The Beehive Frdm.
Savannah, Ga. Mills Lane
Mrs Anne Lane



← Warren St

E. Bryan St →

→ N



↑ CASE

Warren St

→ N

Photos Dec. 1991 - Savannah, Ga.
Jarvis R. Jones FOLA, Livestock, & DA
fr reporter, by Jane & Thomas, DVD.



← E. Bryan St

→ N

21809 Parker St
N.W. Corner of E. Bryan St
& Habersham St. (Warren Square)



conc. stoop & cement-
shingles = 20th cent

Habersham St →

ESTD 1902



S. front Originally a single house, duplexed in 1880's ±

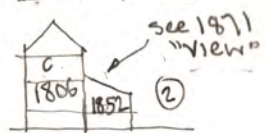
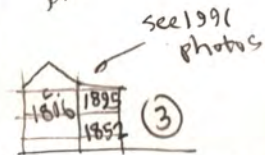


modern conc. stoop

S. front

Warren Sq.

This part of
E. Chim.
= rebuilt
later



E. Side
(H. Anderson St.)

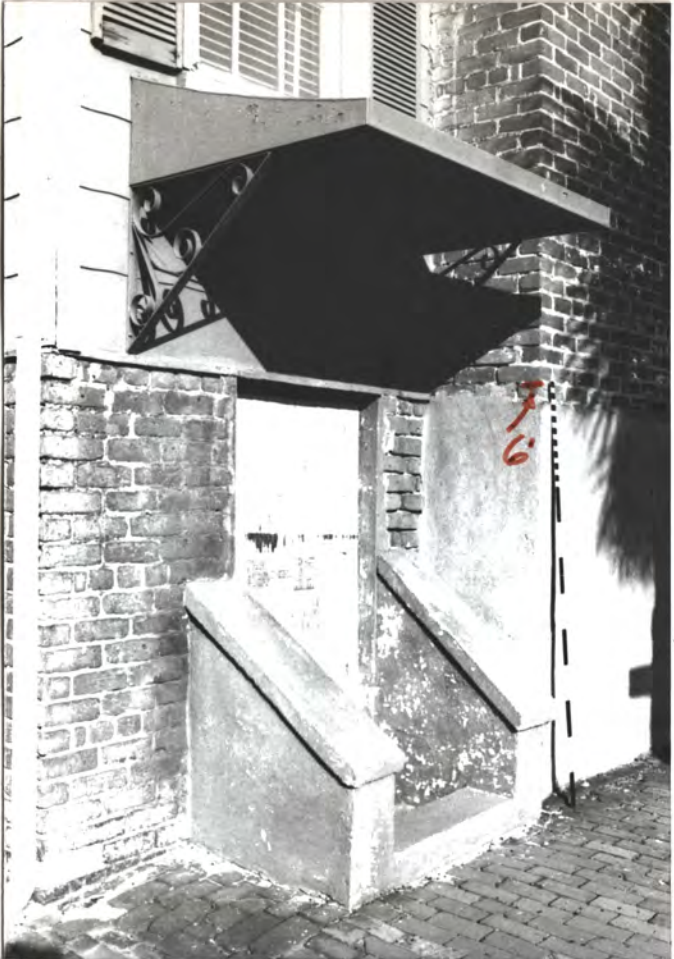


→ N
Route

3 6 64

modern
con. - arches.
shingles.
No deposits
under. Were
removed.

Modern
level 1
east entry
by S.E. corner



Shims
on bricks

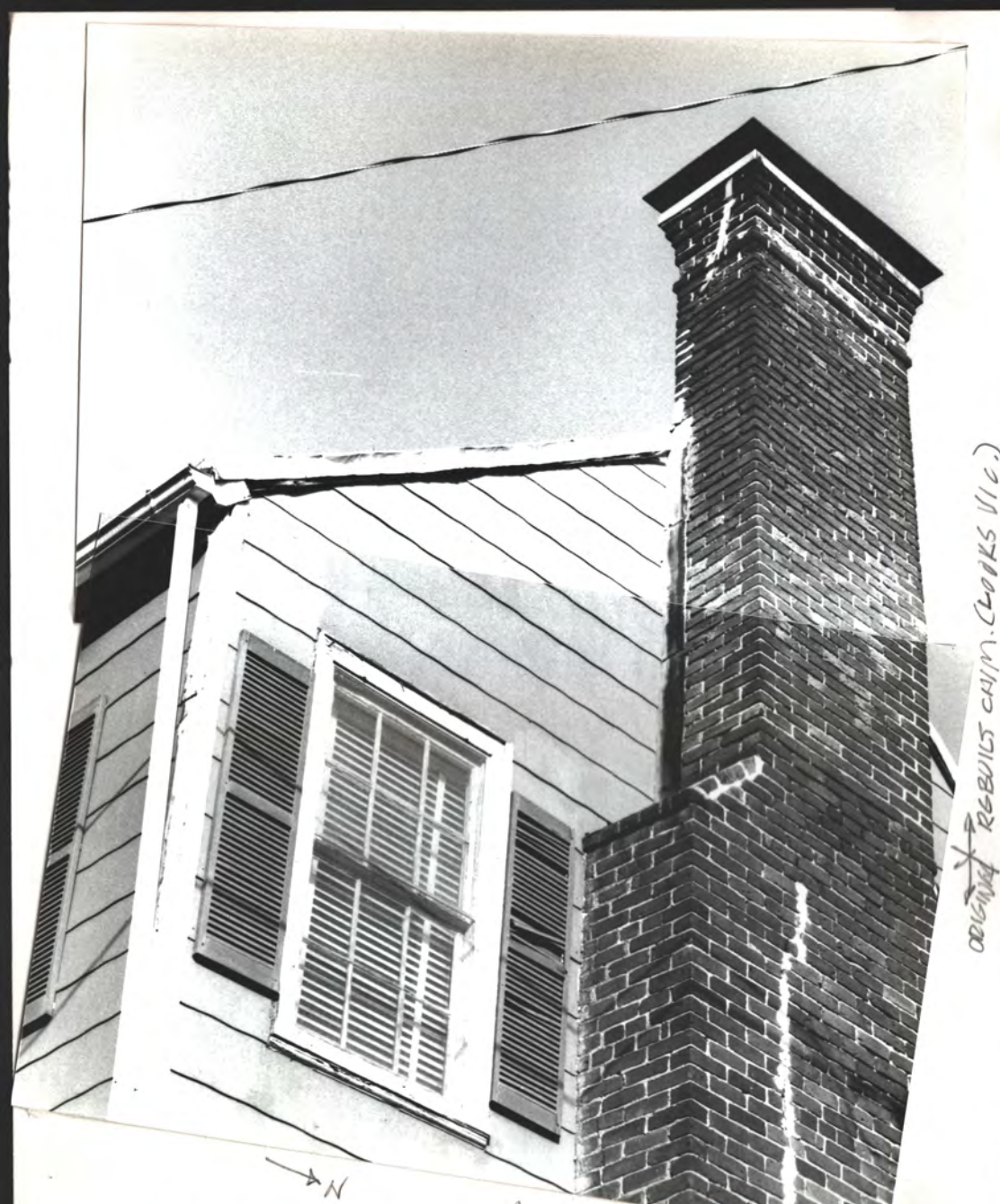
EAST
SIDE



glass shards
in con.

modern
con. block
w/ scored stucco
on St. face

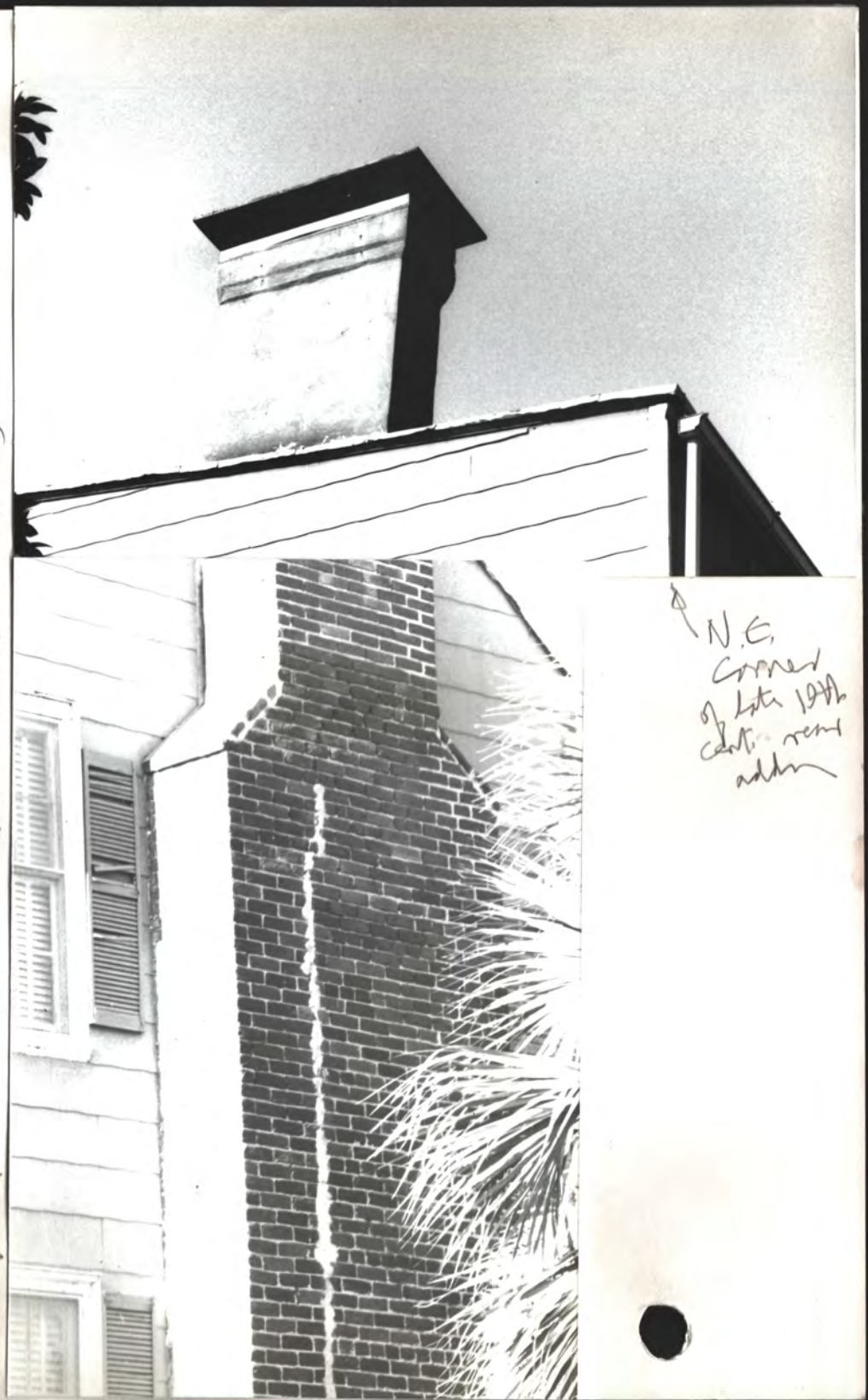




original REBUILT CHIM. (LOOKS V.G.)

Recent work - on blinds

E. WALL
chim.



N.E.
Corner
of lots 199A
cont. rem
addr

586A



S.E. Corner
to N



S.E. Corner
to N



to ← ↑
Mid. Cor. blk. walk
S. Walk (E. Bryan St.)



E. Walk
to N
(Hicksham St.)
approx ft. ↓



Note
brick to
in Mentis
these
windows
were
painted
originally



Portico
Steps
(moh.
conc.)



SOUTH
FRONT
WALL
(level 1)



was a
door at
some point
Same
window

Windows under conc. Slab

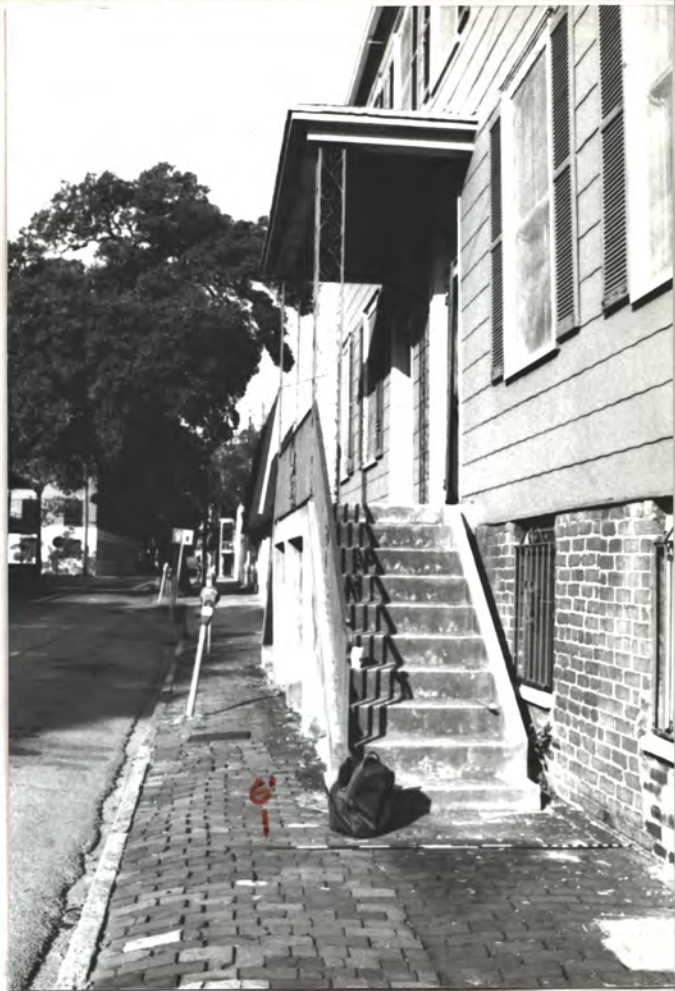
5

mod. corr.



Under S. corr. Stoop

→ H



→ H



7 of 64 S. Window by S.C. corner. Was a door at some point

H



granite S. Front Walk

→ H



→ N

20th c. steep roof

→ N



Mod. conc. blk. wall at west yard, at E. ~~Bay~~ St. 9N

→ N

8



West Wall
↑ shows on
Feb. 1931



↑ E. View (324) Entry
↓ Vic. door, after open



West yard
PN



N
↑

S of 64



NE, Chim at 1/2. A side H4



N4

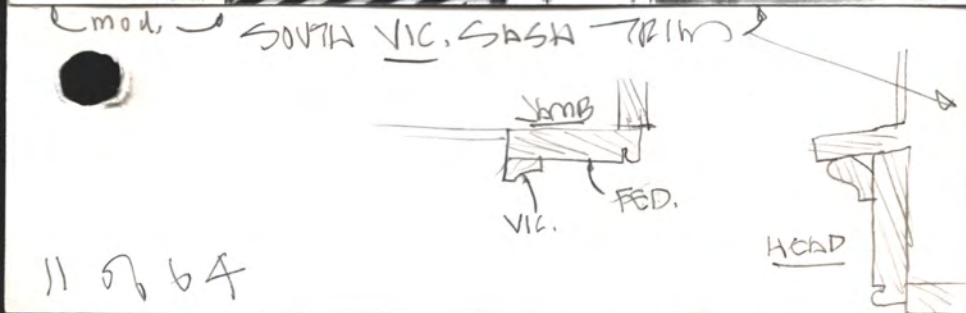
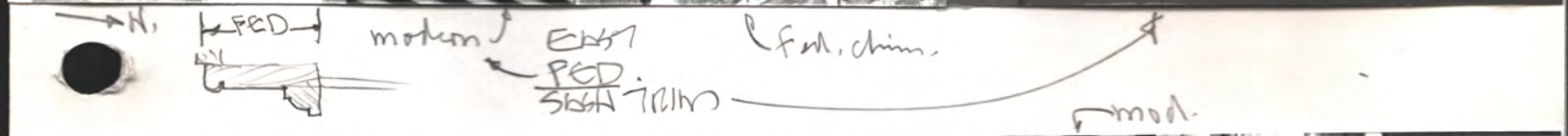


H4

S.W.
Chim.
(Fed. w/
later
struc)



N4



11 56 64



← S.W. dormer
(modified)

← Modern ogee gutters



← N.

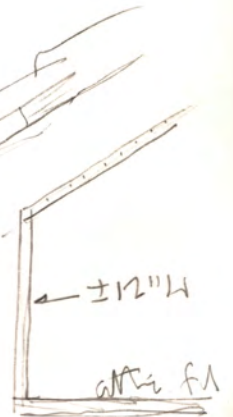
S.W.
Fed. corner
(mod. finishes &
corner trim)



Fed.
Porch
Cornice

see left

Fed. deep bil
gutter



← N

Vic. S.E. Chimney



SE. Fell Dormer
(modified)

Shingles are
medium

S.W. Dormer
(Feb., modified)



Note that this
Vic. adds window
trim matches the
S. front Vic. trim
on the Fed. part.
modern Shoop

mod. com. adds.
shingles
North Row
(Vic. Adams)



modern corr. blk. w/m
Pgh

15 9 64



→ N

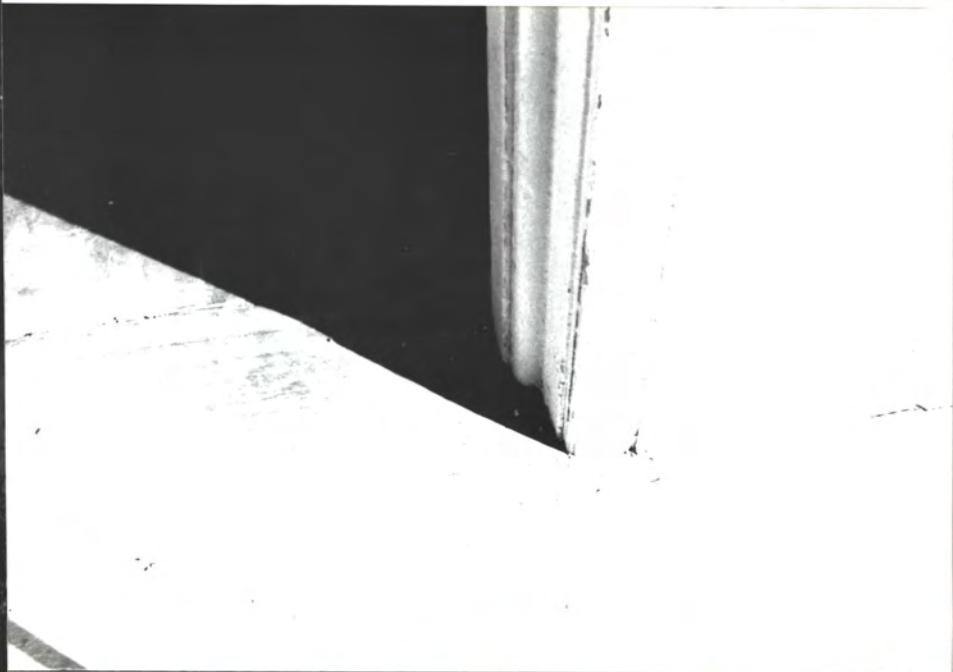
Modern
Strong
(mid 20th c.
at least)
on N. side
of Vic. Adm.



→ N

Part
N.W. of
Vic. Park

22



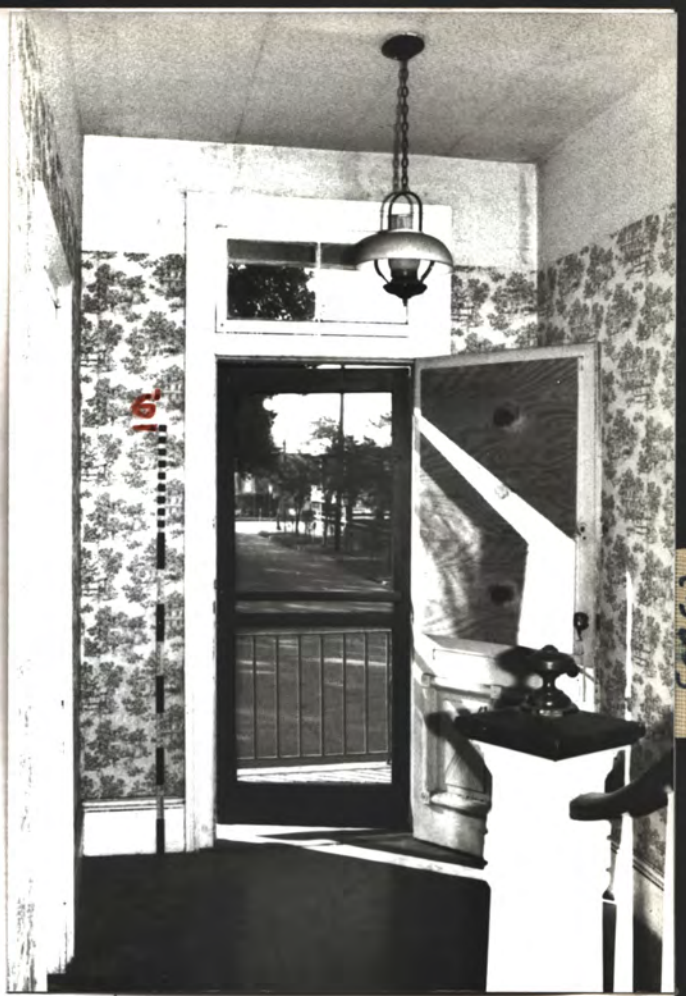
E. View entry
(S. Front)

23



NA

1895 door & trim



E. UNIT
INT.
1895

NA

NA



NA

LEVEL 2 ENTRY 1806

E. UNIT

17 of 64



1895 stair



late Victorian stairs (1895)



E. VINT LEVEL 2 Entry



E. Unit stairs - N



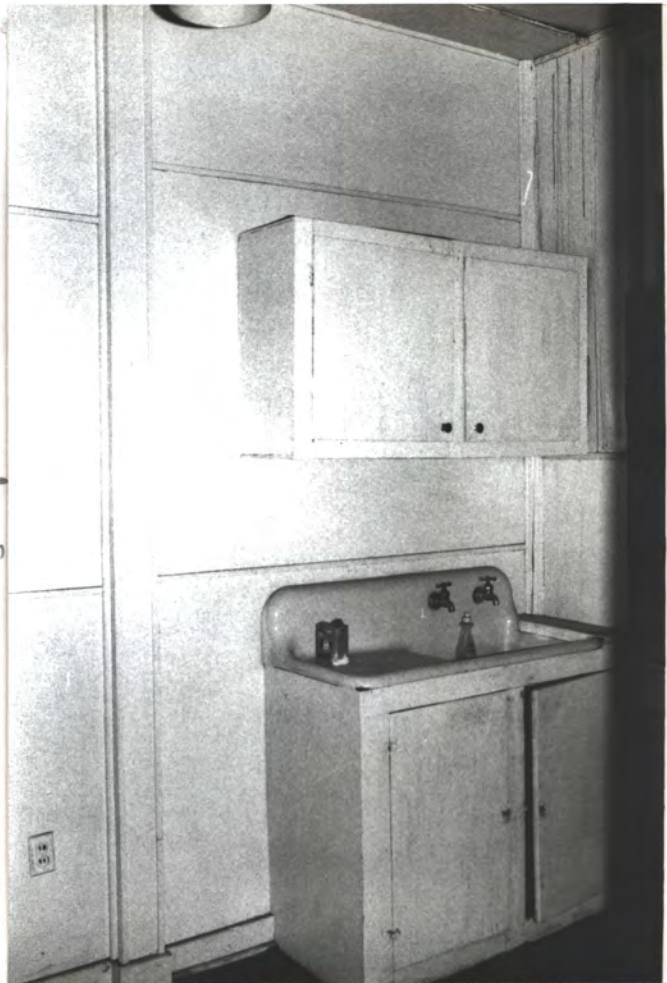
N.W. Rm (N. of stairs) N, WALL



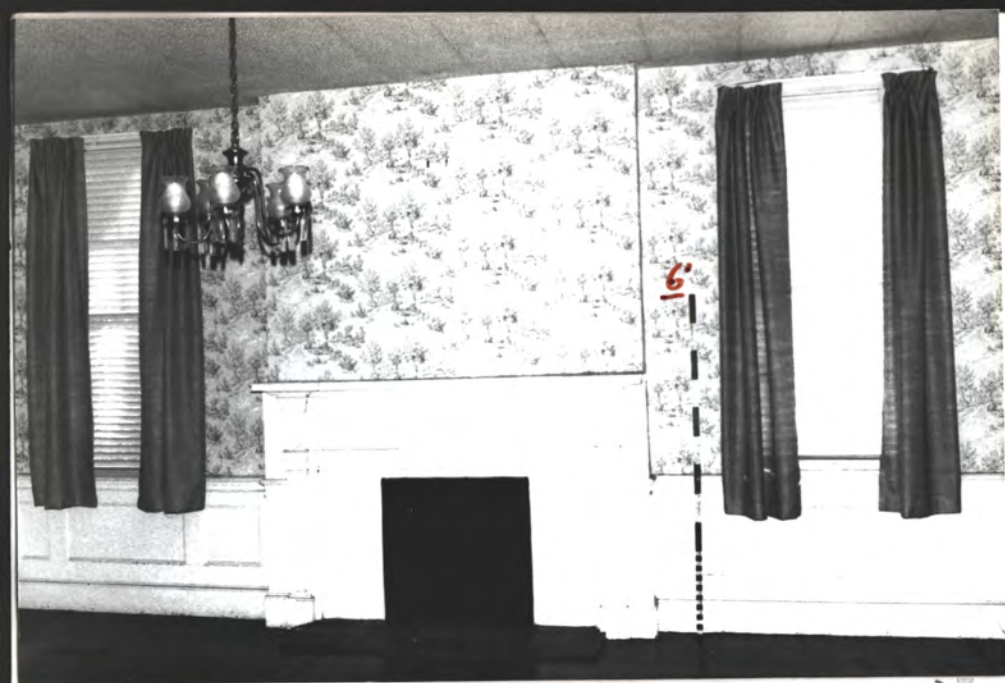
Door of GA to entry N.W. Rm (K.B.) & down to Level 1

ENG
UNIT
LEVEL
2

"Wall board"

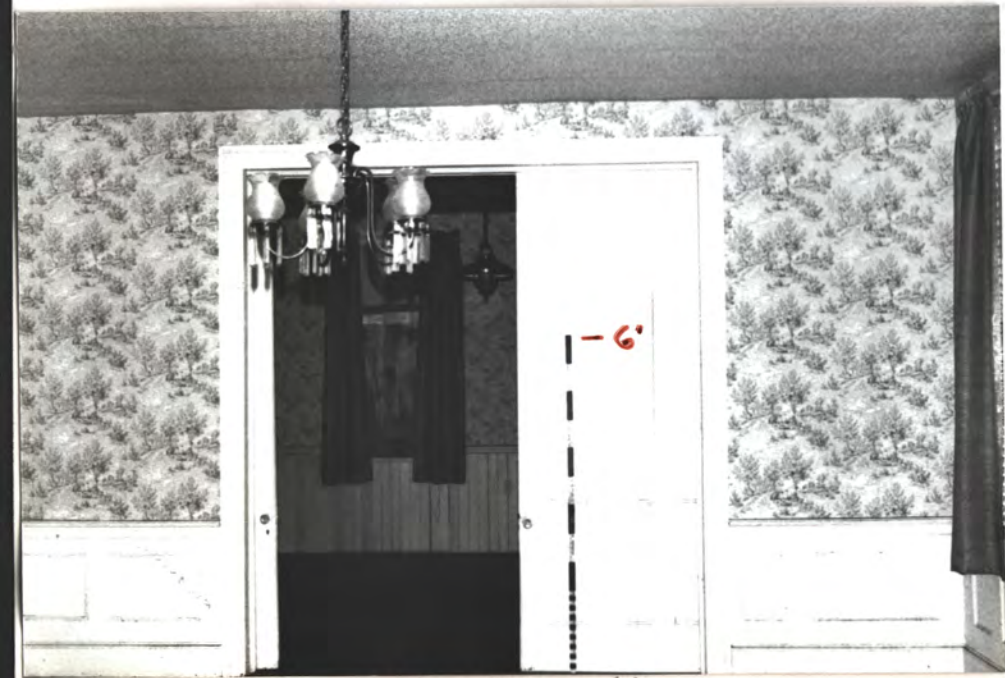


N.W. Rm (K.B.) N



Na E. Fed. mantel & window 1806

Fed. Stubs
trim at
east.
Vic at
South



N. PH VIC. DOORS

20th
C.
door

(Fed.
frame
trim)



S W



N

E. UNIT LEVEL 2
S.E. RM (parlor)

W.

20

21 69 64



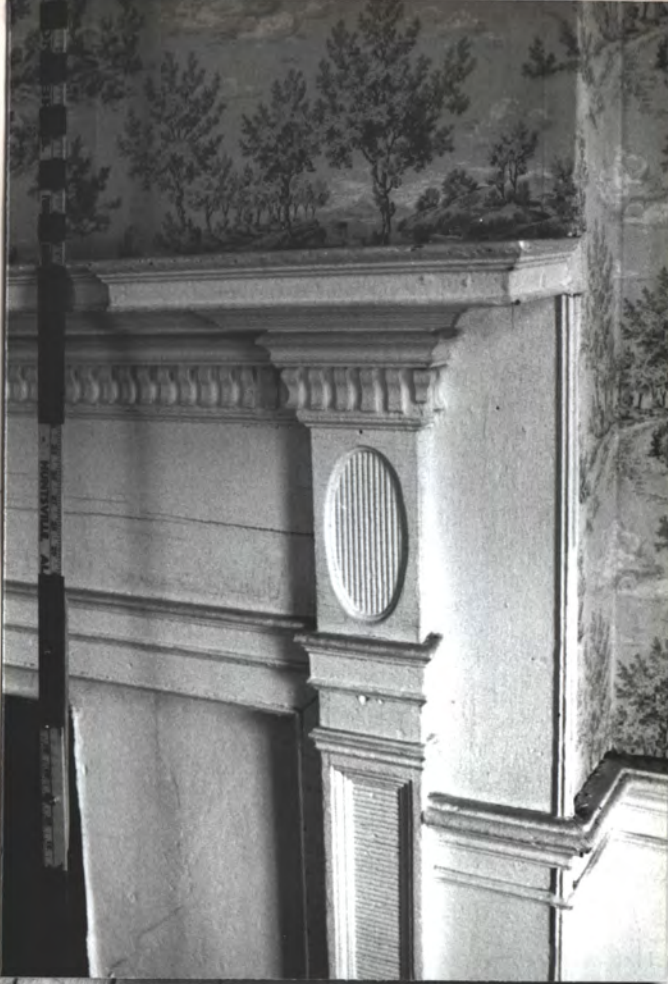
Na

Na

Fed.
Wainscot

N

Fed.
muntin
1806



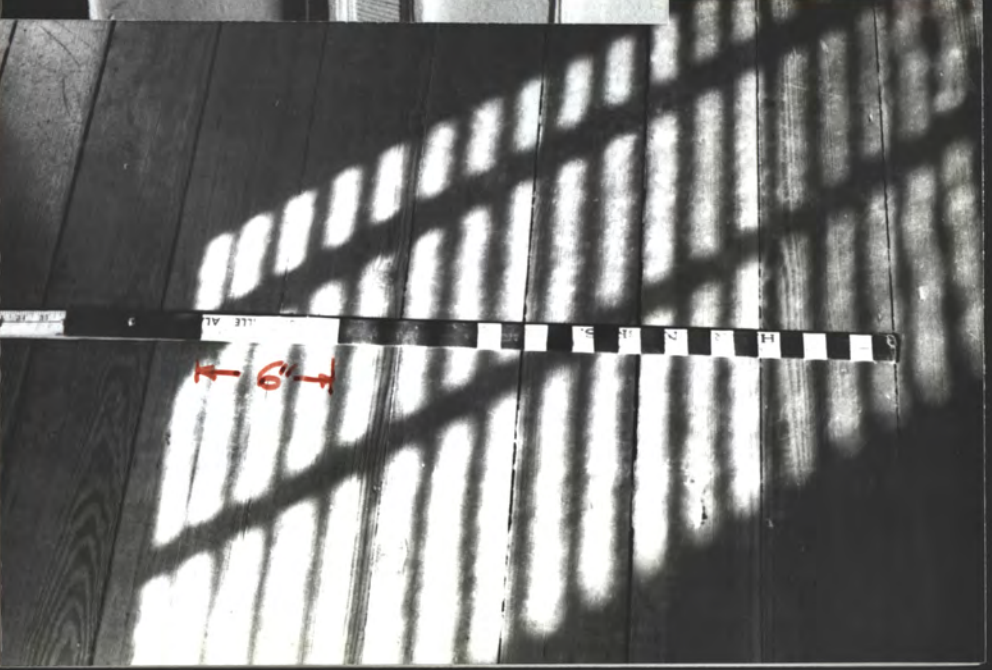
Fed.
dense pine
Fl.
1806



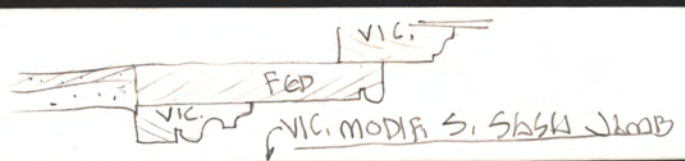
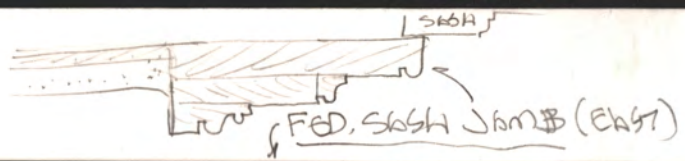
4-6

E. UNIT
LEVEL 2
S.E. DN
(photo)

Na



4-6



E. VINT
LEVEL 2
S.E. RM
(p.m.)



S. Sashes (Vic. Modif -
backbands)

Vic 2/2
Sash

E. Sashes (Fed. Trim)
1806

22

23
24
25



N ← E.W.M

← N.W.M



← N W.M

E. UNIT LEVEL 2 N.E. (Vic.) Rm.
1856 w/ 1895 Modif. - J. Woodhouse



← N E. Unit



↑ mounted, with "asst",
Vic. N.E. adhs. rm.
1895



N.E. Rm. door / S.E. Rm. door / S.W. Rm. door



1895 SW. Rm.



ATTIC

Stair is 1895 per floor evidence newspaper account

door to N.E. Rm. / door to S.E. Rm. / door to SW. Rm. / door to clos. under attic stairs



Chos. under attic stairs / note traces of Vic. modfy. to FIT Vic. Stairs

E. UNIT LEVEL 3 Stair hall



N VIC / FGD
FL. FL.

E. UNM LEVEL 3

fixtures work 1930's - 40's

1995
Stairs
(both)

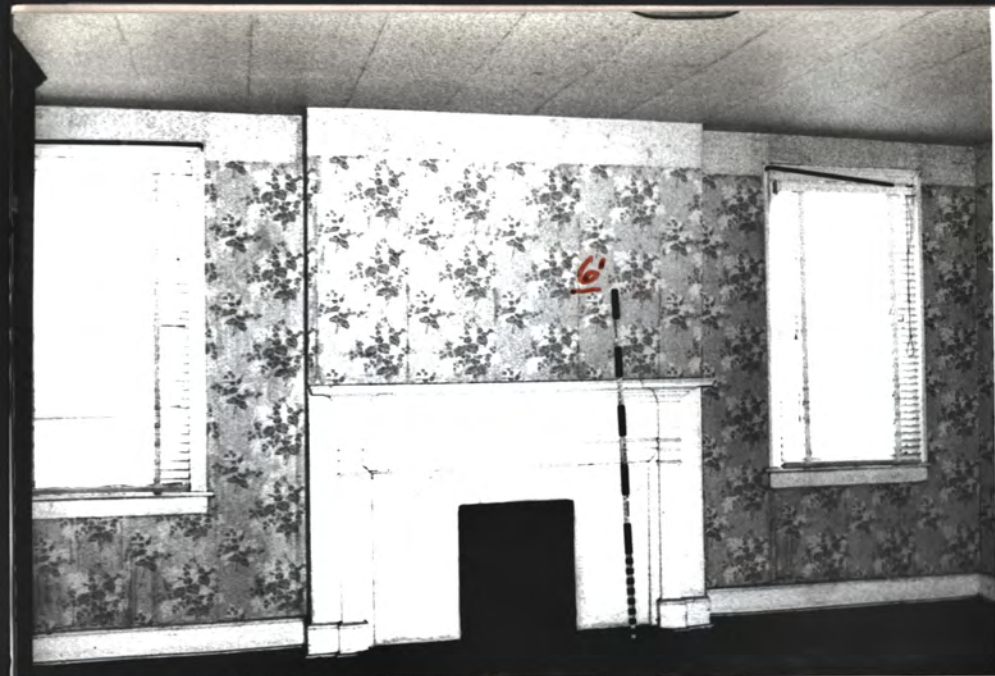


closet
door

closet
door

Stair to
attic

VIC.
INFILL
FL.
FGD. FL.



NA



NA

E. UNIT LEVEL 3 S. RM.
1809 mantel, base, some sash trim
Sashes = 1895

mod. dno.

vic. door



NA



NA

1895 door

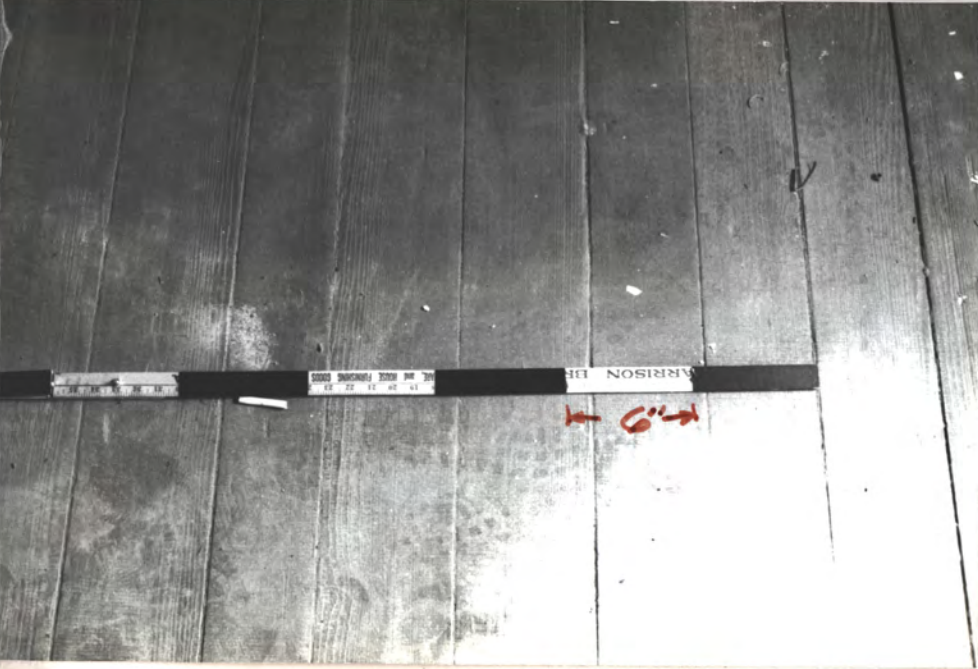
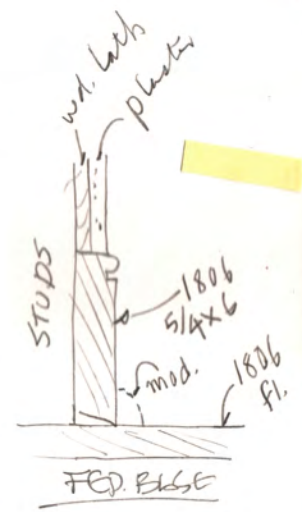
29
4910 of 64



Fed.
mantel
1806

N ←

E. VENT LEVEL 3 S. RM. mod. cen. hearth



Vic.
cast iron
coal grate

mod.
cen.
hearth

N ←

1806 Heart pine fl.



2:6

N ←



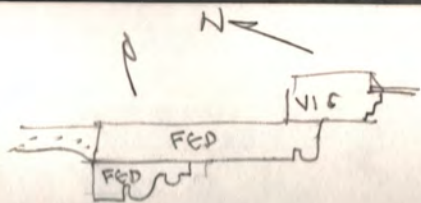
{E. UNIT, LEVEL 3 S. RM, E. Window Trim (Fed.) ^{Sash} = Vic



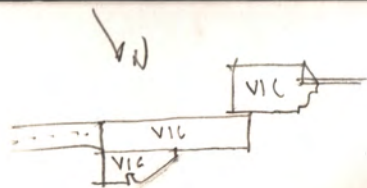
{S. Window trim = Vic. (1895?) banded and Vic Sash 2/2



30



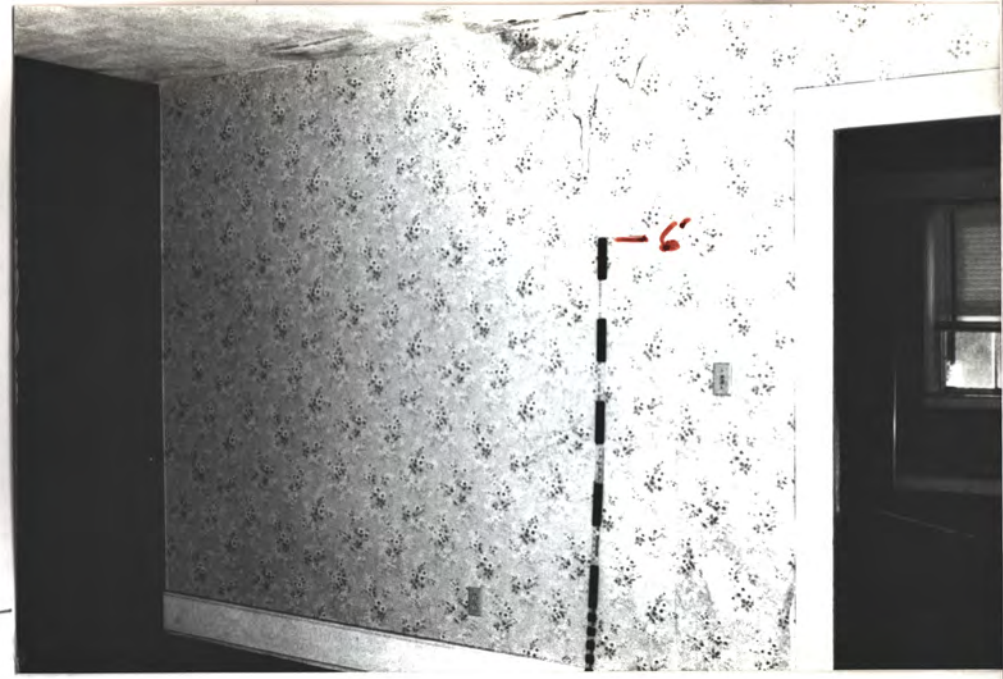
banded apron = 1806



21
19
X



Emad. dos N
mod. dos ✓



22

E. UNIT LEVEL 3 N.E. Rm (1895)



N



N



N ←

E. Unit - Level 3 N.E. Rm (1895)

N ←

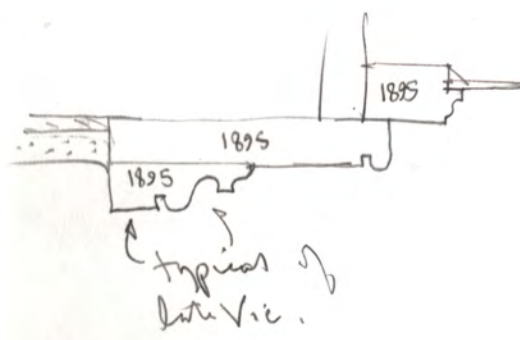


33
0464



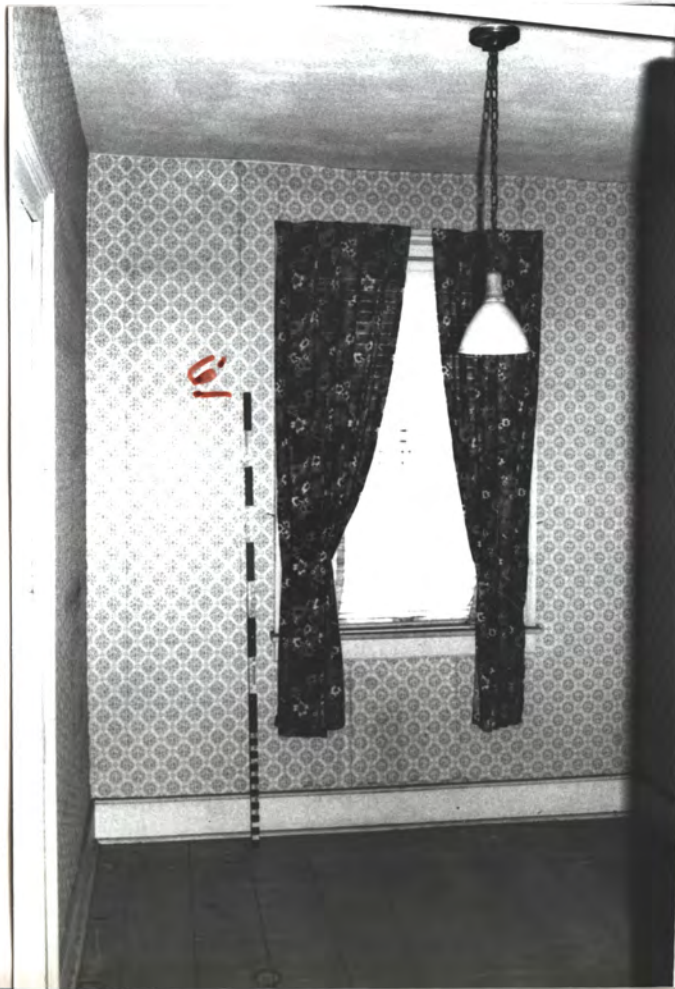
N

E. Unit Level 3 N.E. Rm (1895)



N

E. UNIT LEVEL 3 S.W. RM



NR

34

NR

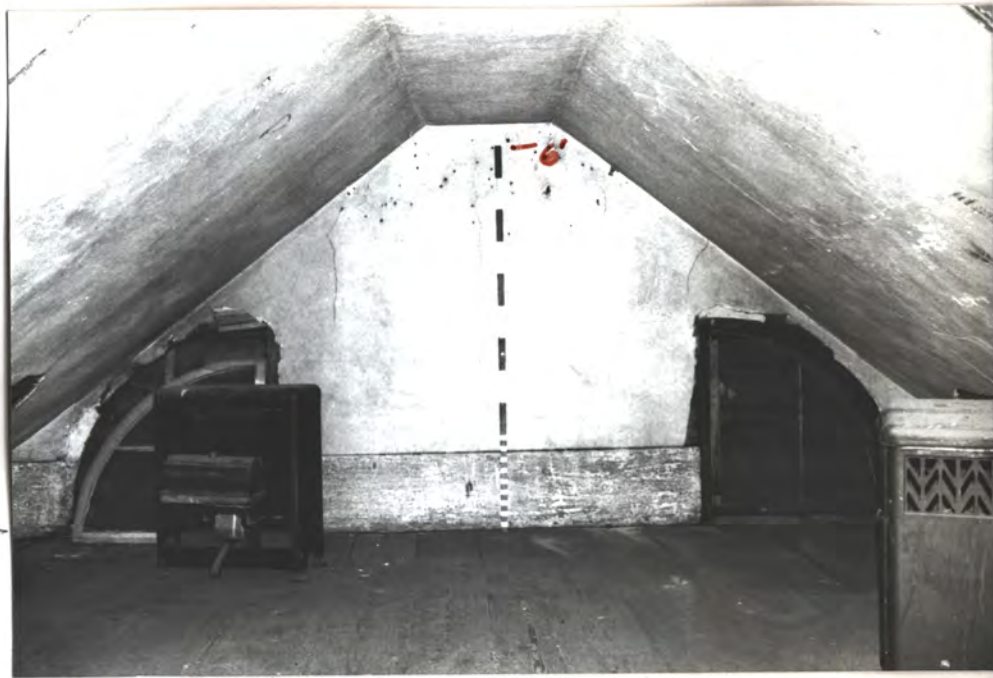
35 of 14



1895
Stair



27



E. UNIT LEVEL 4 (1806)

22



plaster on wd. lath



N. DOORWAY

E. UNIT LEVEL 1806

N. WALL

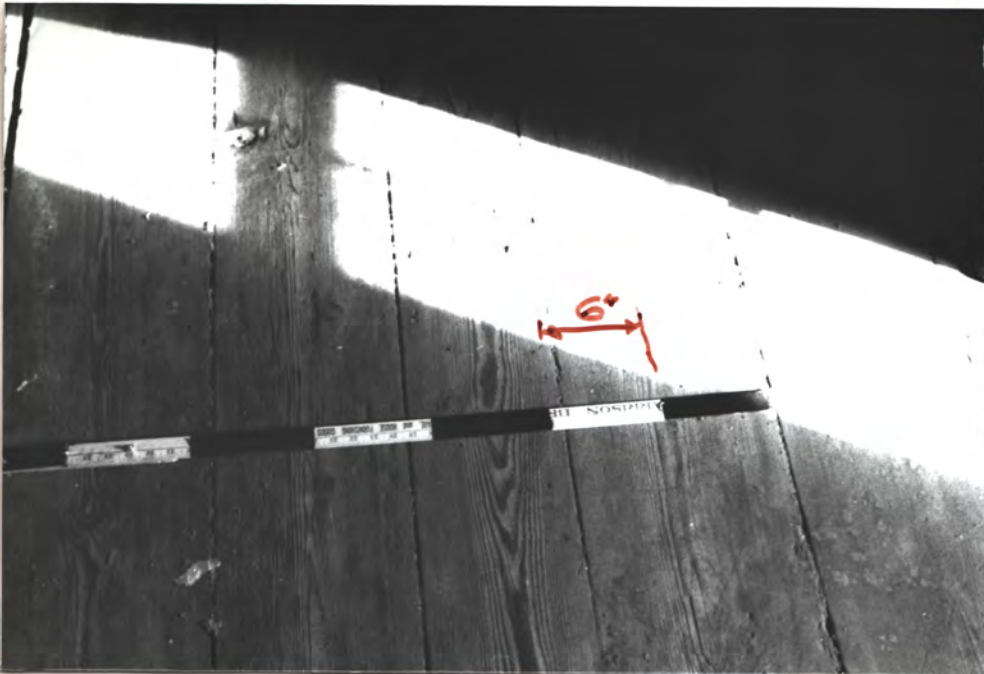


S. WALL



N

S. WALL



N → | E. UNIT LEVEL 4 (1806)
 heart pine, no "finish"

N →
 Could modern replacement
 sash.
 Original sash more
 likely





ply.
ceil

ply.
wall
over
1806
studs



↖ N

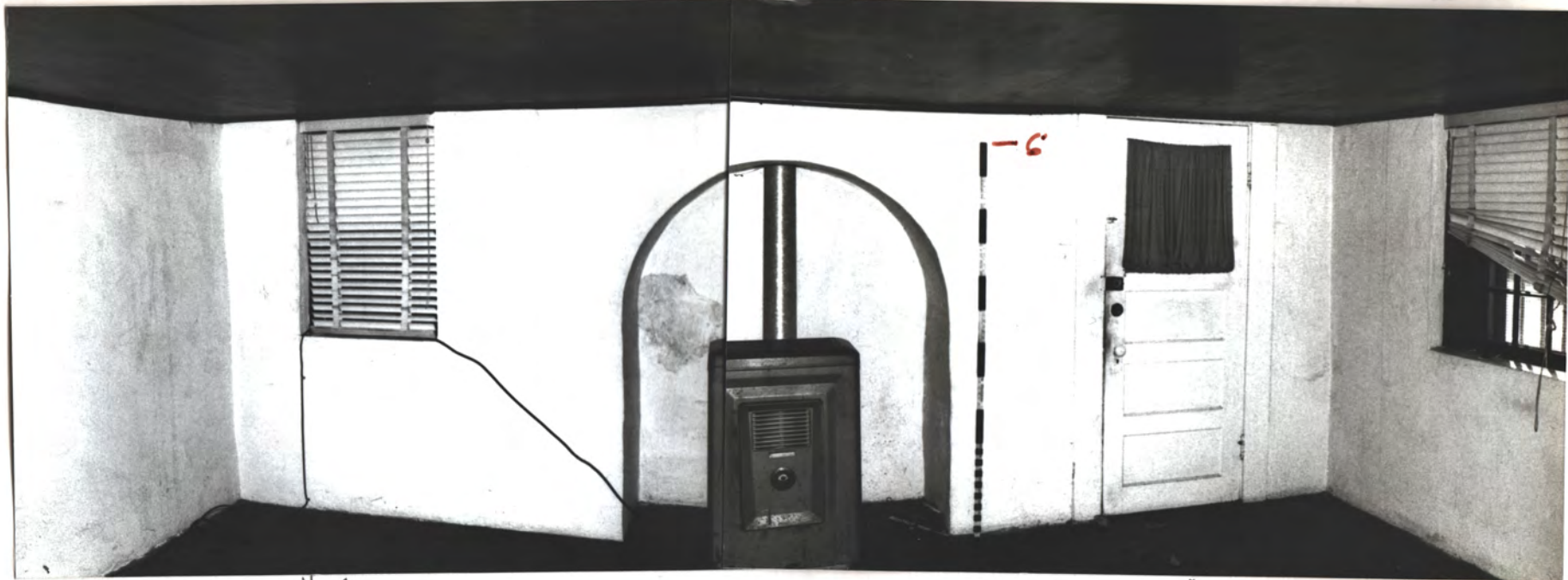
↗ N

E. UNIT LEVEL 1, S.W. RM (Stair RM) ↑ 1920's type door
All finishes etc look 20th c. in this 1806 space



↗ N

259 of 54

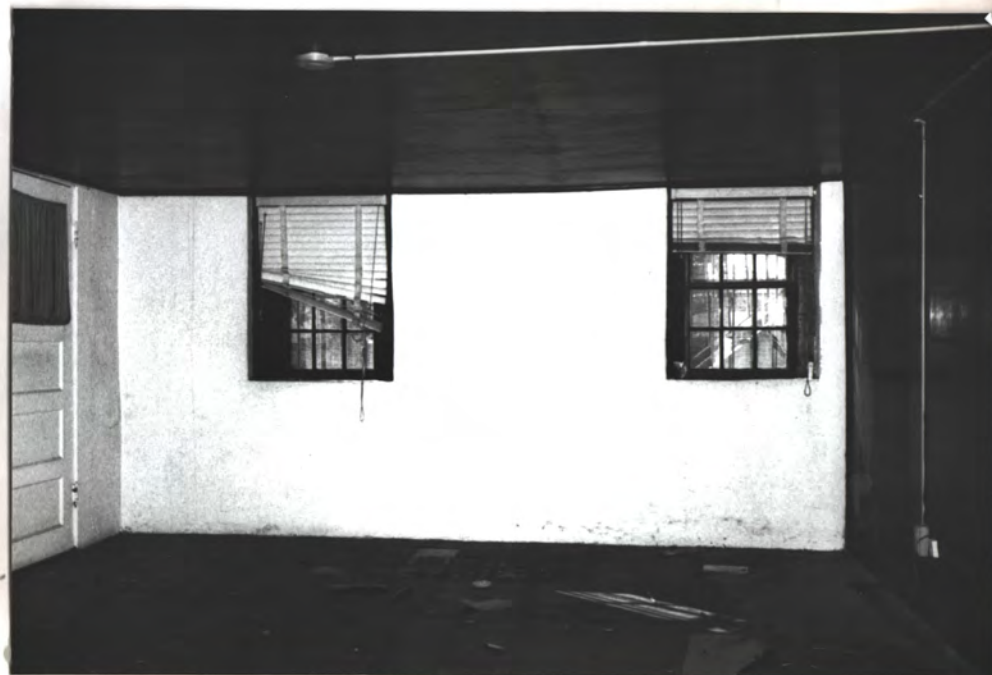


(All items look 20th c. in 1800s space) E. VHM LEVEL 1 S.C. Rm.

↑ vp ± 2' to sidewalk



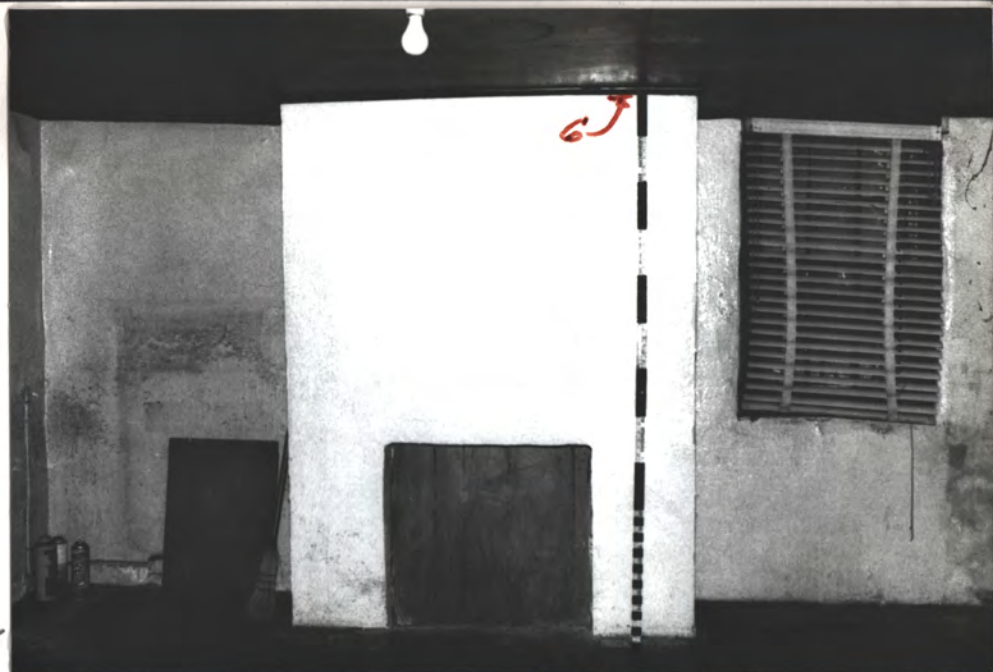
↑ step up ± 9" to N.C. Rm N



↑ 2



9N



NS

E. UNIT LEVEL 1 N.E. Rm. (1952) + 20th c. remodel.



NS



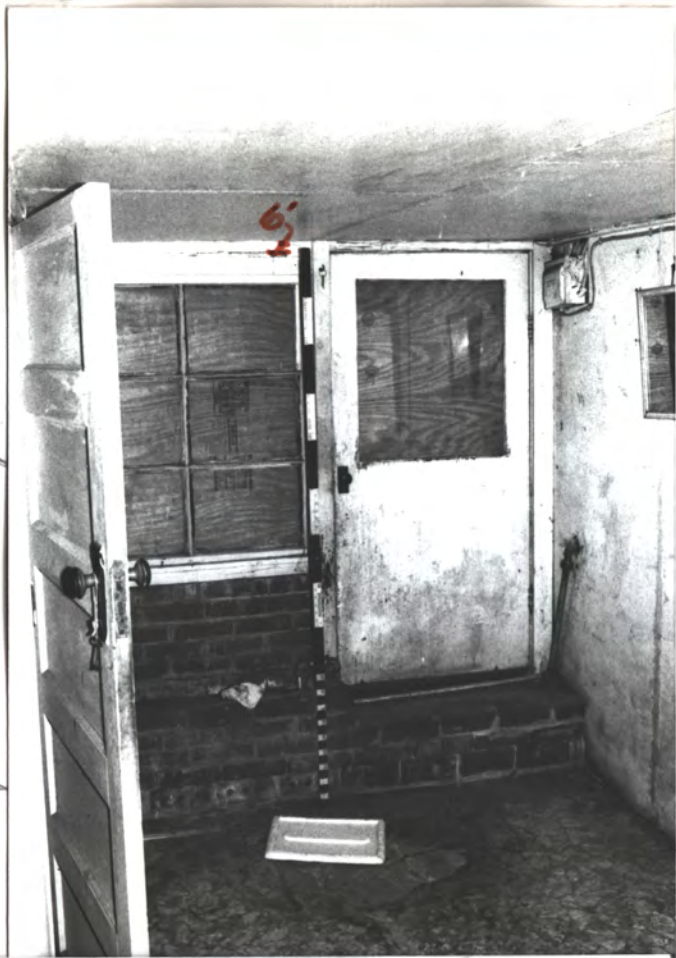
NS

LEVEL 1 N.W.
LAB w/ BATH
(mid 20th c.)

41 of 64

door to
bath

E. UNIT
LEVEL ↓
N.W. 126LL →
1852, remod.
20th c.



door to
N. yard

N

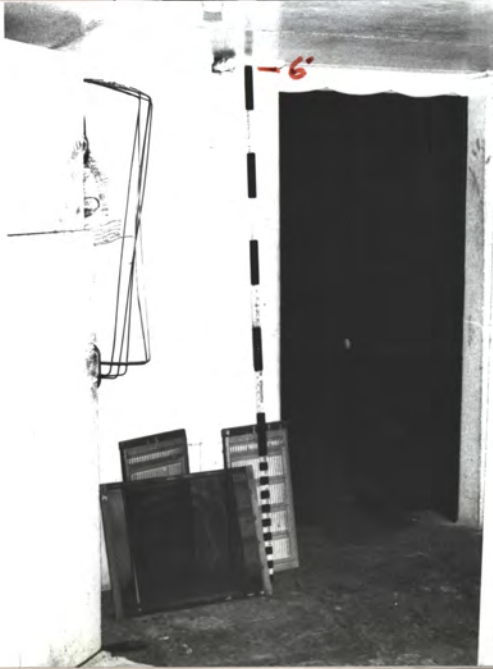


S.E. RM. - S. WALL WINDOW (MODERN)



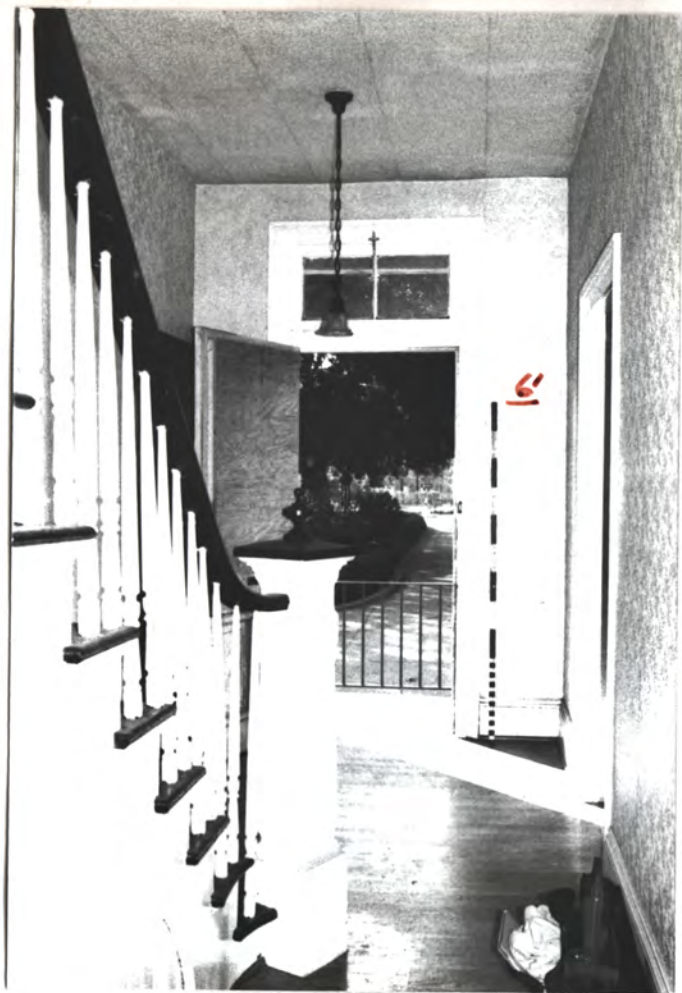
door to
N. yard

N





↑N



↑W

WEST UNIT (324 E. Bryan St.)
LEVEL 2 S.E. ENTRY
1806 space, 1895 stairs & door
Fl. = mid 20th c. narrow oak over Fed. flooring

2

43
of 64



Fe N. Wainscot (wd.) ↓ N
Mantel, & plaster cornice

vic. 4-pnl. dnr



WEST UNIT S.W. RM. LEVEL 2 (PRLOR)
(dbl. doors = vic. + Hall dnr = vic)
(Dol. Doors out-stored in Bsmnt)

1806 N

(228)
2MI
LINO.M

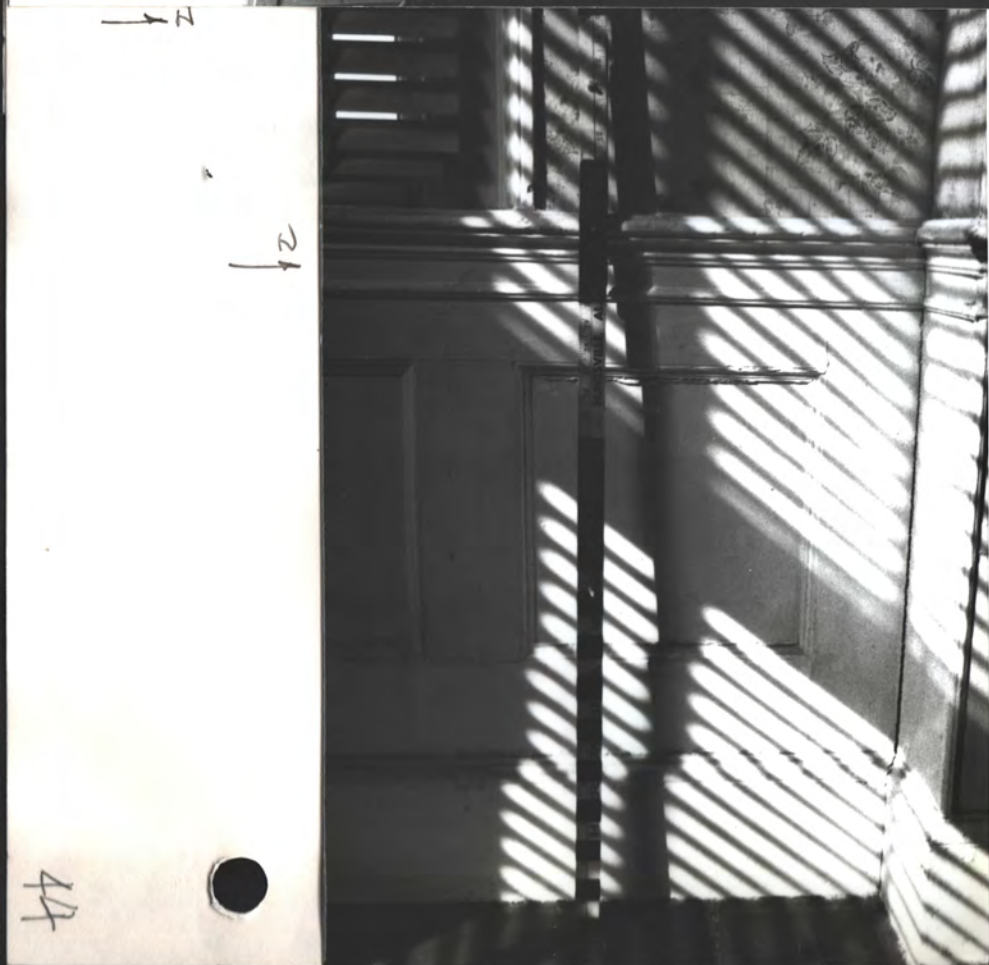


±4'6"

W. UNIT
LEVEL 2
S.W. Parlor
1806 Mantel
f/wincot



±4'6"



2



2

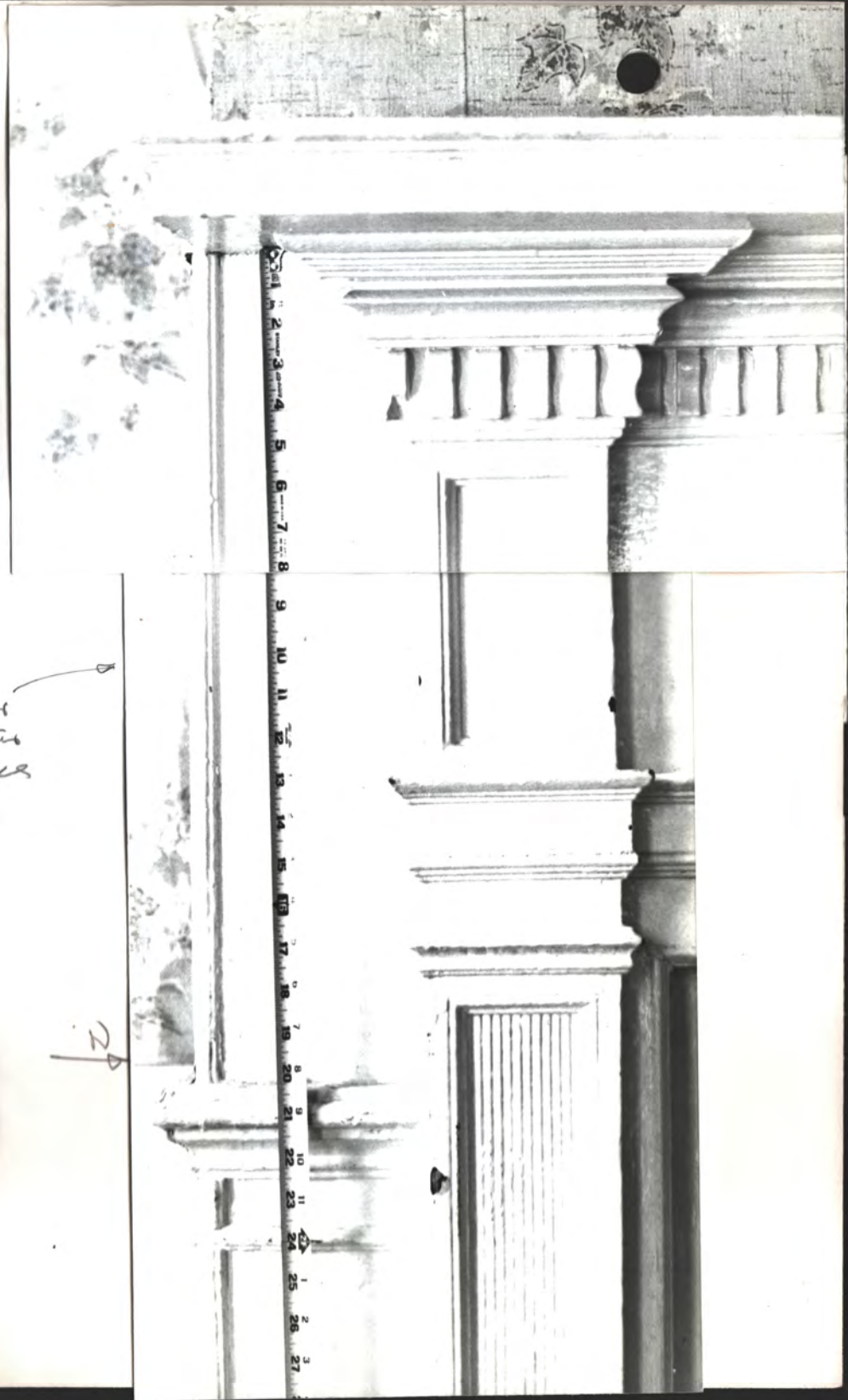
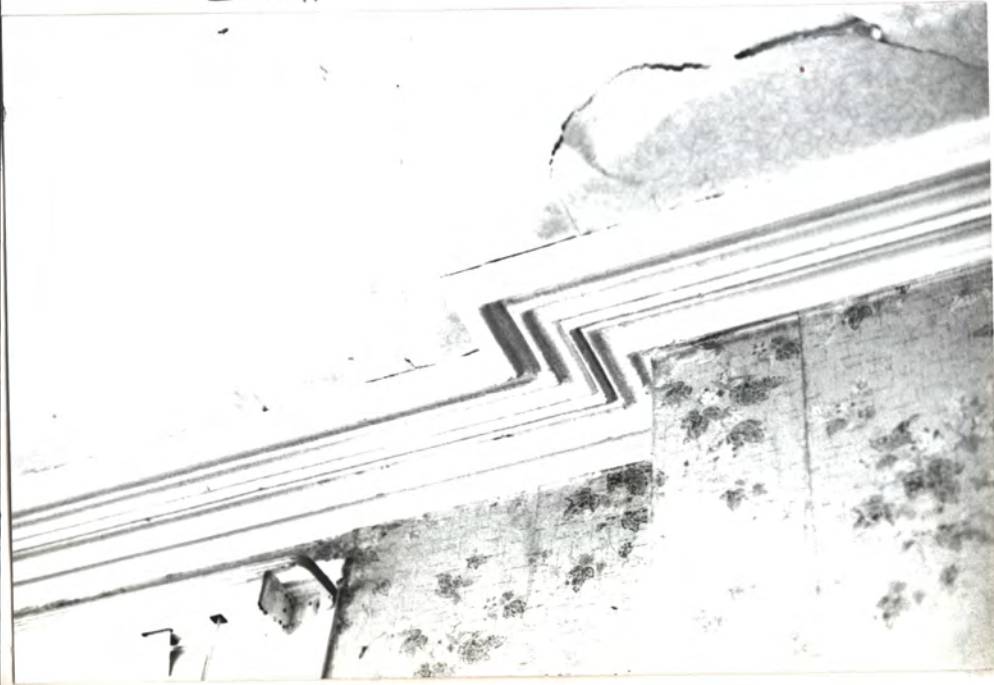
45
0468



↑ N

W. UNIT LEVEL 2 S.W. Parlor
1806 Mantel & Plaster
Corries

↑ N



↑ N



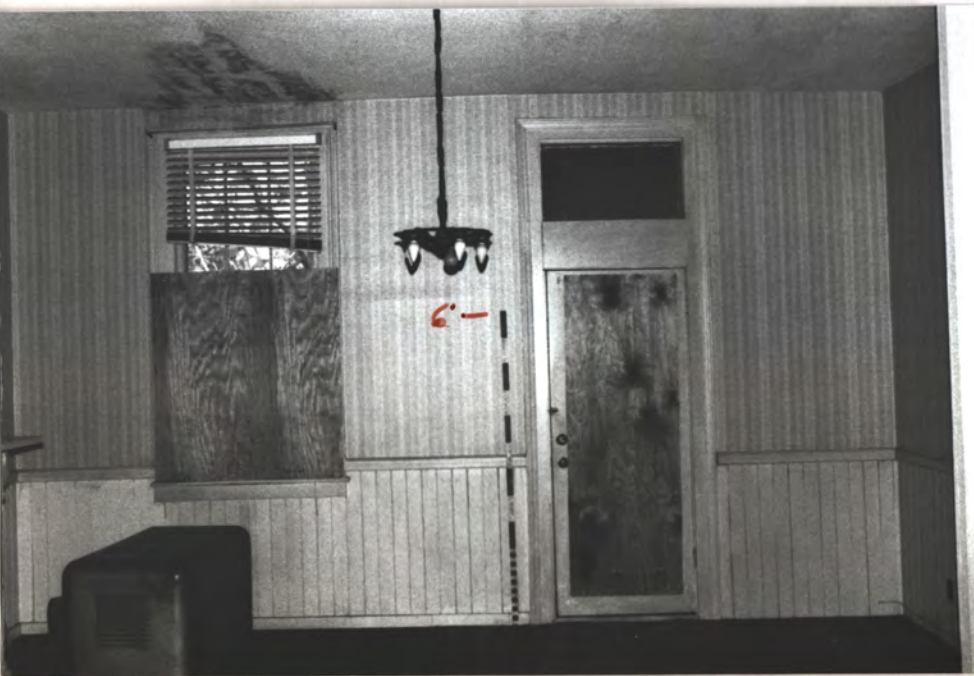
looks
1895



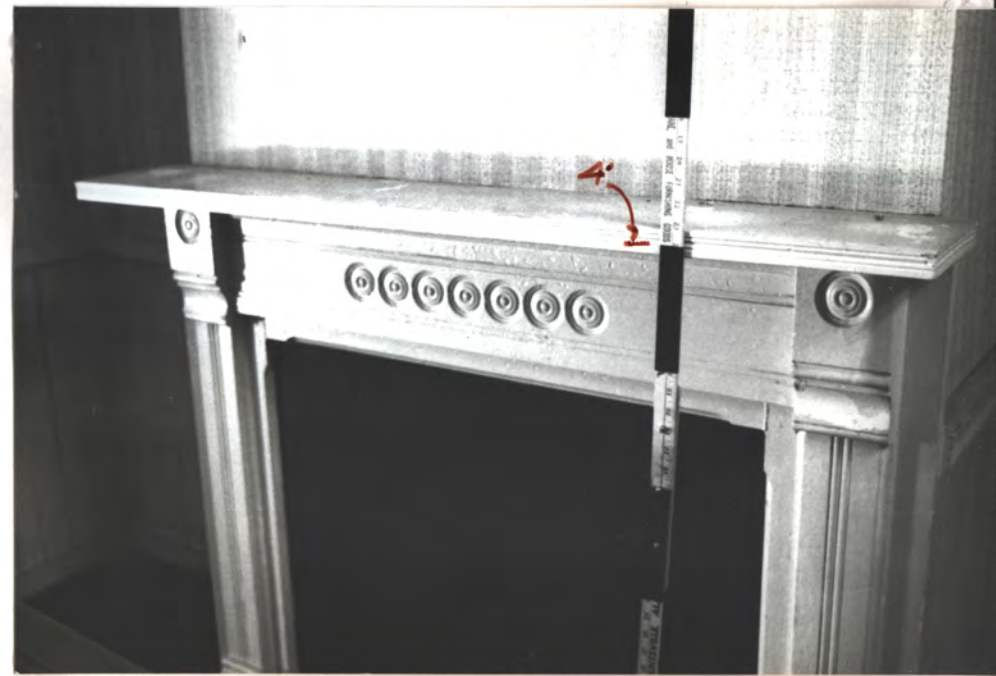
looks 1895
N →

W. UNIT LEVEL 2 N.W. 1852 Rm (c.1891 woodwork)

→ N

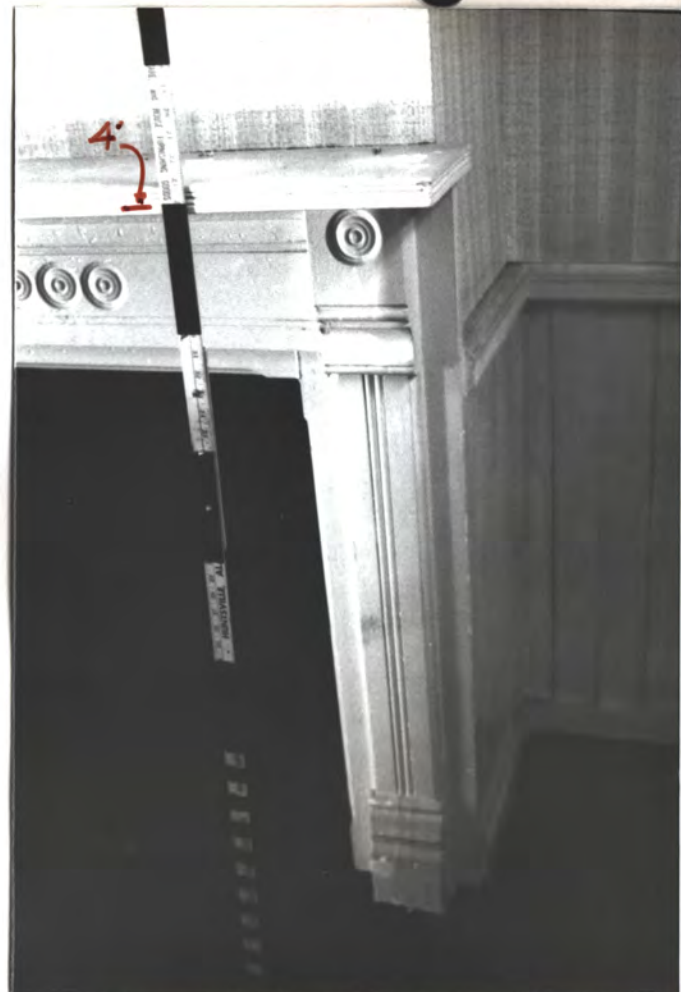


→ N



→ N looks 1895

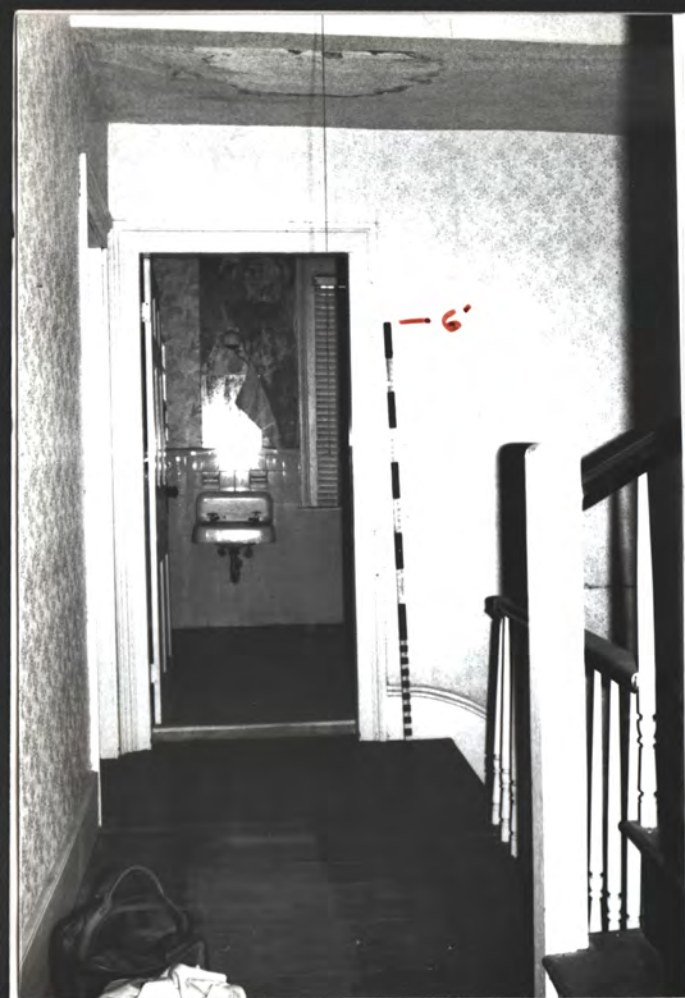
AN 1856



Level 2 N.W. Mantel - 1856 Rm
mantel & windows = 1895?

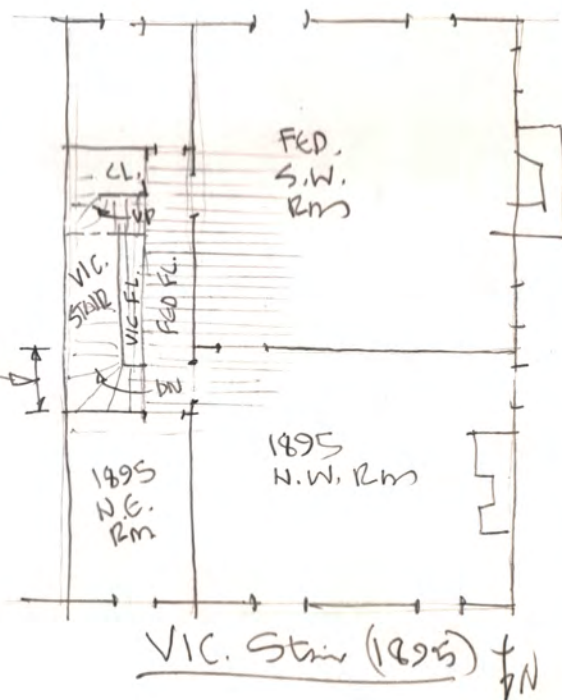
PH
W. UNIT LEVEL 2 N.E. Rm

↖ was stair to Level 1, now removed & floored
NW



W. UNIT LEVEL 3 STAIR
 (1895 per arch. evidence)
 Space = 1806. Stair was
 shifted north $\pm 3'-6"$ in 1895
 & "modernized". See plans at rt. \rightarrow

1891 alter of
 stair well & to
 fit 1895 stair &
 give space for
 door to new
 N.W. Rm





S.E. RM.

2/2-1895
 Sketches on
 inside S. wall



N ↑ S.E. RM., door to stair



N & N.E. RM. (Remod. ca 1950's?)

pink
 cov. tile
 & fixtures



N.E. RM.

N ↓

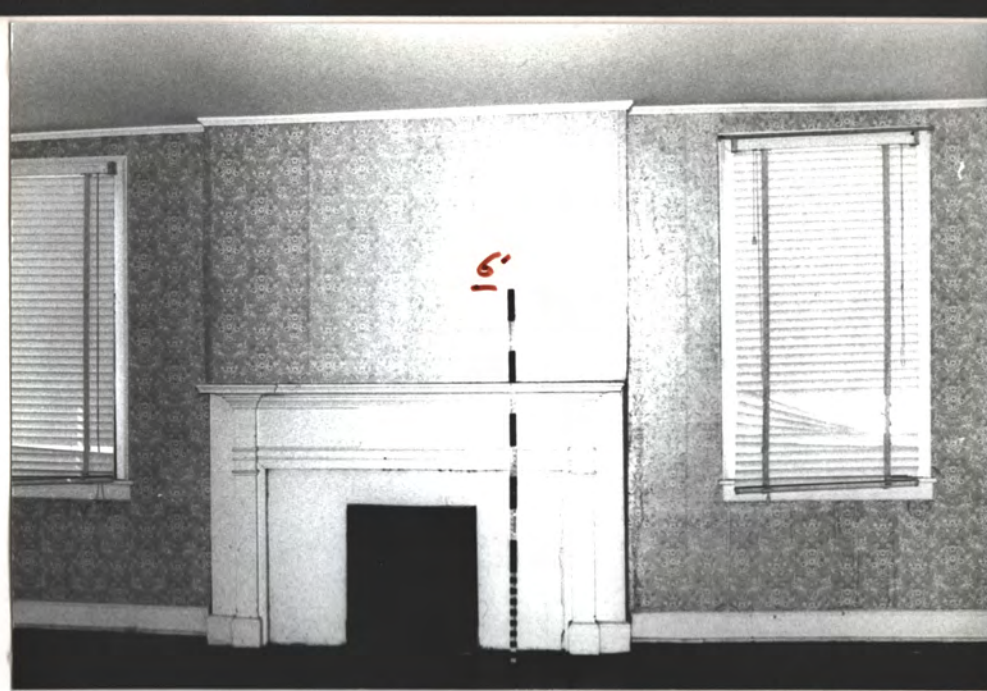
22

49
 0664



Fed. Low

Fed. Low



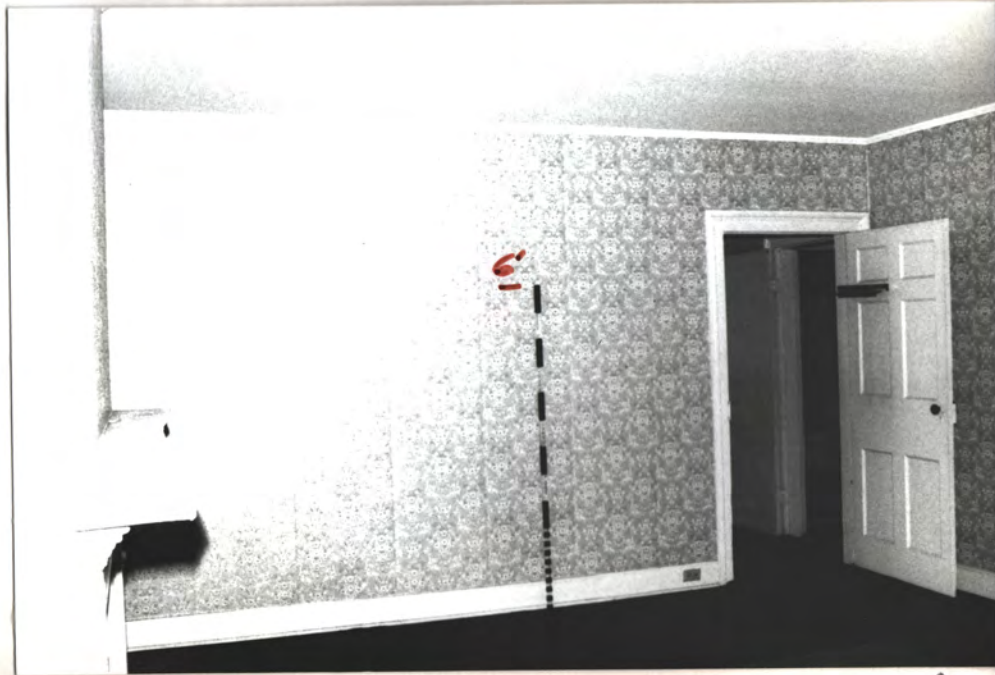
N

W. VHM LEVEL 3 FED. RM & MANTEL (1806)
 Sashes & Trim = 1805 ±. 2 Doors = 1806. Fl = 1806



Fed

50



N

Fed. Low

5/10/68

4'6"

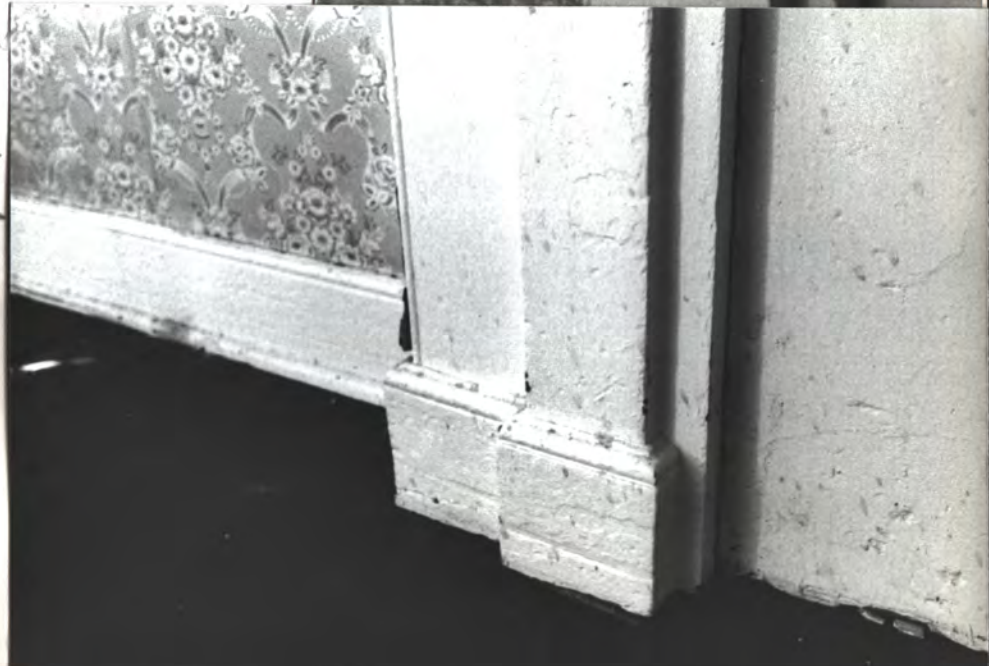
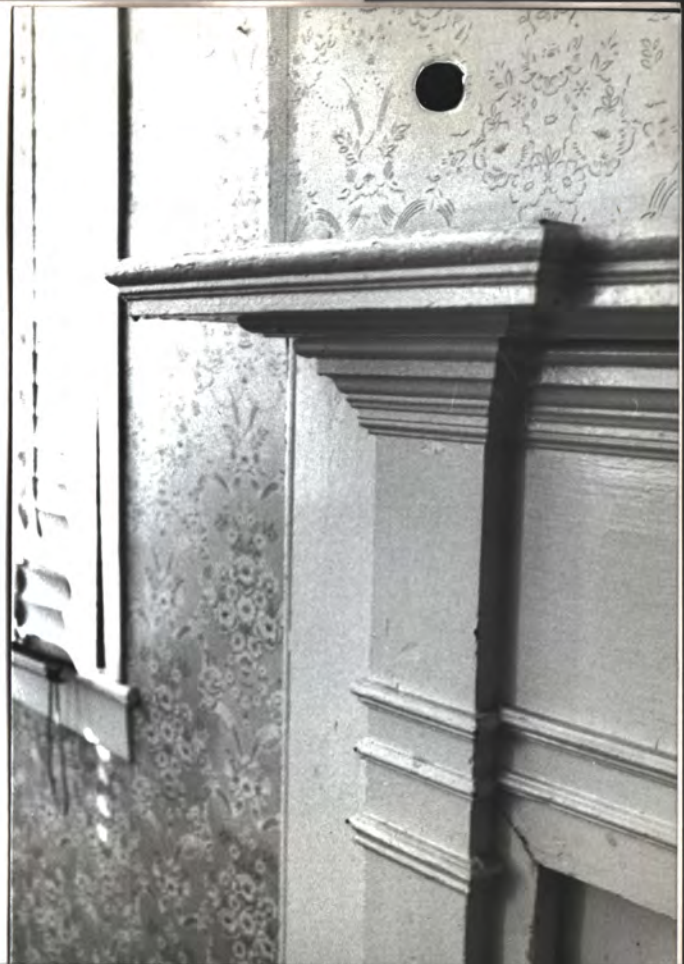


W. UNIT
S.W. RM
LEVEL 3
Fed. (1806) Mantel
(was originally
black, as used in
Fed. period)

plaster
w.d. lath



Frieze
Fed.
base
(not the
shoe)





52
 — ±4'-6"
 Hard
 pine
 fl.
 (no "finish")

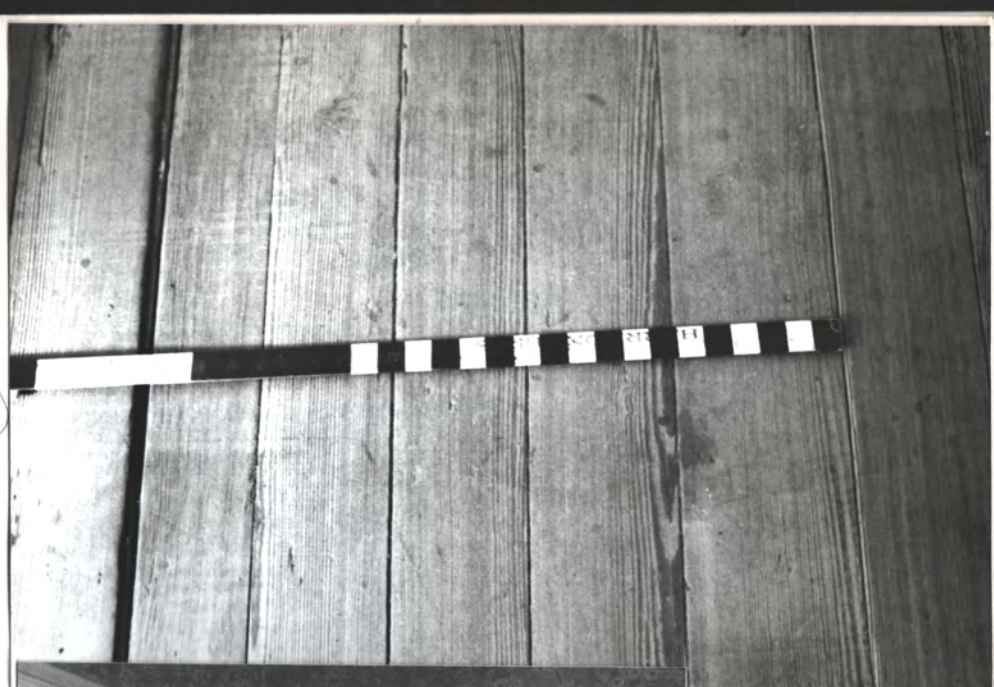
W. UNIT
 LEVEL 3
 S. W. RM (c.1806)

black gadget
 is a battery
 op. tie-rod

→ N



modern
 con.
 hearth

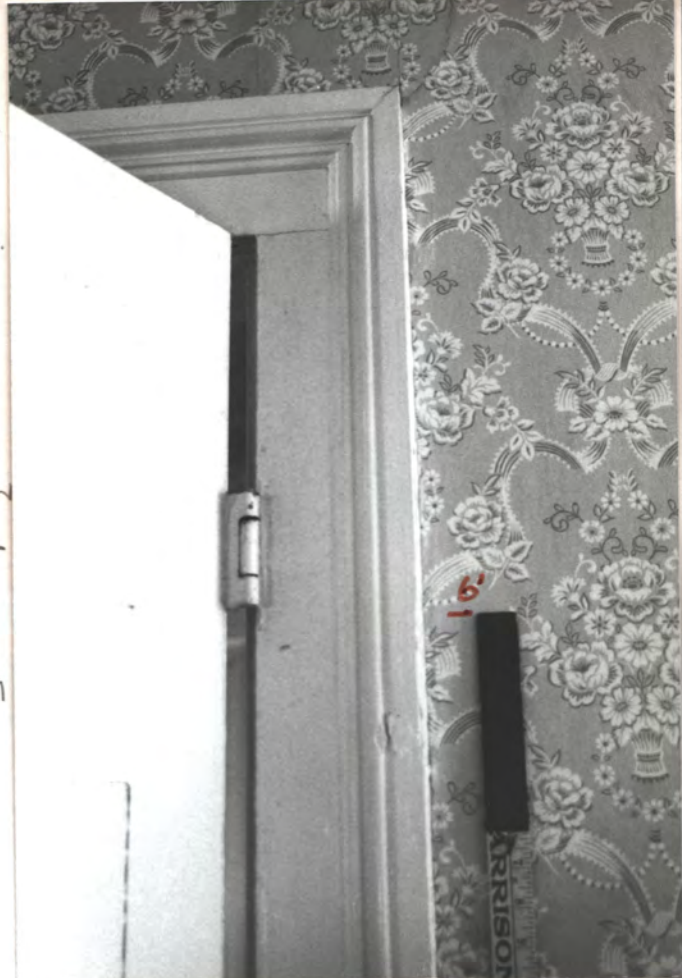


Fed. door, Vic.
 trim (door
 rebounded to
 here in 1895
 remodel.)
 ← Vic. lock

2



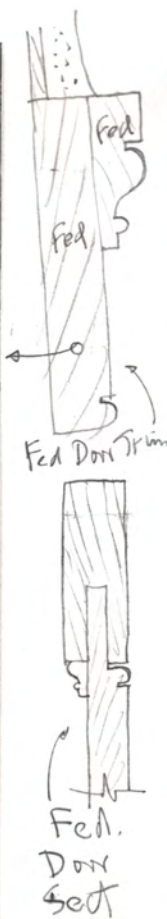
← N.W.M
Fnl. door
E.W.M
Fnl. door
C.I. HINGES
LEVEL 3
S.W. RM
c. 1906



← N.W. E Wall Fnl. Door



53 of 64 ← N.W. E.W.M Fnl. Door



← N.W. Fnl. Cast-Iron Hing - one pc



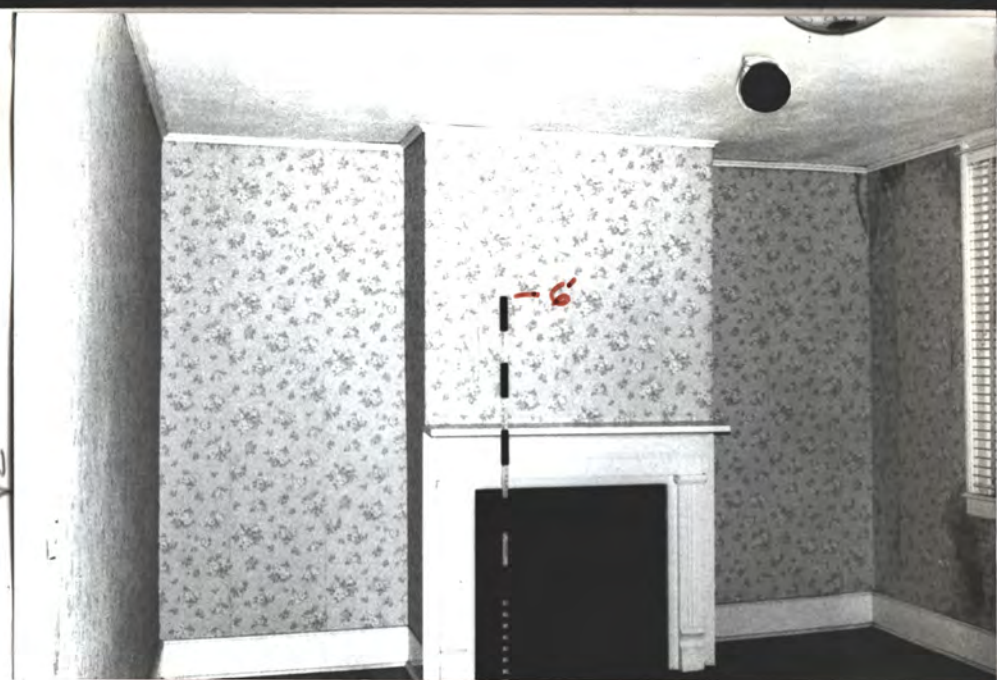
W. UNIT LEVEL 3 S.W. RM
 W. WINDOW - VIC. BACKHAND & SLOTH



W. UNIT LEVEL 3 N.W. RM
 (1895)



54



W. VHM LEVEL 3 N.W. Rm. (1895)

55 of 64

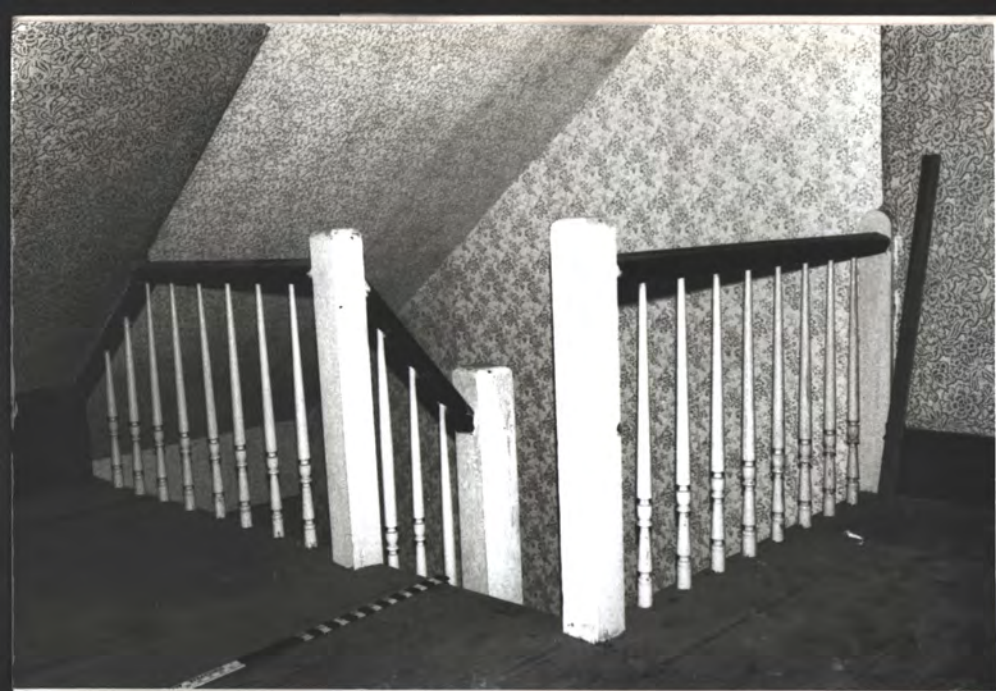
SW. Rm
beyond

↑
N



↑
mod. flush
phy. door

↑
Fed. door
to S.W. Rm



W. UNIT LEVEL 4

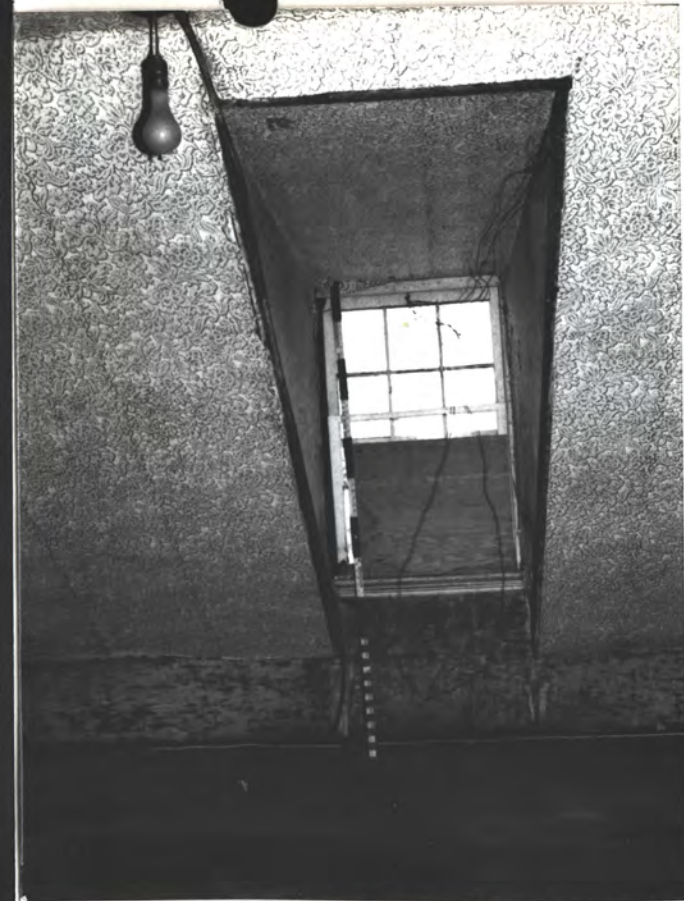
2 domers like E. unit



Trace on fl. of former 5/4 T. 6. B. 1. Parton
like still spot in E. unit attic.



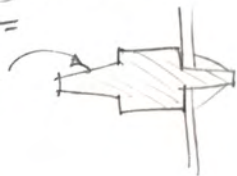
domer pine fl.
up to 12" W.



S. Dorman (mod. sashes) N. Dorman

W. UNIT LEVEL 4

Old (but not Full) sash
in W. attic =
c. 1835-70 type

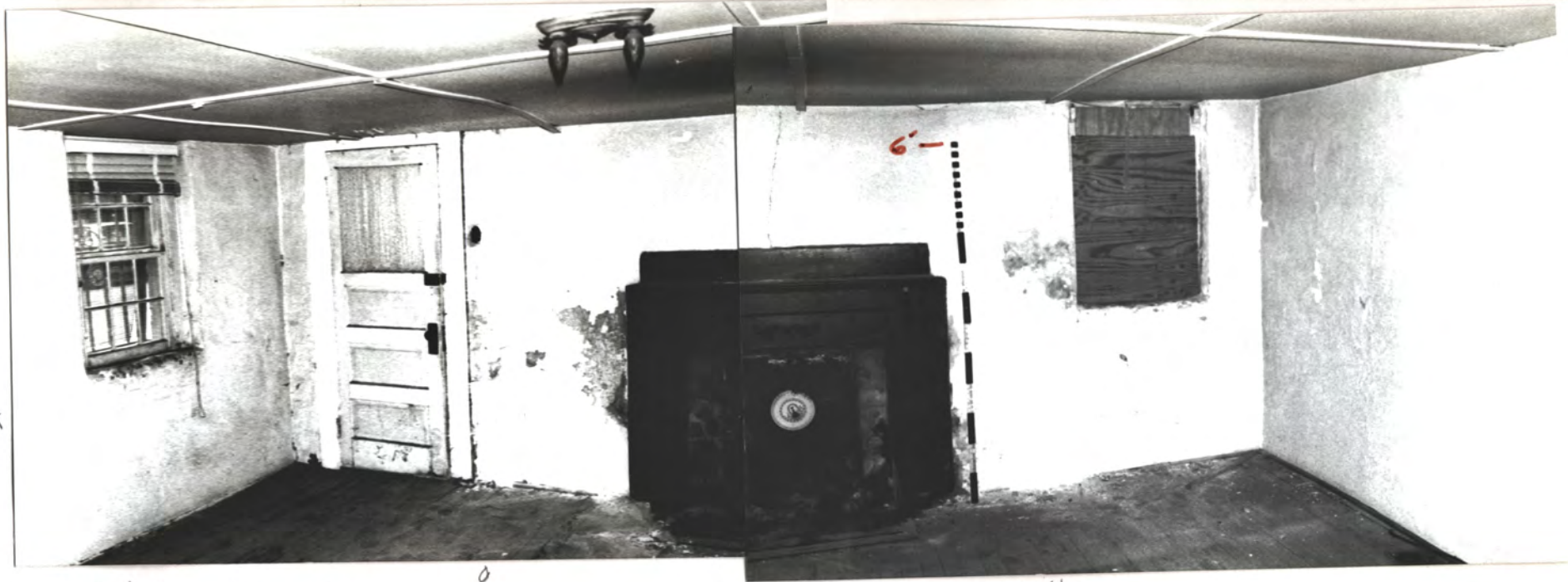


57 0564



W. UNIT, W. DOOR NEAR S.W. CORNER

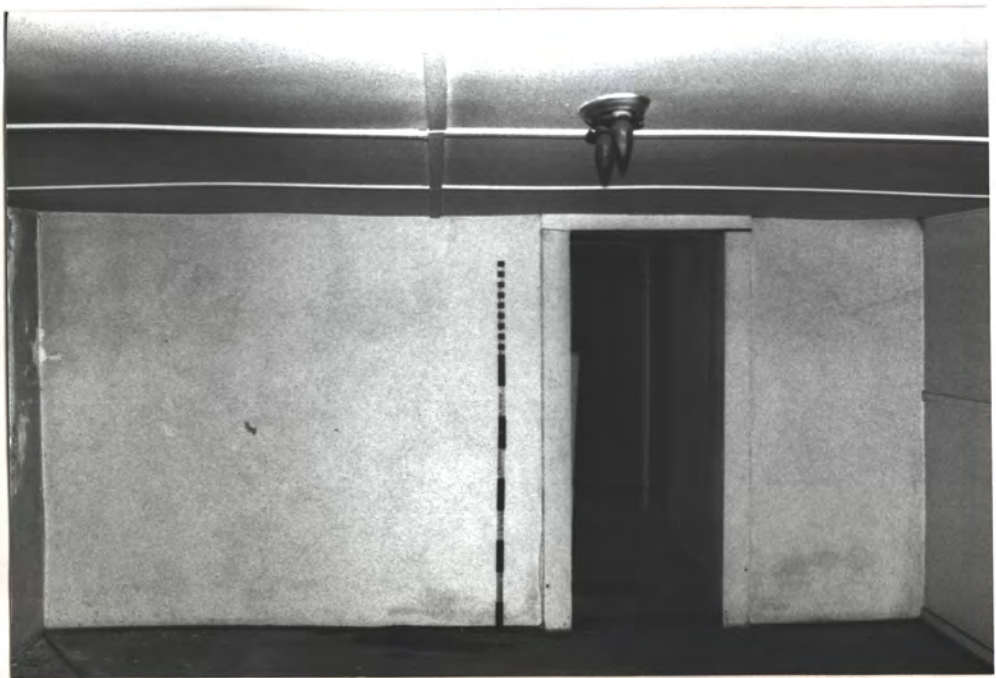
59 04 64



drive
up ± 2'
to west
yarn

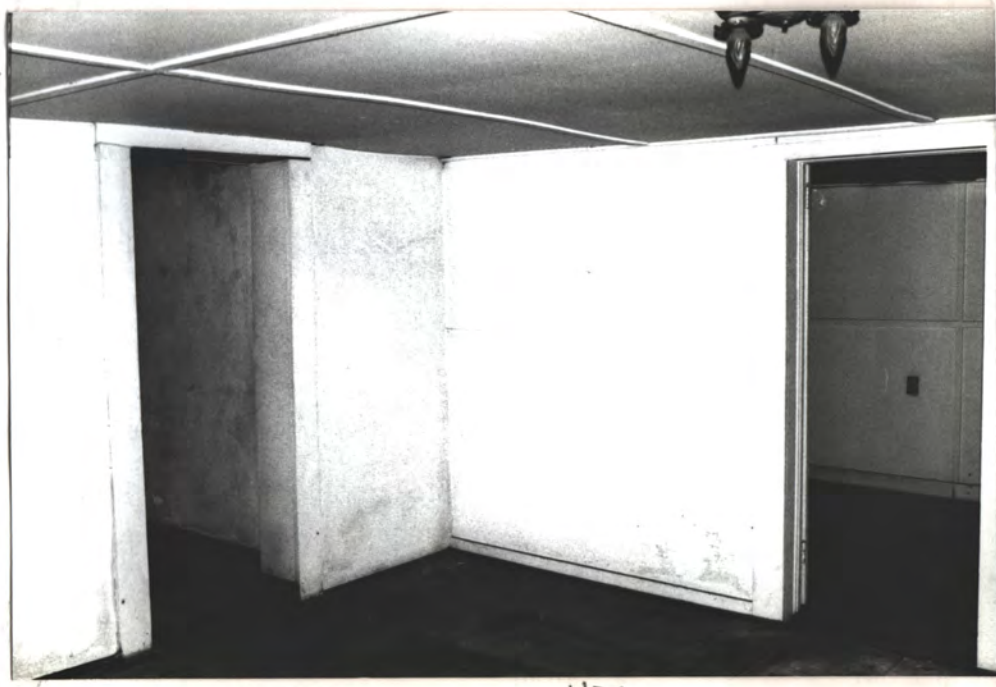
Rotten modern pine on
flat 2x4 "sleepers"

W. UNIT LEVEL 1 1806 Rm → N

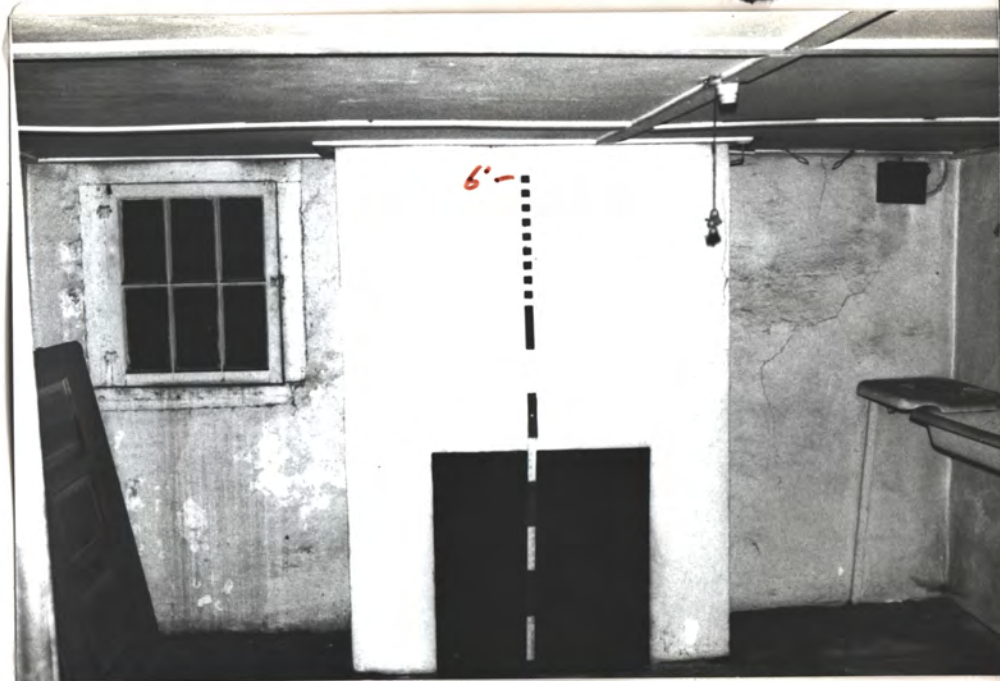
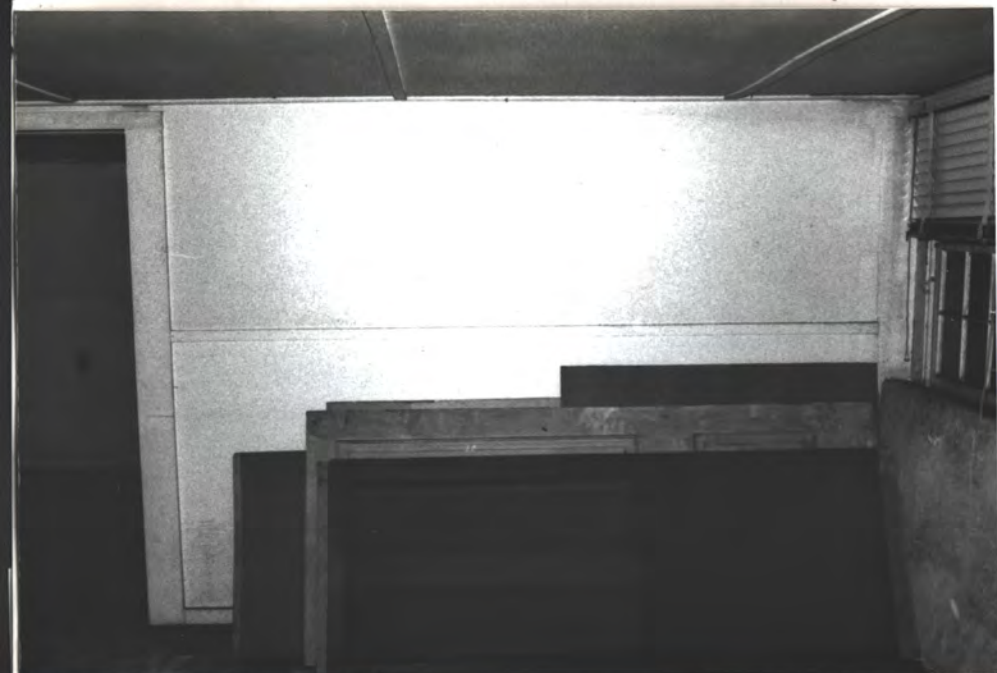


mod.
cell →

↑
up 2 steps ± 9"
to fl. at N. rim (1852)



↑ up ± 9" → N

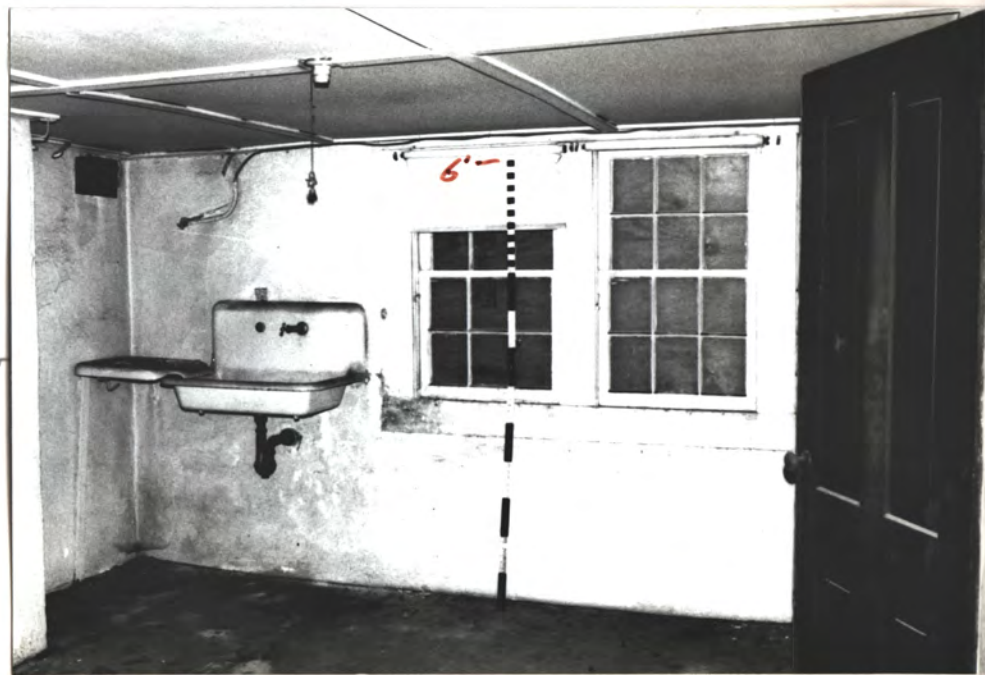


W. UNIT LEVEL 1, N.W. Rm (1852)

2 big 1895 pocket doors from
rooms above

61 of 69

rough
plaster on
brick



rough
concr. fl.

PN



W. Unit level 1 N.W. 1452 Rm
Big pocket door (1895?) from Rm. above

63 of 64

W. VENT

→

←

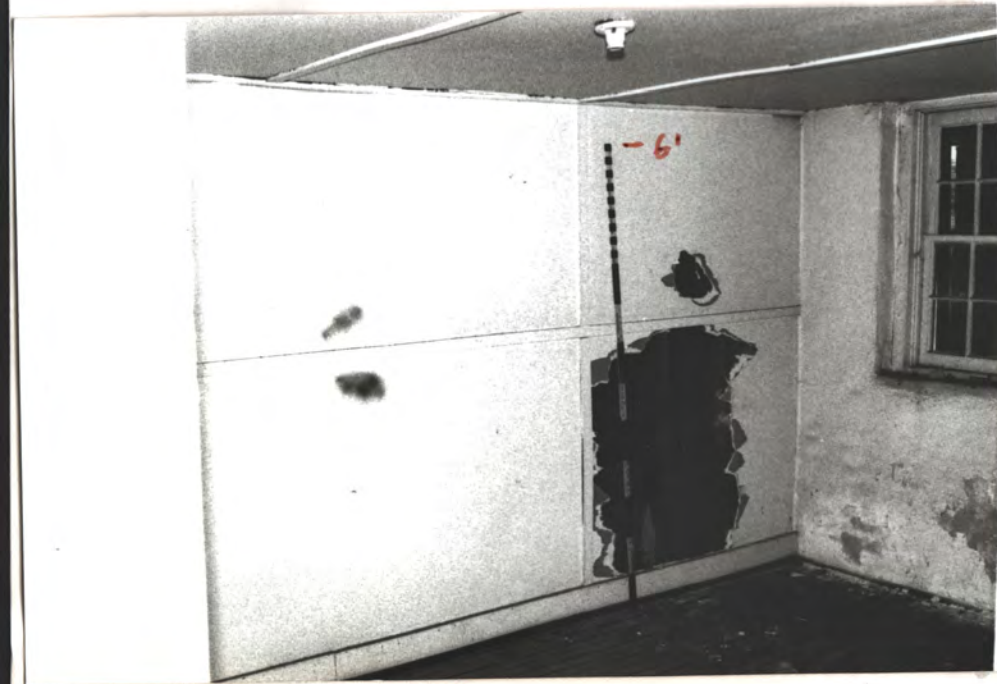


→

W. VENT LEVEL 1 1852 (f later mod)
N.E. hall of bath

→





64 of 64

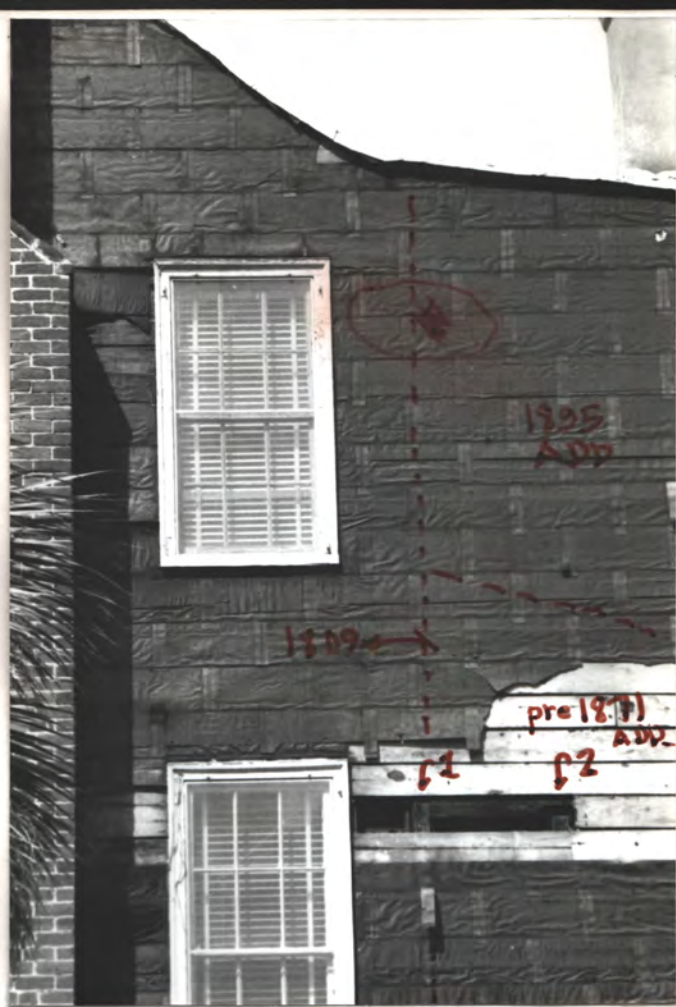
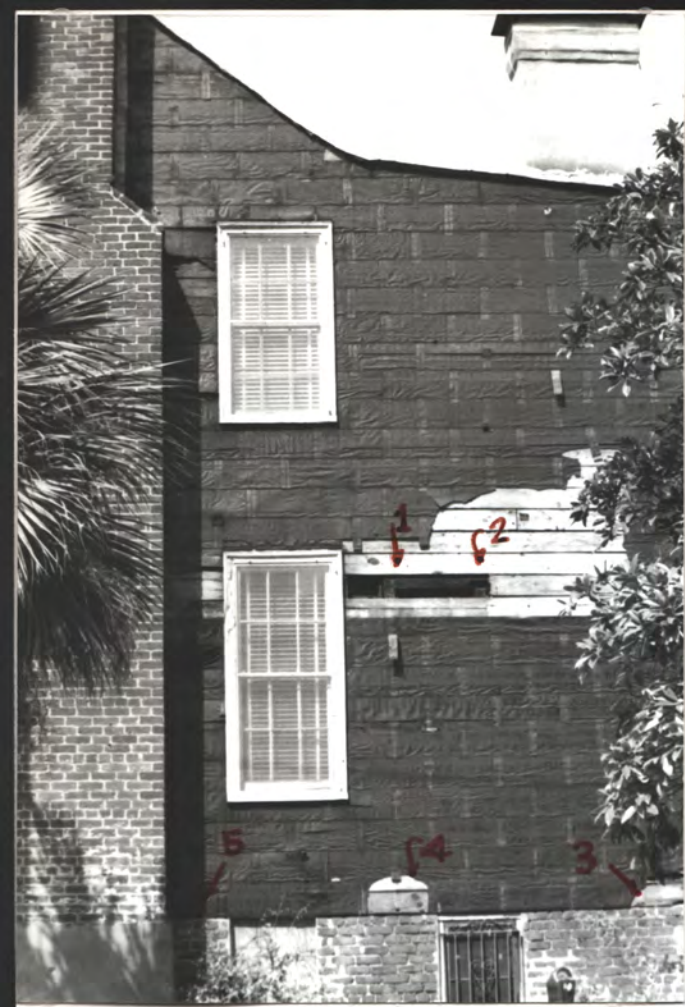
Ralph Anderson, Contr. Supt. for
J. H. Turner Const. Co. (Savannah)



South
front w/
modern
con. - as be.
shingles
removed.
Clay brick is
1895 or later
(thin,
wire nails)
This is
only side
w/ clay brick



Cor. 1809 Dr. Parker Idse, 324/26 East Bryan St.
March 1992 Savannah, Ga.
discovery photos - J. P. Jones



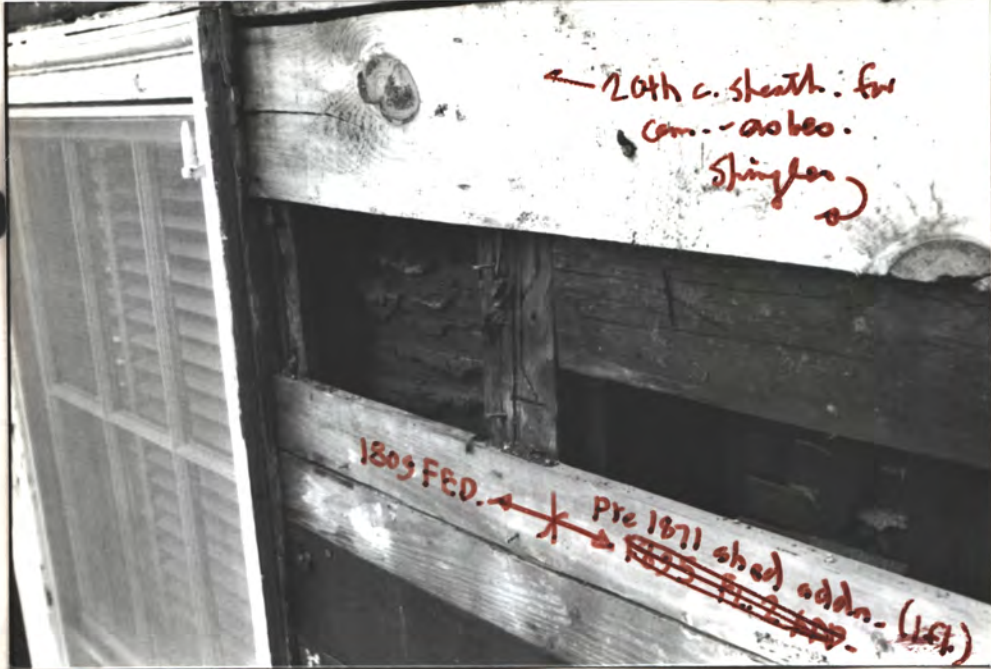
E. Chimney
N. Face

† determined heavy
Fen. Period sill
+ studs

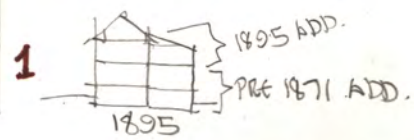
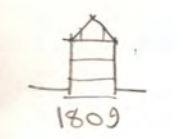
5

East wall
(no depth remained)

2

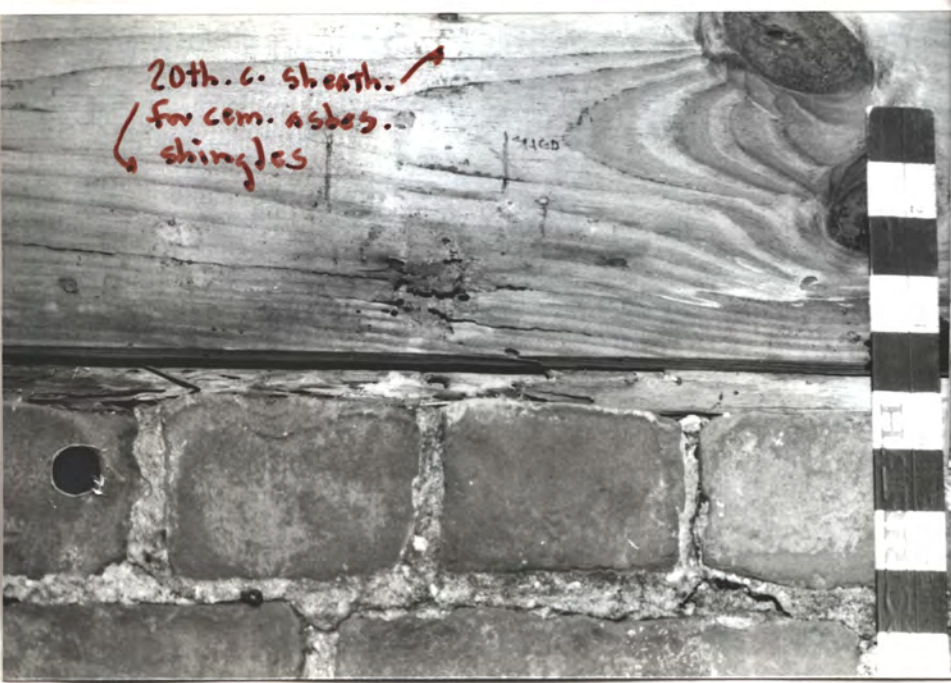
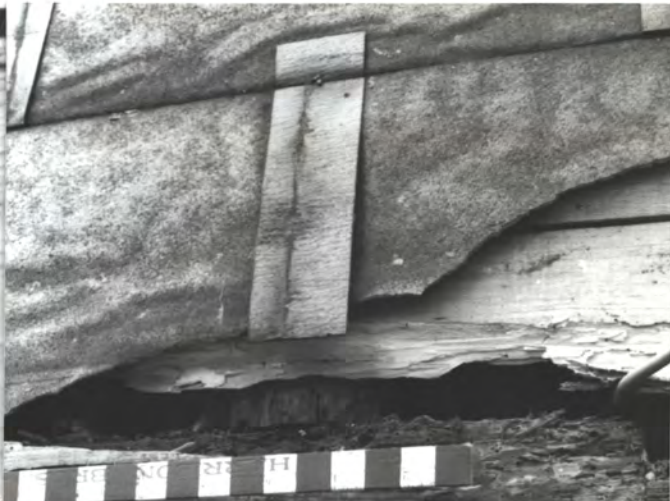


E. Wall, Parlor - floor
(level 2)



2 pre 1871 heavy framing indicates
1-sty shed shown on 1871 "VIEW" is
this shed

3



Pre-1871 type framing indicates
the present rear shed is the
same one shown as 1-sty
shed on the
1871 "VIEW" 3 of 3

4

porches is c.1960's
 + out of Fed. proportions (Hse is c.1800)



An - restoration/remodeling photos
 July 1992 Hdwres
 c.1806 Dr. Parker Hse, 324 E. Bryan St
 Savannah, Ga., for Mills Lane (Mrs Anne Lane)



@ Hse just to east, across St. The Parker Hse was
 (originally almost identical = single hse (not duplex)
 narrow claybill on front, wide on sides, short-depth street



Harborston St.

1014



N → In S.W. corner, looking east
at S. front wall (to rt.)
Stone pl. found at S.W. corner

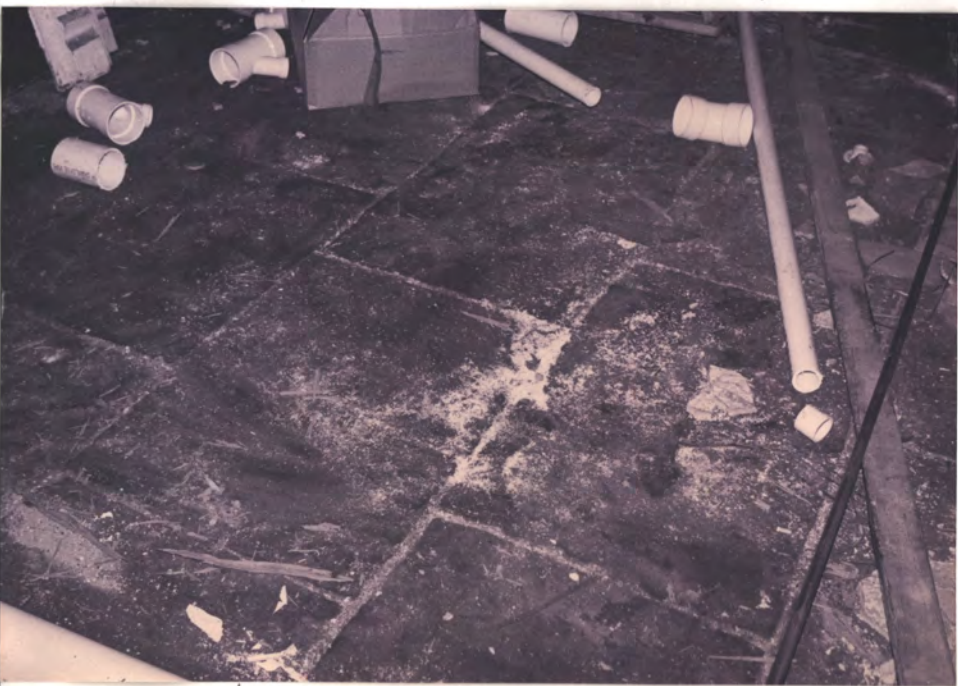
LEVEL - 1

Note
tenon

N →



Note both of plaster traces
Note pit-sawn pl. planks (some may be
sash-sawn. Irregular = pit-sawn)



N → Stone pavers on soil
probably orig.



In later shed added.
Narrower framing + smaller joints

4114



NA

Feed (split) 1806 lock



PN

SW. corner

LEVEL 2 S.G. Pumphrey

Note pit - same lumber, joists ± 2' o.c.
= typical for c.1806



NA

S.W. corner, east-most window

Machine lock (1895)
when sashes were shifted
to fit 1895 double entry
hall width
See sketch on p. 10



D → Fed. mounted window seat.

← Hwy. wd. →
post



Someone has removed the
Fed parkband at the slab!

Owner chose to remove plaster. Was not needed.



Back side of Fed. window seat
looks same - same (machine)

Level 2 S.W. porch



↑ NW corner

↙ ↘
later shed rm. beyond

5
14
1

1992 study etc here



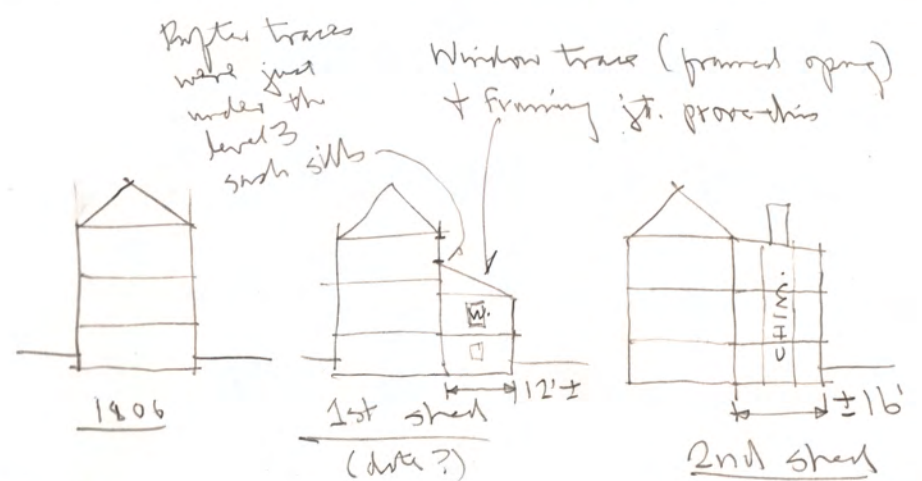
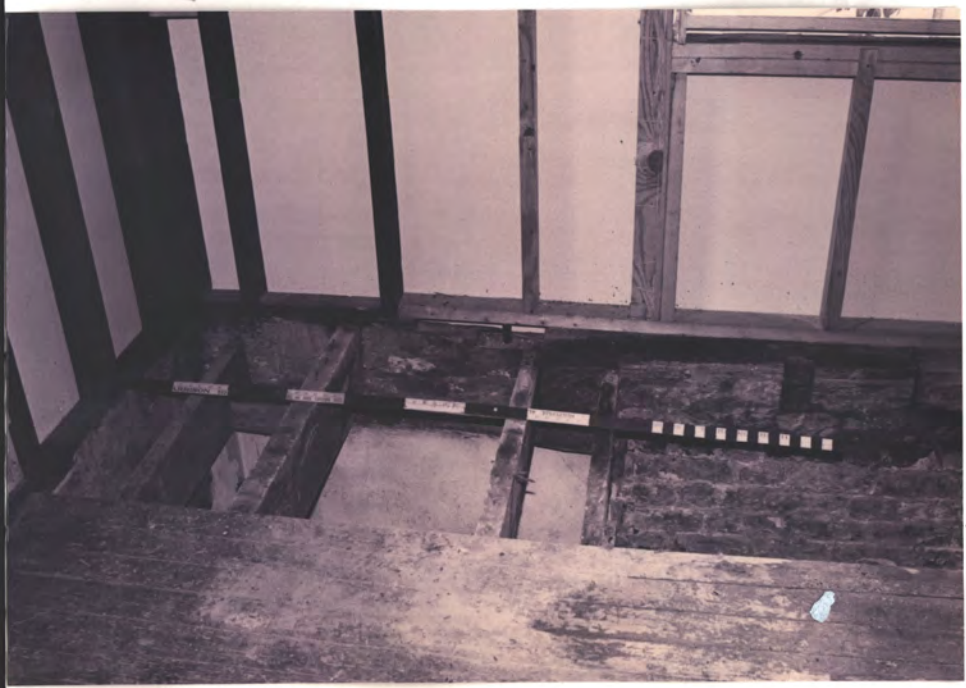
N
N.

N
N

Window trace was here, centered on shorter shed.

LEVEL 2 N.E. Admin shed rim, east wall

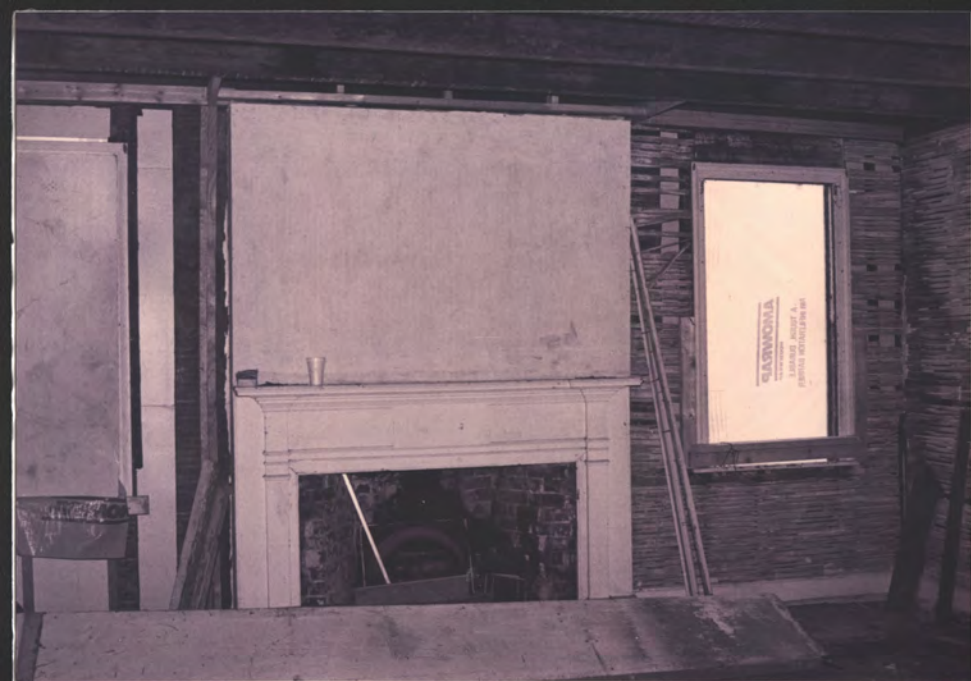
S.W. p.d.w. →



← 1895 chim. below

← level 2 1895 fl

Also use, cut into a duplex at this time & vice stairs etc, added



N →

fire. mantel



N →

LEVEL 3 S.E. Bedroom



N →

at the stairs



N →

1906 such as
framing covered
in 1895 shed

1
19

Attic (level 4) fl. above



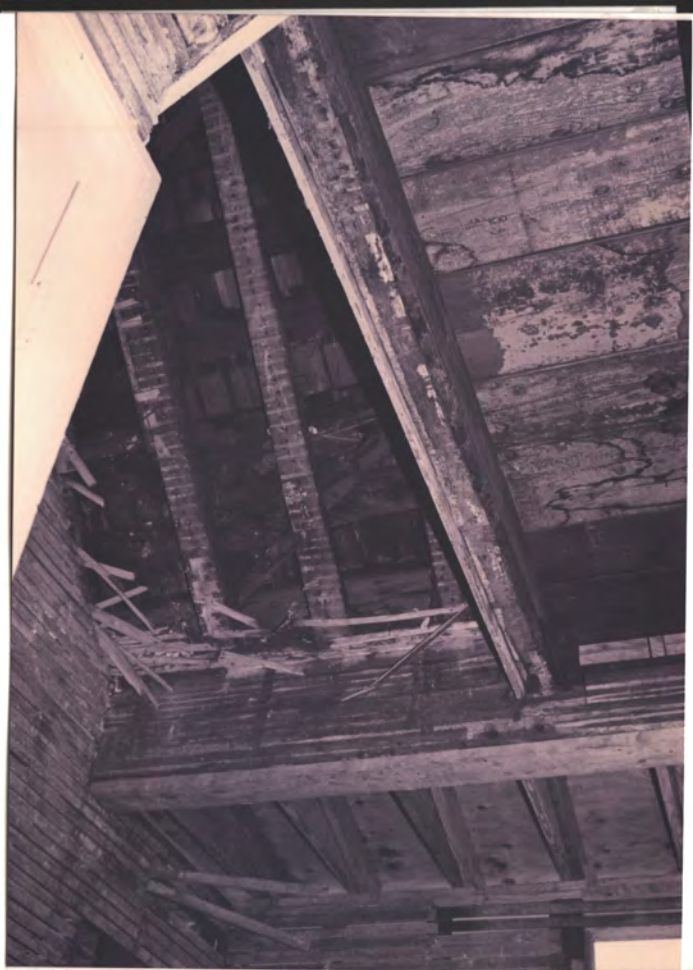
NR LEVEL 3 SE. BIL.



Wd. Shingles

NR
Sash
Sawn
plank

Bayters at level 4, N. Slope, attic



NR

Level 4
E. Unit
N. Roof Slope





21



21

21

8

LEVEL 4
E. VINT

21



2 apex =
half-lap
of peg =
most typical

9.18

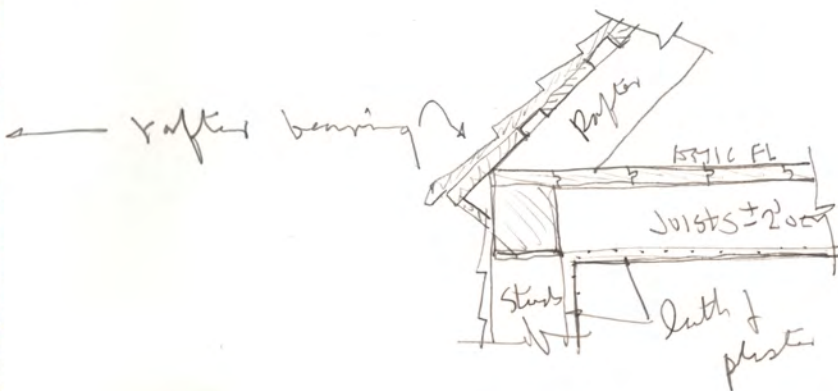


NOTE!
orig. studs top
top of main studs



Sides =
flat studs
± 2" thick
+ raked
flush-jt
(banded)
bds.

LEVEL 4 (Attic) W. UNIT





H ← E. WALL
 1895 HM WM loc. (Fed. Wainscot shifted to FA)
 LEVEL 2 S.W. PHYLOR



S. WALL N

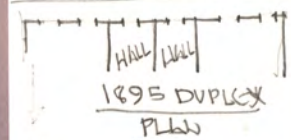
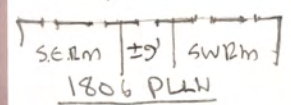


N. WALL
 Fed. Wainscot cut to FA Vic. door
 MACH. LATH AT ORIG. SASH LOC.



S. WALL N

Detail of S. Wall above.
 Machine sash both shows both sashes shifted when use was "duplexed".



N

11
14
15

1806 Sash location



→ east wall shifted west when
wider double-entry hall was made in 1895

↖

LEVEL 2 W. PARLOR

→ 1806 N. sash location

↑ N.E. corner



BACK OF PHOTO LOC. ABOVE

↳ note mortise for 1806 Sash - sill



1895
Center wall
dividing
the new
1895 duplex
plan.
Reused 1806
studs +
1895 machine
lath

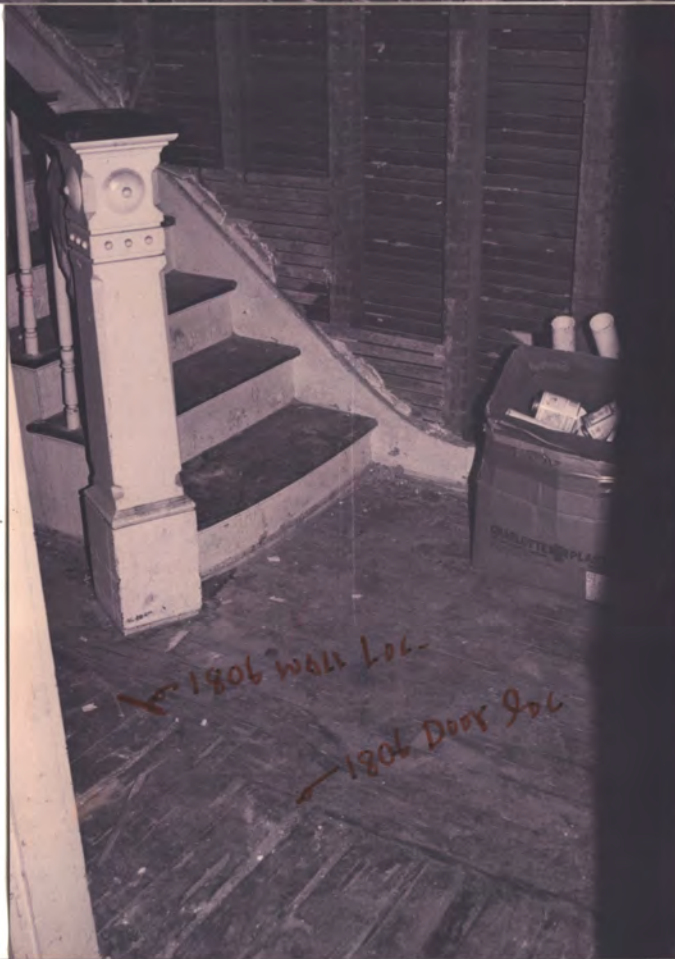


N ↗

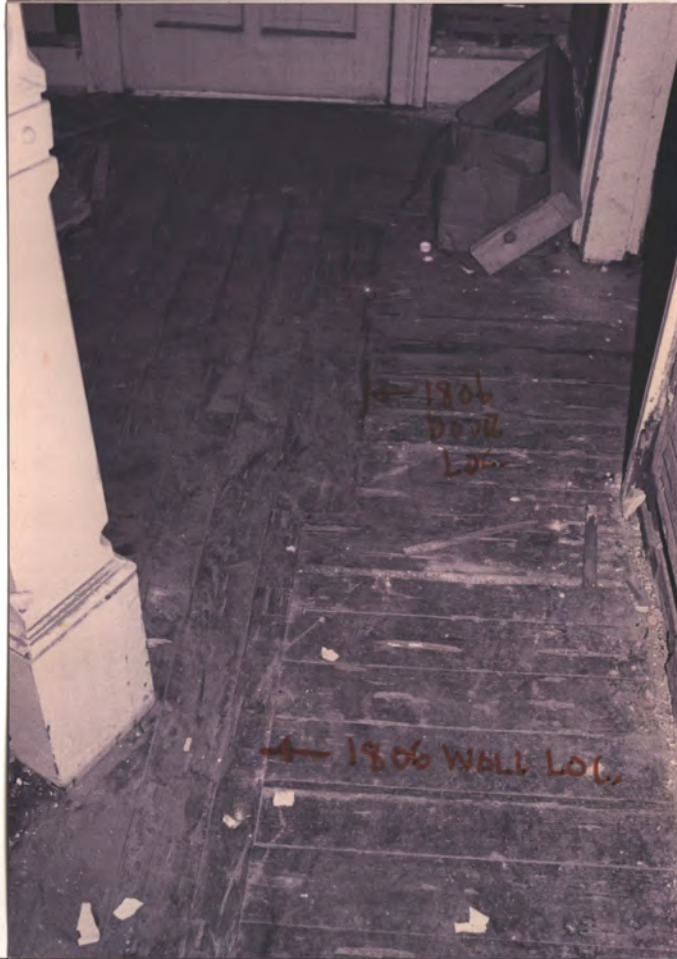
LEVEL 2
WEST WING
created in
1895 "duplex"
remodeling

N ↗

12



N ↘



LEVEL 3
STAIR HALL

W.Rm. E. Rm.

± 9'

1802 PLAN

SW. Rm.

1895 PLAN

Explains fl. jo
+ window shifts

131
14



S. WALL
1806 south Loc.

LEVEL 3
WEST UNIT



feil. mantel
N



NA
1806 south Loc



1895 shifted east wall (mch. bath)



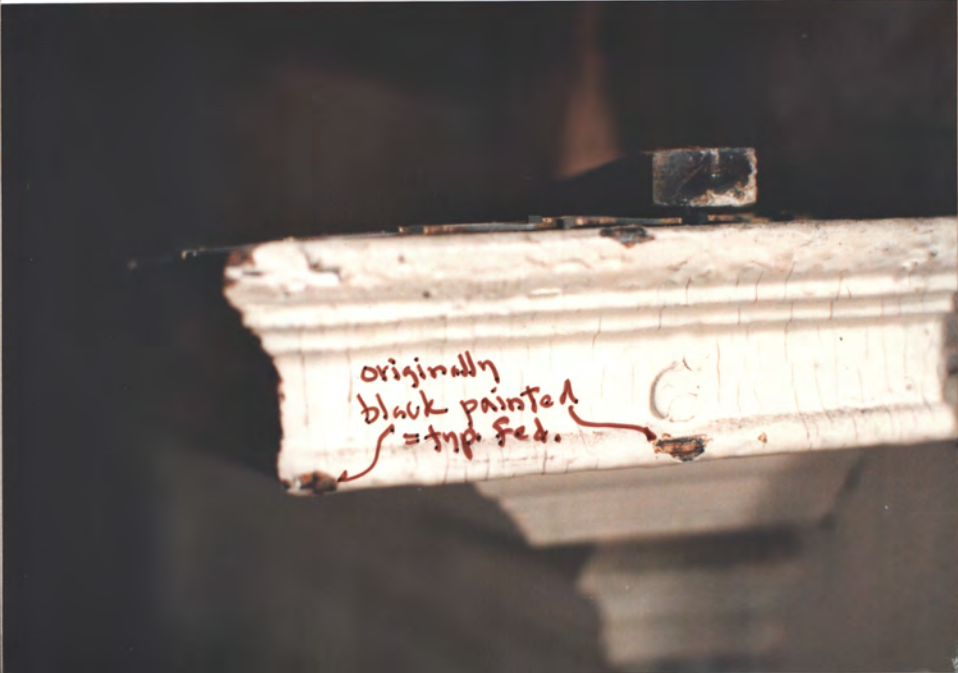
p
note
pre 1806
wallpaper
fragments
or re-used
planks from
a dismantled
pre 1806 house

Level 4 S. Dorney
East Unit

→ N

↙ N

1454



Fed. wanted at level 2 east end
 S.C. rm., originally painted black
 = TRICKLE of the 1800-1850's period

Fed. Chris Paul of Parked Dicks
 level 2 parker, S.C. Rm.
 Graining under later paint



c. 1806 Dr. Parker House
 E Bryan St.
 Savannah, Ga.
 unless restor./remod.
 J.H. Arch., H.W. Jones
 photos Aug 1992 HJ



Detail of roof - plank at left



S.E. Dome, stripped of later finish, showing
reversal roof - dark bld w/ very old wallpaper
still attached.

chair rail
trace
dado
trace

These bld are from a
still-older domed base,
per the trace



Detail of a still-older paper
under the patterns at upper etc.



S.W. Dome
 wallpaper fragments on
 reused board that are
 from a dome, here
 older than this 1806 here.

Dor. Parker Hae

1072



E. BRYAN ST.

Habersham
→
H



BACK STOOP

H
→

C. 1810 Dr. Parker House - E. Bryan St. of Habersham
Savannah, Ga.

"As restored" photos May 1993
John Herring (Arch.), Mike Lane (Mrs Anne Lane)
(N.P. Jones) owner

J.T. Turner Const., contd.

Originally was single hse. Converted to dbl. c. 1880's.
Kept as double in this restor./renovation
(not a pure restoration, per owner decisions.)

photos by Ralph Anderson of J.T.T. Const.



H
→
Habersham

COMPLETED
PHOTOS



Original mantel of window



SW PORCH, from Din. Level 2

WEST "HALF-WEST" (east = almost same)

LEVEL 5 BL SW



new newel (see before photos)



LEVEL 2 (E1102)

Original garden line

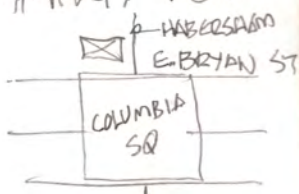
AN

LEVEL 3, later stair to Level 4 attic.

SW

2012

c.1806 Dr. Parker Ave, Savannah, Ga.
 AF762 restor. by Jones & Herrin, Arch. - A. Jones
 from derelict conditions
 Photos Sept. 1993 A.P. Jones



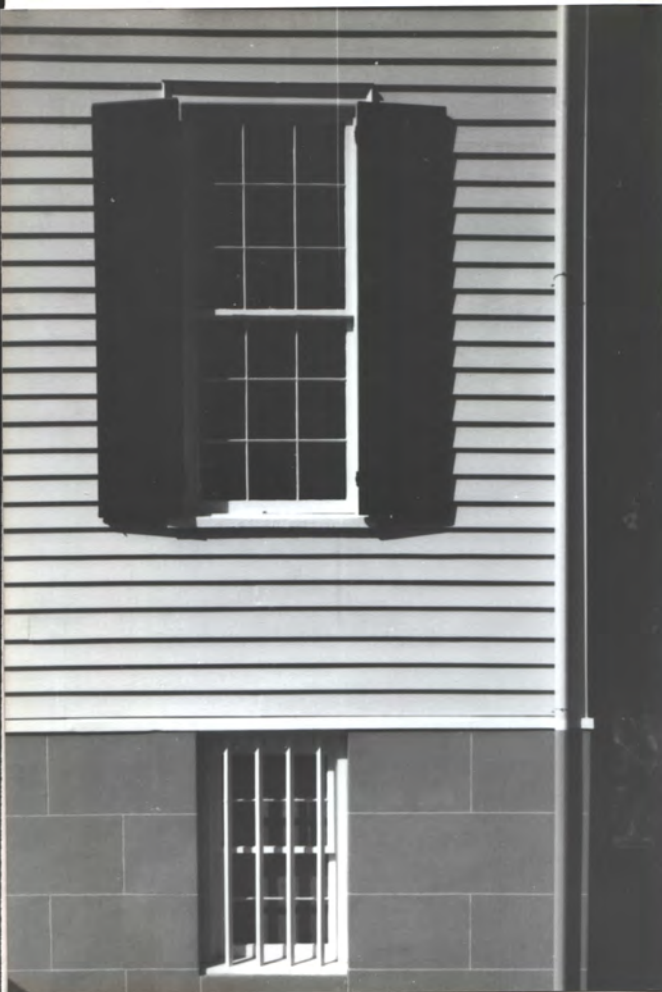
SOUTH FRONT

Columbia St

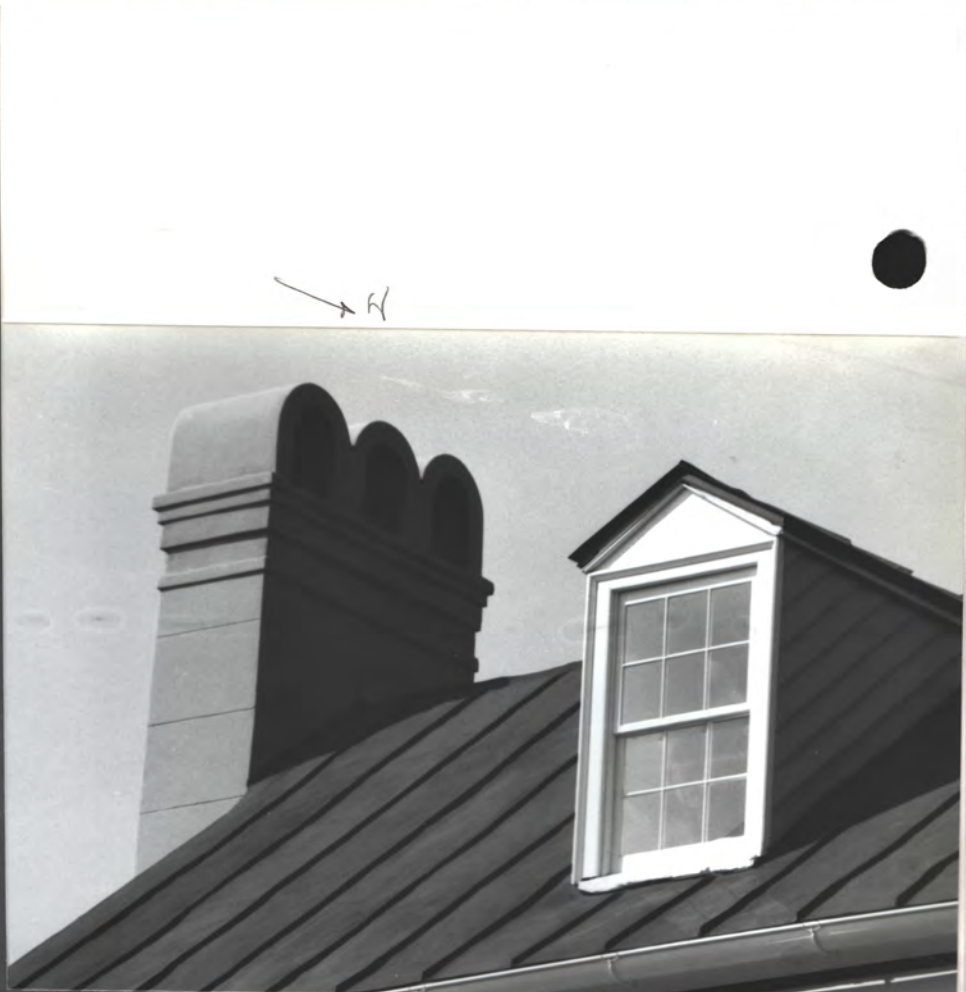


All surf. = new (sur "before" mod. materials)





AN



→ N

Dormers replicated from one intact orig. found on N. west slope of roof



← N



N.
Rear
Ha



E. Vint, Parker (mantel from H. = original Fed.)



E. Vint, B.R. p. 2, S.E.

3 of 4

182



Look Dn. from attic fl.



N →

E. Attic

new
replis seats
(all originals
gone)

404

Photos Sept '93
 Historic Dr. Jones Park
 Annapolis, MD

Dr. Wm. Parker Hays, Warren Spg Savannah, Ga
 1806 E. Bryan St., Mrs. Anne Jones, Dr. Jones
 of A (MMDL Lm) - HP Jones, F. D. A. - Reston
 Mrs. 91167 Jones & Hoxton Arch. 1. Annapolis MD



2A

2D



2B





N



→ N
Dormer restored per
latest example
on N. roof slope



N

2

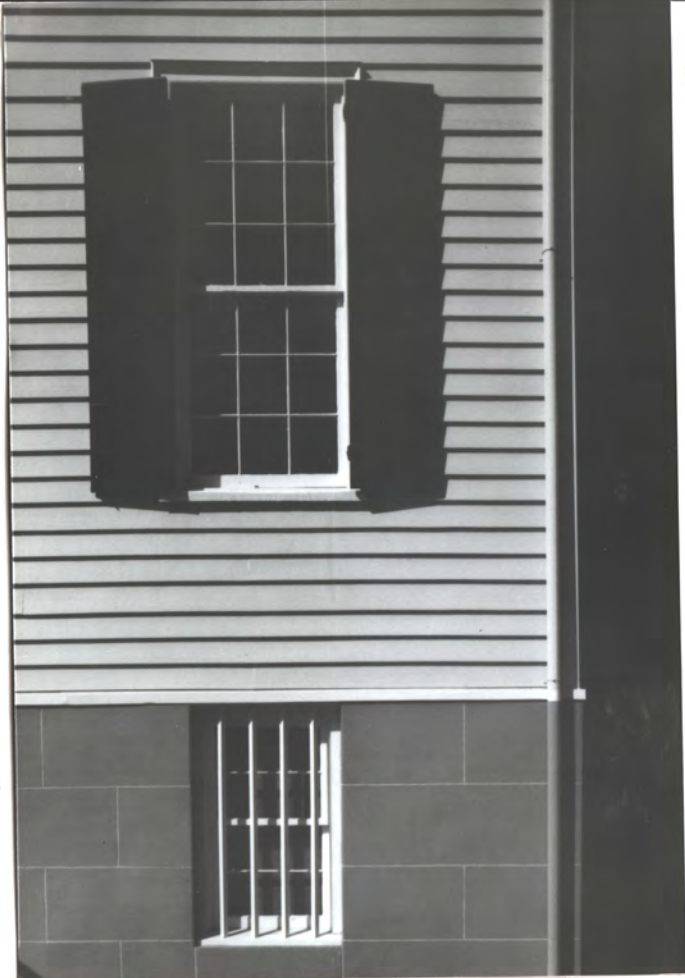


N

Front (S)
porch

Rear (N.)
Stair

3 of 4



Scored & perished stress →

S.W.M

N ↑



SE

E. Unit,
Level 2
S.E. Parlor
(featuring mantel
& wainscot)

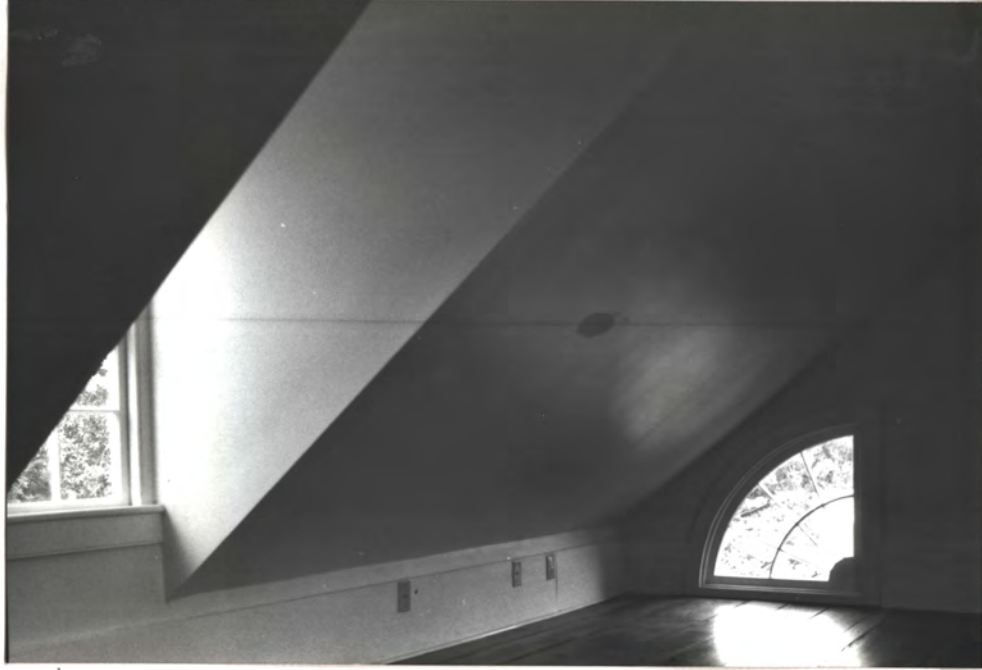
N ←





↖ H

E. Vint Stair from level 3



↖ H

E. Attic

↖ N



level 2, E. Vint, S.E. - B.R.

484

1908
Dr. Parker House
324-326 E. Bryan St.
Savannah
After rest. by
Jones & Herrin, AIA
(L. Jones)
photo May '93 by
John Pieter, AIA



JONES & HERRIN
Architecture/Interior Design

Restoration of circa 1806 Parker House
Savannah, Georgia

Postcard Jan '95



Aug 28 photo - HJ