

Jan. 4 '95
for AIA submitted
HJ

1842 HEINEMAN HOUSE RESTORATION

The 1842 four-story Heineman house is located in Savannah's Historic District, fronting on Columbia Square and Habersham Street. The house had been in a vacant and derelict state for years after a fire did considerable damage to the top floor and rear stair, and caused heavy smoke damage throughout. Prior to that the house had been cut into three makeshift apartments with bathrooms inserted on the boxed-in rear porches. In 1947 the main floor and ground floor had been gut-remodeled in neo-colonial style for an architect's office, with the mantels and doors from the main floor discarded.

Although chopped-up, neglected and fire-damaged, the house retained a majority of its original material. The missing millwork at the main floor (mantels and doors) was replicated to conform with the consistent millwork on the upper floors, with the mantels sized to fit the wall-traces. Inappropriate and makeshift elements were removed. The rear porches, which had been enclosed for baths, were restored based on wall traces and loose pieces found at the site. Mechanical and other modern elements were inserted in ways to be of minimal intrusion.

The house has been restored for single-family use, with the ground floor serving as the family's travel-business office. This house joins numerous others being restored in this previously neglected area near Savannah's early 19th century Davenport House Museum.

Historic Savannah Foundation

P.O. Box 1733, 212 West Broughton Street, Savannah, Georgia 31402-1733 (912) 233-7787

November 2, 1992

Mr. Harvie P. Jones, AIA
Jones and Herrin, Architects
104 Jefferson Street
Huntsville, AL 35801

Dear Mr. Jones:

On behalf of the Board of Trustees of Historic Savannah Foundation, I am very pleased to inform you that the Heineman House, at 125-127 Habersham Street, has been selected for a 1992 Preservation Award from the Foundation.

Each year, Historic Savannah Foundation presents awards to recognize and honor individuals, businesses, and organizations for outstanding work in preserving Savannah's irreplaceable architectural and cultural heritage.

The Preservation Awards will be presented at HSF's Annual Meeting on Thursday, November 19, at 7:00 p.m. in the First Congregational Church at 421 Habersham Street (Whitefield Square). As architect of this project, we hope you will be able to attend; will you please call our office at 233-7787 to let us know whether or not you can join us that evening?

Congratulations to you for this honor, and we will look forward to hearing from you.

Sincerely,

Stephanie Churchill

Stephanie D. Churchill
Executive Director

JONES & HERRIN

Architecture/Interior Design

October 15, 1991

Ralph Anderson
Turner Construction Co.
5101 Paulsen Street
Box 10046
Savannah, GA. 31412

Re: 1842 Heineman House
Columbia Square
Project No. 91062

Dear Ralph:

Attached are four copies of the revised plan sketches dated "revised 14 Oct '91" and three copies of an electrical sketch plan dated "revised 14 Oct '91". These sketches incorporate Mills' September notes and your notes on the HVAC and plumbing received about October 10.

Please note these prints have some minor plan changes as requested by Mills.

You, Mills and your HVAC, electrical and plumbing subs should review these to make sure I've interpreted your notes correctly.

The rear porch columns and pilasters should be replicated from the one you found at the site. Each porch should have just one column in the center, as we have previously discussed and as shown on these plans. *- dit*

ML change good
Mills, I've shifted the "level 2" kitchen door from under the stair landing so it can be full-height, and this produces a better kitchen plan as well. I've incorporated a partition in the level 2 bath so you can't see into the bath from the dining room. If you are willing to use a wide cased opening in lieu of pocket doors at the level 2 Parlor-Dining opening, it will probably save \$1,000 or more. Please instruct Ralph. *- dit*

The electrical sub should review the number and location of outlets etc. to verify that the plan meets City of Savannah requirements, and Mills should verify that it meets his desires. Fixture types should be the same as the Frederick Ball houses in similar conditions.

Review exterior lights and outlets at the garden and parking areas (if any) with Mills.

Please call if questions arise.

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

cc: Mills Lane, letter & 1 copy of each plan
H.J., letter
file, letter

JONES & HERRIN

Architecture/Interior Design

September 30, 1991

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, GA. 31401

Re: 1842 Heineman House Restoration
Savannah, Georgia
Project No. 91062

Dear Mills:

I've received your annotated copy of my letters to you of September 17 and August 16.

Since the interior moulds and mantels are very simple, Ralph thinks they can be replicated at about the cost of "stock". This would be preferable, and Ralph will investigate. He will also investigate the cost of replica doors versus semi-stock four-panel doors.

Ralph found what appears to be an original 6x6 back-porch column in the basement similar to the one found under the Habersham Street houses. I've asked him to use it as a model since it is similar in design (and therefore cost) to the one I've detailed.

Ralph reports you prefer the pilasters at the back porch, which should be the same as the column except about 1-1/2 inches deep.

The exterior door opening to the parking bays and the front (ground-floor) door should be 1-3/4 inch exterior grade four-panel (no glass) wood doors. The exterior doors opening onto the back porch from the kitchen and dressing room should be 15 -light glass and wood doors like those on the Habersham Street houses. The exterior doors opening from the back stair to the back porch should be of a board and batten design to match those existing there.

The redwood "stock" blind dimensions Ralph describes sound tolerable. I wish the rails were wider and that they had through-mortise and tenon joints. Ralph will reinforce the concealed side with metal ell-brackets to try to keep them from falling apart.

The chimney arches will be round, like those detailed for the "infill house". A copy is attached. Let Ralph know if you want the arches stuccoed (my preference).

The walk-drains will be like those at the Habersham Street houses.

A copy of a simple leader-head design is attached. It should be made of either copper or solid zinc. Galvanized metal will rust-out in 10 to 14 years and is a waste of time and money. The copper can be painted if you prefer, with proper preparation and paint.

Ralph is to have the electrical, mechanical , and plumbing information to me by October 8, at which time I can complete my work. I will only update the previous sketches. It does not appear that this house requires more, unless you or Ralph come upon items that require more details.

Attached is a copy of the "Standard Building Code Section 1121, "exception 2" which requires that the back porch rail be 36 inches high. Ralph should verify if this is the Savannah code. This same rule also applies to the interior stair-landing horizontal rails, which are only about 35 inches high. This variance should be cleared with The Building Official by Ralph. There is a "Standard Building Code" provision No. 101.6 for "Special Historic Buildings", copy attached. Ralph should ask the Building Official to review the building for any other Savannah code concerns.

Ralph reports that the Habersham Street houses are to receive an award from the Historic Savannah Foundation for "outstanding restoration." This is nice news.

Please let me know of any other items that are needed.

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

cc: Ralph Anderson, letter and attachments
HJ, letter and attachments
file

any provision of this or the technical codes shall be defended by the Department of Law until the final termination of the proceedings.

101.4.8 Reports. The Building Official shall submit annually a report covering the work of the building department during the preceding year. He may incorporate in said report a summary of the decisions of the Board of Adjustments and Appeals during said year.

101.5 Existing Buildings

101.5.1 General. Alterations, repairs or rehabilitation work may be made to any existing structure, building, electrical, gas, mechanical or plumbing system without requiring the building, structure, plumbing, electrical, mechanical or gas system to comply with all the requirements of the technical codes provided that the alteration, repair or rehabilitation work conforms to the requirements of the technical codes for new construction. The Building Official shall determine the extent to which the existing system shall be made to conform to the requirements of the technical codes for new construction.

101.5.2 Change of Occupancy. If the occupancy classification of any existing building or structure is changed, the building, electrical, gas, mechanical and plumbing systems shall be made to conform to the intent of the technical codes as required by the Building Official.

101.6 Special Historic Buildings

The provisions of the technical codes relating to the construction, alteration, repair, enlargement, restoration, relocation or moving of buildings or structures shall not be mandatory for existing buildings or structures identified and classified by the state or local jurisdiction as Historic Buildings when such buildings or structures are judged by the Building Official to be safe and in the public interest of health, safety and welfare regarding any proposed construction, alteration, repair, enlargement, restoration, relocation or moving of buildings within fire districts.

102 POWERS AND DUTIES OF THE BUILDING OFFICIAL

102.1 General

The Building Official is hereby authorized and directed to enforce the provisions of this and the technical codes. The Building Official is further authorized to render interpretations of these codes, which are consistent with their spirit and purpose.

102.2 Right of Entry

102.2.1 Whenever necessary to make an inspection to enforce any of the provisions of this or the technical codes, or whenever the Building Official has reasonable cause to believe that there exists in any building or upon any premises any condition or code violation which makes such building, structure, premises, electrical, gas, mechanical or plumbing systems unsafe, dangerous or hazardous, the Building Official may enter such building, structure or premises at all reasonable times to inspect the same or to perform any duty imposed upon the Building Official by this Code, provided that if such building or premises is occupied, he shall first present proper credentials

and request entry. If such building, structure, or premises is unoccupied he shall first make a reasonable effort to locate the owner or other person having charge or control of such and request entry. If entry is refused the Building Official shall have recourse to every remedy provided by law to secure entry.

102.2.2 When the Building Official shall have first obtained a proper inspection warrant or other remedy provided by law to secure entry, no owner, occupant or any other persons having charge, care or control of any building, structure, or premises shall fail or neglect, after proper request is made as herein provided, to promptly permit entry therein by the Building Official for the purpose of inspection and examination pursuant to this Code.

102.3 Stop Work Orders

Upon notice from the Building Official, work on any building, structure, electrical, gas, mechanical or plumbing system that is being done contrary to the provisions of this or the technical codes or in a dangerous or unsafe manner, shall immediately cease. Such notice shall be in writing and shall be given to the owner of the property, or to his agent, or to the person doing the work, and shall state the conditions under which work may be resumed. Where an emergency exists, the Building Official shall not be required to give a written notice prior to stopping the work.

102.4 Revocation of Permits

102.4.1 Misrepresentation of Application. The Building Official may revoke a permit or approval, issued under the provisions of this or the technical codes, in case there has been any false statement or misrepresentation to the material fact in the application or plans on which the permit or approval was based.

102.4.2 Violation of Code Provisions. The Building Official may revoke a permit upon determination by the Building Official that the construction, erection, alteration, repair, moving, demolition, installation or replacement of the building, structure, electrical, gas, mechanical or plumbing system for which the permit was issued is in violation of, or not in conformity with, the provisions of this or the technical codes.

102.5 Unsafe Buildings or Systems

All buildings, structures, electrical, gas, mechanical or plumbing systems which are unsafe, unsanitary, or do not provide adequate egress, or which constitute a fire hazard, or are otherwise dangerous to human life, or which in relation to existing use, constitute a hazard to safety or health, are considered unsafe buildings or service systems. All such unsafe buildings, structures, or service systems are hereby declared illegal and shall be abated by repair and rehabilitation or by demolition in accordance with the provisions of the Standard Unsafe Building Abatement Code.

102.6 Requirements Not Covered By Code

Any requirements necessary for the strength, stability or proper operation of an existing or proposed building, structure, electrical, gas, mechanical

RUCTIONS

chairs or other movable... shall be maintained to

AYS AND LOBBIES

ay element which does not... street or to an open court... ridor, lobby or other unobstructed... this section and Table 708.

enclosed passageway shall be... h of all required exitway stairways... ay doorways opening into the... a minimum width of 44 inches

arge through areas on the level... e met:

obstructed way to the exterior... is and identifiable from the

ge is separated from areas below... r fire resistance rating.

out by an approved automatic... the level of discharge with access... out by an approved, automatic... ordance with the requirements

120.3(3) may be waived if the... er arranged and separated in

ade passageway or lobby, the... d with an automatic fire sup-... floor with access to the grade... h an automatic fire suppression... ordance with the requirements

le or foyer, other than a grade... ig criteria:

depth from the exterior of the building is not greater than 10... the length is not greater than 20 ft.
The foyer is separated from the remainder of the level of discharge... self-closing doors and the equivalent of 1/4-inch thick wired glass in... el frames.

1121 GUARDRAILS

All unenclosed floor and roof openings, open and glazed sides of landings and ramps, balconies or porches which are more than 30 inches above grade or a floor below shall be protected by a guardrail. Guardrails shall form a vertical protective barrier not less than 42 inches high. Open guardrails shall have intermediate rails or ornamental pattern such that a 6-inch diameter sphere cannot pass through any opening. A bottom rail or curb shall be provided that will reject the passage of a 2-inch diameter sphere. Construction of guardrails shall be adequate in strength, durability and attachment for their purpose as described in 1207.

EXCEPTIONS:

1. Guardrails need not be provided on the loading side of loading docks.
2. Guardrails for dwellings and within individual dwelling units or guest rooms shall be a minimum of 36 inches high.
3. Guardrails on a balcony, loge or gallery immediately in front of the first row of fixed seats and which are not at the end of an aisle shall be not less than 26 inches high. Guardrails 42 inches high and the width of the aisle shall be located at the front edge of a balcony, loge or gallery where the aisle terminates. When the slope of the aisle is less than 1:8 the guardrail may be 36 inches high where the aisle terminates.
4. A guardrail shall not be required at the front of any stage.
5. For areas not accessible to the public in Groups F, H, S and I Restrained occupancies, the clear distance between rails measured at right angles to the rails shall not exceed 21 inches.
6. For one and two family dwellings, only one intermediate rail between 14 and 18 inches above floor level shall be required between the top 36 inches high guardrail and the floor level of boat docks, piers, landings, decks on beach fronts and dune walkovers, providing the floor or deck level is not more than 6 ft above the mean high water level or average grade of the beach, dune or ground below. No guardrail shall be required on that portion of a boat dock used for docking a boat.

1122 ASSEMBLY AISLES AND SEATING

1122.1 General

1122.1.1 Provisions in 1122 shall apply to all assembly aisle and seating except for special provisions relating to seating for reviewing stands, grandstands and bleachers.

1122.1.2 Every portion of any building which contains seats, tables, displays, equipment, or other material shall be provided with aisles leading to exits.

Perhaps - verify that this is Savannah Code

*Provision - HJ
30 Sept '91*



JONES & HERRIN

Architecture/Interior Design

Rec'd 30
Sept '91
MJ
from M Lane

September 17, 1991

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, GA. 31401

Re: 1942 Heineman House Restoration
Savannah, Georgia
Project No. 91062

Dear Mills:

I received your letter of 12 September on 16 September after I'd sent the back porch details to you and Ralph. If you prefer the single column, just tell Ralph. I see no need to revise the drawing. I'd prefer to not install the pilasters since we now know there were none originally. There may have been no columns originally, as well. No definite clues of columns remained.

I see no difficulty with your proposed interior approach, since at levels 3 and 4 virtually all the trim and doors remain, and it is simple in design. On levels 1 and 2 we can therefore use trim of similar design but with stock moulds. The doors can be stock 4-panel doors, a common Greek Revival pattern, though they won't be like the original 6-equal-panel doors of levels 3 and 4. Locks will be "Baldwin" modern where they are missing.

OK
OK
OK

~~Look at the blinds that Ralph found at the site to see if you want to duplicate them. They sound like second generation Victorian blinds from the trim proportions Ralph described.~~

STOCK

As I see it I am finished with the sitework detailing. The interior detailing will be much simpler to do than for the previous projects.

There is a fragment of what appear to be original plactor cornice in the level 2 entry. Shall Ralph remove this?

As far as I can see, the level 4 duct risers can be located per your sketch. Ralph should get a design on the HVAC after I send the plans and then let me check it for routing and appearance aspects. I will indicate electrical devices in sketch form and let Ralph get a final electrical design.

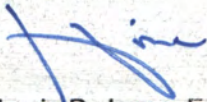
good

By copy of this letter I'm asking Ralph to omit the iron grille under the stoop, per your note. I will not detail any of the sitework walls. Also Ralph is to place the condensers in a row per your sketch along side the south parking-space wall and protect them with three pipe-bollards like those at the three houses. The condensers should be painted a dark brown color that will blend with the adjacent brick wall.

OK

I'll proceed per above and your notes. This will be a relatively easy project for both Ralph and me, and I'm happy to see it proceeding.

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

cc: Ralph Anderson, Turner Const., letter
HJ, letter
file

from Mrs Jane

JONES & HERRIN

Architecture/Interior Design

Recd 30 Sept
'91 HW

09/16/91

J.T. Turner Construction Co.
Mr. Ralph Anderson
5105 Paulsen St.
Savannah, GA 31412

Re: 1842 Heineman House
Project no. 91062

Dear Ralph:

Attached are 3 copies of the details for the back porch and front entry. Let me know if you see problems or questions with any of this.

Mills has not yet requested the few remaining exterior details. Some of these are:

- Leader-heads, downspouts and walk drains
- Modern exterior doors
- ~~Iron and masonry garden walls and gates~~ in sand
- Walks
- Blinds (not needed if you replicate the one you found, but these may be "second generation" blinds)
- Chimney - arches

- Harvie -
select
antifactory
stock
blinds

Respectfully,


Harvie P. Jones, FAIA
HPJ/sm

copy: file (letter only)
Mills Lane (letter, 1 drawing)

attachment

Harvie phase detail.

Copy to Ralph Anderson (Turner Const.) 30 Sept: 91

My mother has reviewed the plan.

321 BARNARD STREET
SAVANNAH, GEORGIA 31401

*Rec'd 11 Sept '91
HG*

September 12th 1991

Dear Harvie:

I've marked the enclosed plan with "final" changes to your schematic plan. I have discussed the project with Jim Turner. We want to take a somewhat different approach to this project than with the first two on Habersham Street, which deserved the absolutely purist approach. With the Heineman House we want to spare no expense with the new stucco, and penciling the joints (something that has never been done in modern times in Savannah), but with the interior I want to use stock materials where new materials are needed and would ask to try to keep costs down as much as possible, but keeping in mind the general standards of historical appearance I would wish.

You may now proceed with whatever detailed drawings necessary for the interior. For kitchens, you need only indicate the position of appliances and arrangement of cabinets; we will have the counter-cabinet contractor in Savannah prepare the details. Though it may be against Classical precedent, do you think we could have only one column in the middle of the back porch, instead of paired columns - a single one works better with the windows and actually makes a better spatial proportion?

Thanks so much,

M.L.
Mills Lane

JONES & HERRIN

Architecture/Interior Design

September 17, 1991

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, GA. 31401

Re: 1842 Heineman House Restoration
Savannah, Georgia
Project No. 91062

Dear Mills:

I received your letter of 12 September on 16 September after I'd sent the back porch details to you and Ralph. If you prefer the single column, just tell Ralph. I see no need to revise the drawing. I'd prefer to not install the pilasters since we now know there were none originally. There may have been no columns originally, as well. No definite clues of columns remained.

I see no difficulty with your proposed interior approach, since at levels 3 and 4 virtually all the trim and doors remain, and it is simple in design. On levels 1 and 2 we can therefore use trim of similar design but with stock moulds. The doors can be stock 4-panel doors, a common Greek Revival pattern, though they won't be like the original 6-equal-panel doors of levels 3 and 4. Locks will be "Baldwin" modern where they are missing.

Look at the blinds that Ralph found at the site to see if you want to duplicate them. They sound like second-generation Victorian blinds from the thin proportions Ralph described.

As I see it I am finished with the sitework detailing. The interior detailing will be much simpler to do than for the previous projects.

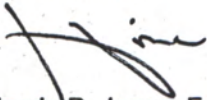
There is a fragment of what appear to be original plaster cornice in the level 2 entry. Shall Ralph remove this?

As far as I can see, the level 4 duct risers can be located per your sketch. Ralph should get a design on the HVAC after I send the plans and then let me check it for routing and appearance aspects. I will indicate electrical devices in sketch form and let Ralph get a final electrical design.

By copy of this letter I'm asking Ralph to omit the iron grille under the stoop, per your note. I will not detail any of the sitework walls. Also Ralph is to place the condensers in a row per your sketch along side the south parking-space wall and protect them with three pipe-bollards like those at the three houses. The condensers should be painted a dark brown color that will blend with the adjacent brick wall.

I'll proceed per above and your notes. This will be a relatively easy project for both Ralph and me, and I'm happy to see it proceeding.

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

cc: Ralph Anderson, Turner Const., letter
HJ, letter
file

JONES & HERRIN

Architecture/Interior Design

September 04, 1991

Ralph Anderson
Turner Construction Co.
5101 Paulsen Street
Box 10046
Savannah, GA. 31412

Re: 1842 Heineman House
Columbia Square
Project No. 91062

Dear Ralph:

Attached are 4 copies of the "ashlar layout" elevations dated Sept. 3, 1991. The lines are "divisions" between the points shown, such as jambs, sills and lintel-heads. I've laid them out so the "stones" should be more or less equal in size. Since I don't have precise dimensions of the wall openings, you will need to first verify at the site if the divisions shown will in fact be more or less equal. If some areas don't work out like that, get exact opening dimensions and we can revise the pattern to best fit them.

The historical examples I've seen of this treatment (including the 136 Habersham "north house") have a slight cove joint of about 1/4 inch wide by 1/8 inch deep, plus the "penciled" paint stripe. I recommend we use the cove joints as well as the paint stripe so that when the stucco is repainted in 6 to 8 years the joint pattern will remain to serve as a guide in the re-penciling work. If it doesn't get re-penciled at some point, we'll at least have the cove joints to relieve the big stucco surfaces.

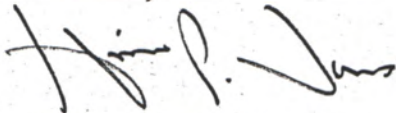
Most modern stucco is done with a "sand-texture" finish. Historically, this stucco should be as smooth as interior plaster. Get a sample for Mills to approve before you begin.

I'm concerned about the proposal to nail galvanized lath to the existing wall, for it is inevitable that this lath will rust (and expand) at some point. Please ask your stucco sub to see if there is a system and material he has confidence in that does not involve metal lath. Today's galvanizing is so thin that it is not much better than a coat of paint in delaying (not preventing) rust. If your sub does not know of such a non-lath system, I'd ask to see a metal-lath installation that is at least 20 years old. Mills should participate in this important technical decision.

If you end up with conventional (but smooth) stucco, it is critical that it be properly cured to minimize cracking, either with a curing agent or several days of damp-curing.

The "penciling" must be done neatly and straight. A small artist's brush (a "pencil") is used, with a guide-dowel to slide the brush along in a mechanically-straight line. Mills has had someone do this in his entry hall and he may be able to give you some craftsmen's names. I doubt that a regular commercial painter would have the temperament for this sort of painting, but you could give them a try.

Respectfully,

A handwritten signature in dark ink, appearing to read "Harvie P. Jones". The signature is fluid and cursive, with the first name "Harvie" being the most prominent.

Harvie P. Jones, FAIA
HPJ/am

cc: Mills Lane, drawing & letter
H.J., letter
file, letter

JONES & HERRIN

Architecture/Interior Design

August 23, 1991

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, GA. 31401

Re: 1842 Heineman House
Columbia Square
Project No. 91062

Dear Mills:

For your interest, when Ralph uncovered the top of the exterior wall, the evidence is clear that the Heineman House never had a parapet, and its present thin roof cornice is the original condition. The flashings on the chimneys is apparently a higher-than usual roof flashing.

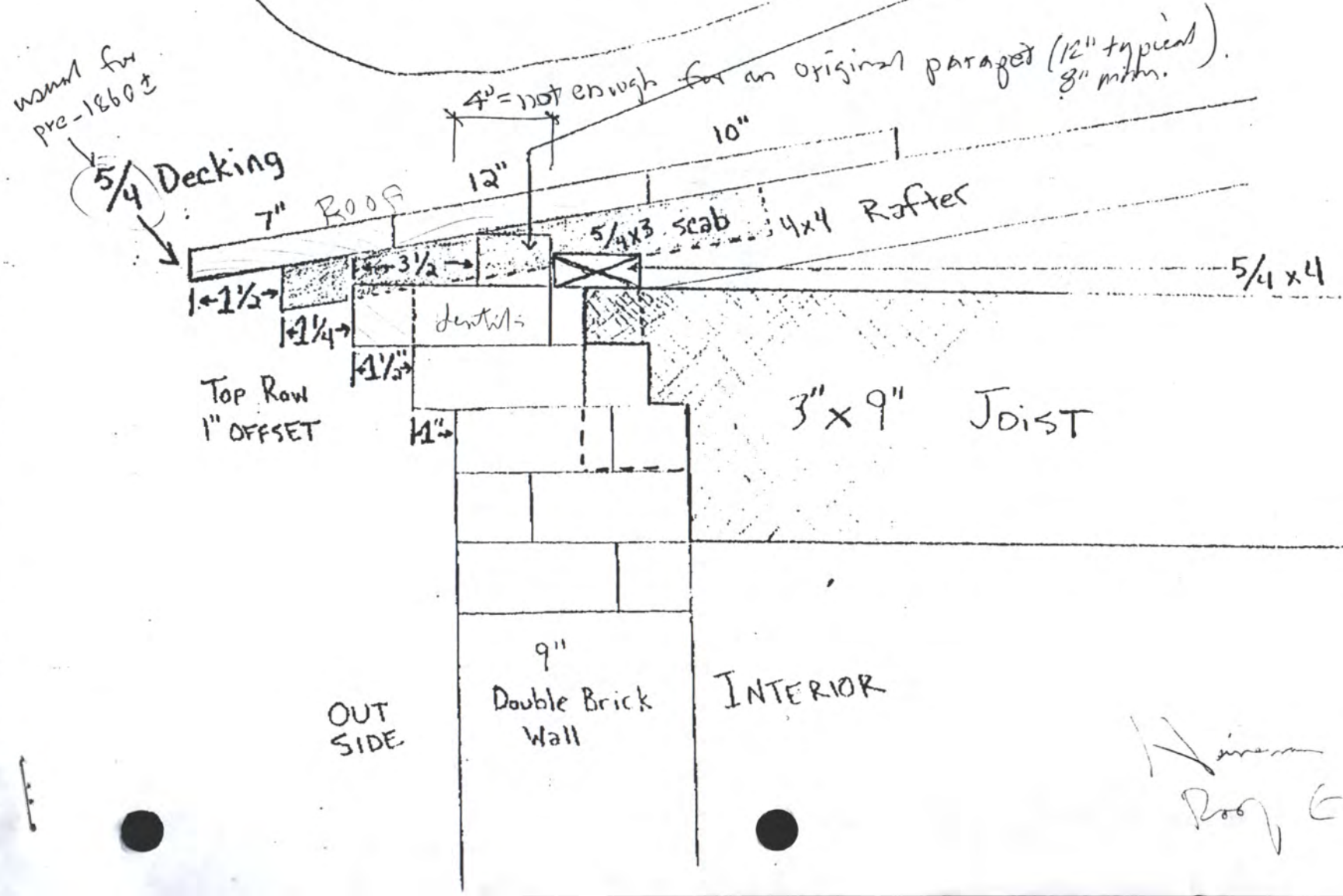
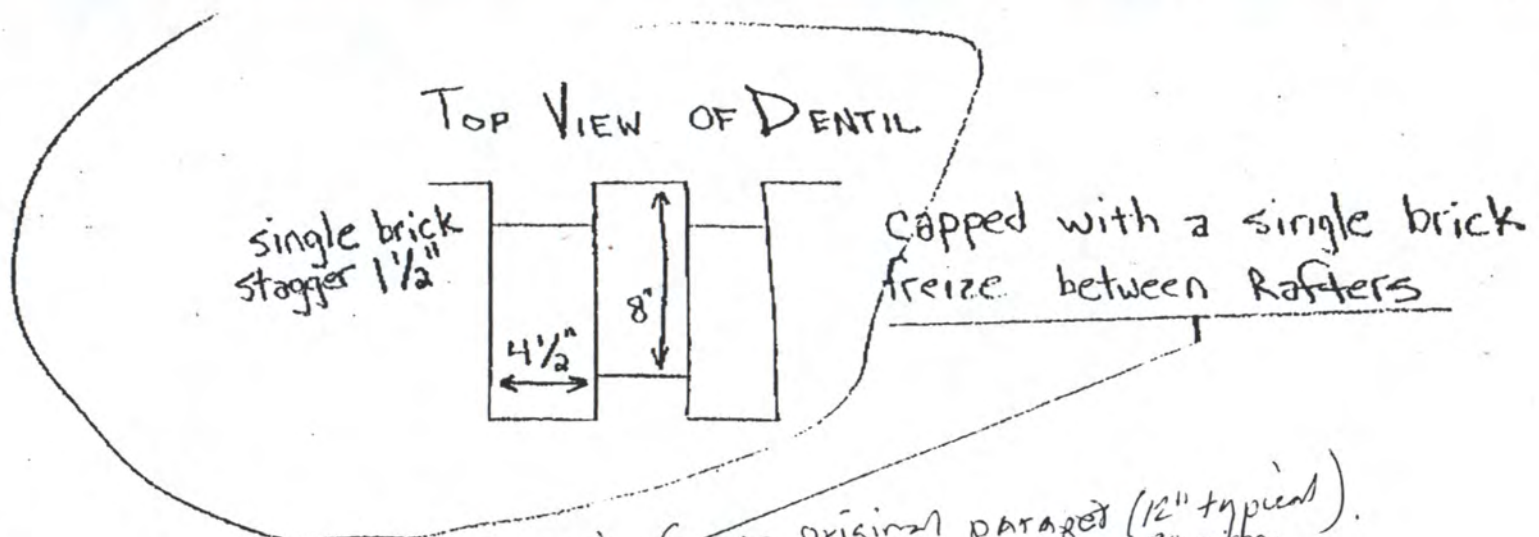
He is proceeding with the parapet as we discussed and as shown on my last elevation sketches.

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

cc: file



*Minimum Use
Roof Care*

John S. Kern, P.E., P.C.

Consulting Engineers, Land Surveyors & Landscape Architects
120 Oglethorpe Professional Court • P.O. Box 15179 • Savannah, Georgia 31416

Office: 912/354-8400

Fax: 912/356-1865

George M. "Pete" Rahn - Vice President
Calvin R. "Rick" Pace, R.L.S., Georgia
Mark D. Crapps, R.L.A., Georgia

June 24, 1991

Mr. Ralph Anderson
J.T. Turner Construction Co.
5105 Paulsen Street
Savannah GA

Subject: Ann Waring Lane
Our Job No. S91130

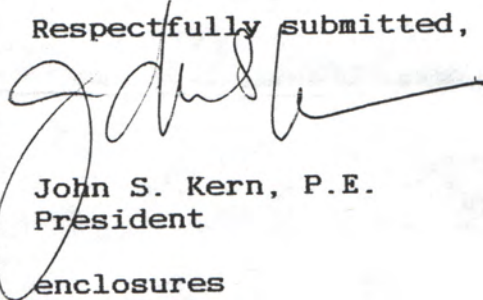
Dear Ralph:

Enclosed is the revised survey on the Lane House.

Please note that our original survey used the subdivision plat. We have now based our revised survey on Barrett's unrecorded survey of February 21, 1990. Barrett's survey controls since pins were found in the ground.

If there is a major concern on this matter I suggest Ms. Lane contact an attorney for his opinion of the lot line.

Respectfully submitted,



John S. Kern, P.E.
President

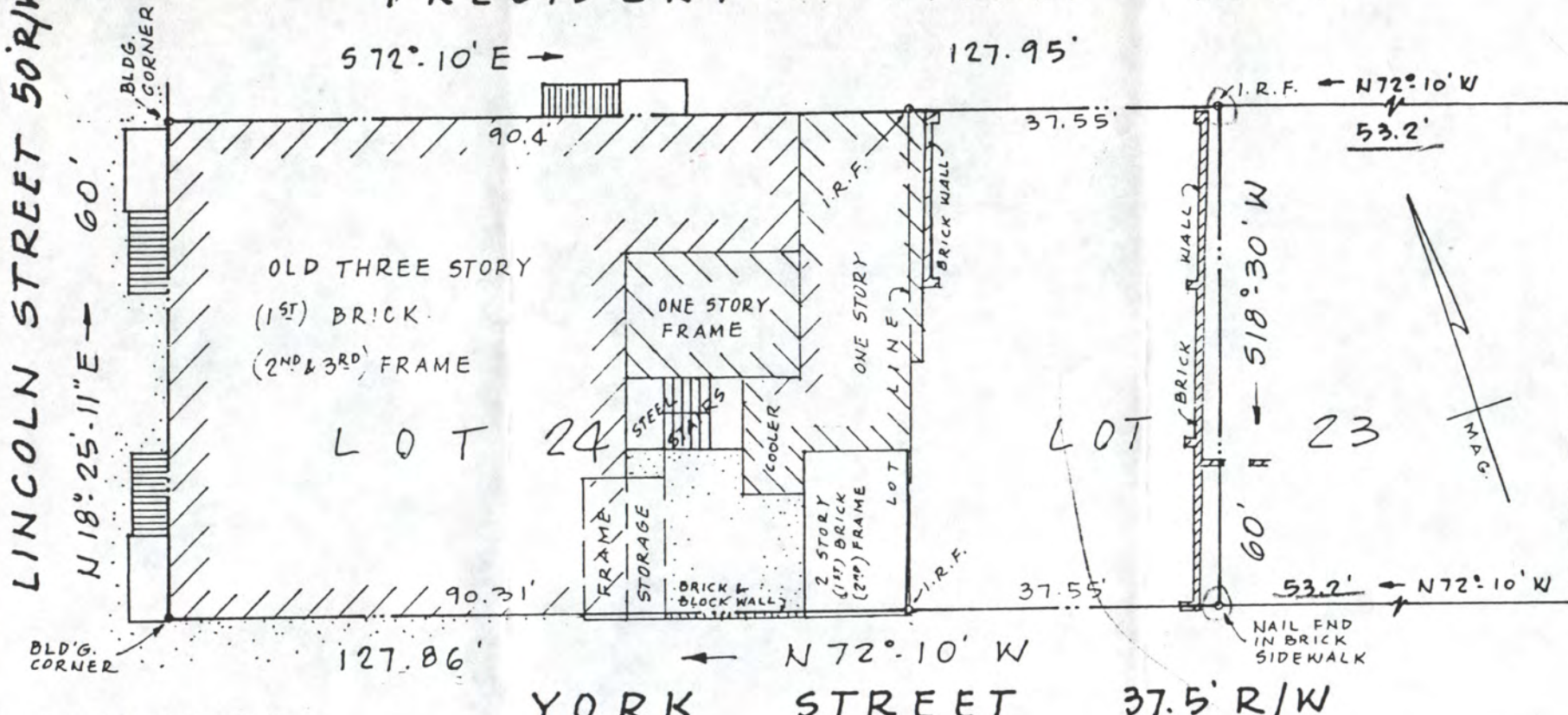
enclosures

JSK/mah

LINCOLN STREET 50'R/W

PRESIDENT STREET 75' R/W

HABERSHAM STREET 75'R/W



STATE OF GEORGIA
CHATHAM COUNTY

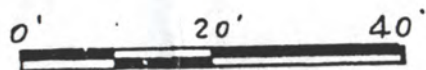
NOTE: THIS PROPERTY IS NOT IN A FLOOD ZONE.

PLAT OF THE WESTERN 37.55' OF LOT 23 & ALL OF LOT 24, COLUMBIA WARD, KNOWN AS NO. 307 EAST PRESIDENT STREET, SAVANNAH.

FOR: RICHARD T. LEHMKUHL

DATE: FEBRUARY 21, 1990

SCALE: 1" = 20'



BARRETT LAND SURVEYING, INC.

SAVANNAH, GEORGIA

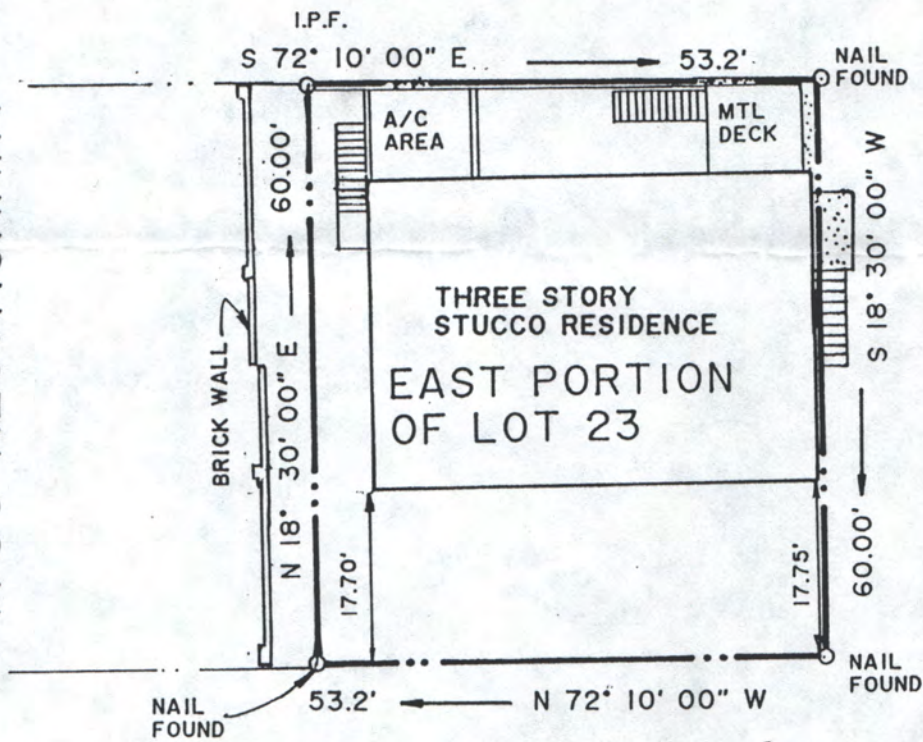
E.O.C. FIELD	—
— ERROR/POINT	—
ADJ. METHOD	—
E.O.C. PLAT	1/ INF.
20" TRANSIT	—
100' TAPE	✓
E.D.M.	—



WEST PORTION OF LOT 23
1790 RESTAURANT

PRESIDENT STREET
75' R/W

HABERSHAM STREET



YORK STREET
32.5' R/W

1"=20'

PLAT OF THE EASTERN PORTION OF LOT 23, COLUMBIA WARD,
CITY OF SAVANNAH, CHATHAM COUNTY, STATE OF GEORGIA.

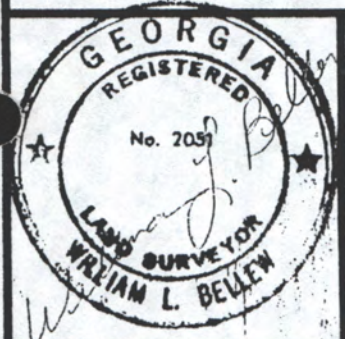
KNOWN AS: 125 HABERSHAM STREET, SAVANNAH, GEORGIA.

SURVEYED FOR: ANN WARING LANE

REFERENCE: SURVEY BY BARRETT LAND SURVEYING, INC. DATED- FEBRUARY 21, 1990

EQUIPMENT USED: LIETZ SET 4
ANGULAR ERROR PER "Δ" = 04"
ADJUSTED BY COMPASS RULE.
LINEAR ERROR OF CLOSURE: 1/35,879

THIS IS TO CERTIFY THAT THE ABOVE
DESCRIBED PROPERTY IS NOT WITHIN
THE 100 YEAR FLOOD BOUNDARY AS
DETERMINED BY FIRM FLOOD INS.
MAPS.



John S. Kern, P.E., P.C.

CONSULTING ENGINEERS AND LAND SURVEYORS
P.O. BOX 15179, SAVANNAH, GEORGIA
120 OGLETHORPE PROFESSIONAL CT.
(912) 354-8400
ASSOCIATE: CALVIN R. PACE, R.L.S.

SCALE: 1"=20'
DATE: 5/24/91
FILE: S91130

JONES & HERRIN

Architecture/Interior Design

August 13, 1991

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, GA. 31401

Re: 1842 Heineman House
Columbia Square
Project No. 91062

Dear Mills:

Attached are two sets of "Plan B" preliminary sketches dated 12 Aug '91 and revised per your annotations of the 10 July "Plan A" drawings received 8 Aug '91. Please review these and let me know of any further changes.

At level two, S. W. room, you noted on one plan to have this a study and on another to make it a bath. I've assumed that the intended note is for a study. This would leave level 2 without a "powder room", however. Please confirm.

It is Ralph Anderson's understanding that you want to smooth-up the 20th century painted stucco, as well as score and pencil -on ashlar joints. We will need to check with an experienced plasterer on the technical feasibility of placing a new layer of stucco over existing paint and old cement-plaster stucco. In talking here with "Roberts Plastering" and "Rainbow Products" they recommend sandblasting to remove the old paint and to roughen the old stucco, then wash off the stucco dust. "Rainbow Products" of Birmingham is to send me a specification on their smooth-texture (not "sand" texture) stucco which contains a curing and elastic mix which they report can be applied as thin as 1/4 - 1/8 inch over the old stucco. "U.S.G. Oriental" is another similar product but quite costly, I understand. I'll pass on the specs and sample to Ralph when I receive them. By copy of this letter I'm requesting Ralph to talk with his most experienced plasterers for their opinion.

I've asked Betty Ann to get me photo copies of the iron grille you mentioned for underneath the stoop.

I don't think we need to extend the chimneys, since the flue-arches in effect do this (see drawings). Since we can't raise the chimney-neck corbels without rebuilding the chimneys (above the roof) it seems more practicable to leave them alone. I've made the parapet 2 feet high (about 8 inches taller than the evidence indicates), or about the same height as the Remstart Row Parapet.

I've placed the condenser -units where their noise will least intrude on the back porch and garden areas.

Ralph is getting us measurements and profiles on the original window-frames he uncovered at the ground floor. The Federal Period sashes at the ground floor were installed later and are smaller than the original frames. It's curious how they came to be here; perhaps it was a 1950's "earlying-up" with salvaged Federal Period sashes. Ralph is also to get measurements and photos on:

1. Level 2 mantel traces on the chimney-breasts (if any).
2. Plaster wall-cornice remnant at the level 2 hall.
3. Traces of trim or columns at the back porches.
4. Investigate whether the elaborate door and transom found reinstalled at the back stair (level 2) appears to be the original front entry. It appears to be much too refined for a back-stair, from Ralph's photo.
5. Confirmation on whether we can build our west garden wall where the present one is, i.e. on the adjoining parking lot, per the surveyor's map.
6. The sash-blinds Ralph found in the attic have mortise, tenon and peg joints, but narrow rails and stiles. My guess is they are Victorian, from the second set of blinds on the house. Unless you decide otherwise, I'd use heavier proportions more like the 1840's blinds I've typically seen.

As soon as I have a response from you and Ralph on the sketches and above questions I can begin work on the exterior restoration details.

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

cc: Ralph Anderson, letter and 1 set plans
HJ, letter
file, letter

attachment: 2 sets of plans



THE BEEHIVE PRESS
321 BARNARD STREET
SAVANNAH, GEORGIA 31401
912 · 236 · 4870

August 3rd 1991

Dear Harvie:

Jim Turner and I reviewed the Heineman House project this morning. He is to proceed now with the roof, restored parapet, windows and structural work associated with the rear porch. Upon my return to Savannah in mid-September we will resolve other details - treatment of the stucco, the entrance stoop and doorway and garden enclosure.

We will tentatively plan the house as a basement apartment and a three-story apartment above that. We will delete the proposed side balcony and turn the existing door into a window. The original stoop will be retained, but a modern enclosure on the front, within brick piers, will be removed. (You can see such a stair on pages 136, 137 and 145 of Savannah Revisited, third edition.)

Instead of a garden wall, I think the existing low basement (apx. 2 feet) should be retained, or rebuilt, as the base for an iron fence, imitating the long vertical rods of the stoop. The side garden is so small - best to ornament the view from outside rather than provide privacy for use.

On the enclosed plan, I have marked my current ideas for interior planning and would appreciate your redrawing these so that I can present them to my mother by September

See HJ sh. 142
12 Aug 91
HJ

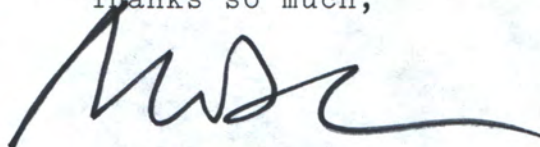
9th. The red markings are my latest thoughts - ignore the others.

To reply to your specific questions of June 10th:

1, Four places are enough; 2, We will replace the brick sidewalk and I am sure we can have space for more greenery - we will work this out, do not concern yourself at this point; 3, concrete is OK for paving of parking area; 4, already answered; 5, we will raise the level of the basement floor as you suggest;

Ralph has found no evidence that the stucco had projecting lintels, so we are planning to repair the stucco without them; we are also increasing the height of the roof parapet by about three brick courses; we hope to pencil joints on the painted stucco for a more striking appearance, perhaps painting the stucco a dark peach or eggplant color, or a dark gray, with cream joints (What are your thoughts?). Ralph could find no evidence that the third story or the rear cabinet rooms were additions.

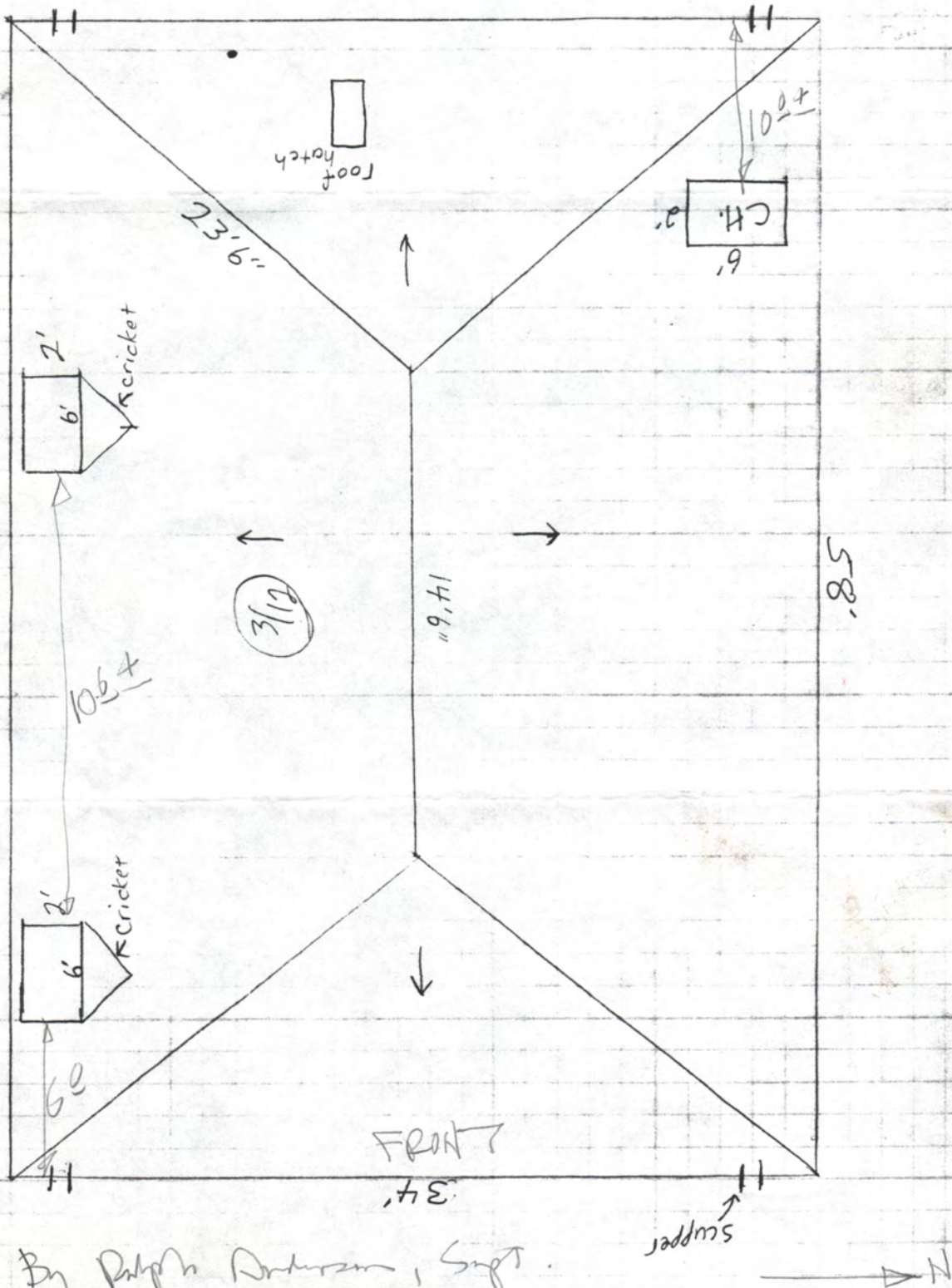
Thanks so much,

A handwritten signature in black ink, appearing to read 'Mills Lane', written in a cursive style.

Mills Lane

Copies to Irma Glover, Jim Turner, Anne Rockwell
and file

3 ply Hot tar or
Tin Roof under Roof Builup.



By Ralph Anderson, Supt.
Aug '91

APPROX OF LON

125 Habersham

22-141 50 SHEETS
22-142 100 SHEETS
22-144 200 SHEETS

Called
Ralph Anderson

Fri PMs - Aug. 9

Anderson - 9 Aug - RA photo notes

1. NEED: Profile of closing of : Level 2 wall-carved fragment (ph 32)

Original entry door of Terrace
(photo 34)

2. photo 43 - blind.

Narrow rails of stone. d grass/ice

3. ph. 51



→ jute ash (not "rammed")

4. Mould traces at level 2 (Parlor)? Dims?

5. Col. " " bark peels? Rail?

6. level 1 window-casing signs?

7. Plots of base fragment across space?

356-5615

Polyn Andersen (tel) Jun 18-'91

① Bumbalo invest. at Naaneman?

(A) motel at grade floor?

(B) traces of back porch?

(C) " of window lintels?

(D) granite step cond.?

(E) entry iron rail - age?

(F) temporary A.C. ? (John Pieter)

(G) Were small rear rms. added? (lt. in bricks?)

(H) Photos of hse diagonally across the Sq.?

(I) " " wanted traces at level 1+2, + measure.

(J) # survey?

2. Mills Lane back porch?

3. Anna Lane hse:

- (a) Moved plant. vent to rear? (yes)

- (b) Status? 95%

- (c) Porch ~~etc~~ color?

- (d) Paint colors?

- (e) Total cost?

• Impfm - owner revisions

in
memo
to g
June 18-'91

rec'd
8 Aug 91

JONES & HERRIN

Architecture/Interior Design

June 10, 1991

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, GA. 31401

Re: 1842 Heineman House
Columbia Square
Project No. 91062

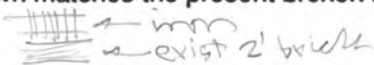
Dear Mills:

Under separate cover I'm sending to John Rieter for the Architectural Design Review Board 13 requested copies of the restored exterior elevation preliminary sketches dated 10 June '91, or sheets 1 and 2 of the 4 sheets attached.

I have also sent by this mailing to you, John and Ralph one set each of the 4 sheets dated 10 June '91. Each set consists of scaled preliminary "Plan A" sketches of the existing floor plans, the restored elevations and site, and a possible "Plan A" interior arrangement.

We need to settle ^{are} on the interior plan now even though this is to be a later construction phase because there ~~were~~ numerous exterior wall openings and site considerations that are determined by the interior plan. This is particularly true of levels 1 and 2 and somewhat true of levels 3 and 4 (at the rear porches.)

Some questions:

1. OK 4 parking spaces are shown. Is this enough or too much?
2. *Yes for ML* Will the City allow us to repave the machine-screeded brick walks with woodmould bricks? Can we make the walks more narrow (about 6 feet) along Habersham and President Streets to allow more greenery? Or do you want to do either of these things?
3. What paving material do you prefer for the parking area? Woodmould brick is attractive, but costs more than concrete. LOK
4. Do you want the +/- 7 foot garden walls shown at York, President, and the rear? The design shown matches the present broken brick wall. These can be wood fences if you prefer.  *exist 2' brick*
5. Please study the preliminary reuse plan "A" and let me know of desired changes or studies of other possibilities.
 - a. *raise ML* The ground floor is shown raised back up to its original level, which produces an original ceiling height of about 7 feet. I think there will be a moisture problem

See ML letter 3/10/91

around the bottom of the walls if we don't do this. The ceilings at the c.1810 house are just under 7 feet at the ground floor.

- b. I was concerned about how to work in air ducts unobtrusively, but I believe we have done so. There are no duct intrusions at all on the principal floors (levels 2 and 3) and minimal and inconspicuous wall furring on levels 1 and 4. See the "HVAC Section" on Sheet 4, and the "restored" plans on the same sheet. No ceilings are lowered for ducts. *See ML sketch*
- c. At levels 3 and 4 the N.W. rooms are shown as dressing rooms for the S.W. bedrooms. If you prefer, the bedrooms could have wardrobes and thus preserve the small N.W. rooms for some other purpose.
- d. No "powder room" is shown on level 2!
- e. The rear stair is shown to be retained because we have no inside access to this space. It would be a convenience in getting to the parking area from levels 3 and 4, or as a fire escape. What are your thoughts? *ok*

6. Please see previous correspondence for other questions.

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

cc: Ralph Anderson, Turner Construction
John Rieter, Architect
HJ
file

attachments

JONES & HERRIN

Architecture/Interior Design

June 27, 1991

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, GA. 31401

Re: 1842 Heineman House
Columbia Square
Project No. 91062

Dear Mills:

Ralph mentioned you were considering dividing the Heineman House into two units of two levels each. This would be less of a restoration but would probably be easier to lease. If so, I think the best way to do it would be to have the entry to the two uppermost levels (3 and 4) at the N.E. side door and develop a stoop there. The stair would be separated from the level 2 entry hall in a similar but better manner than at present. In this arrangement the rear stair should probably be retained as a fire-escape route.

Esthetically and historically I'd prefer to keep levels 2, 3 and 4 as one unit, but this will make a large upper unit and would take a special type of tenant.

I have just received my Georgia architectural registration number and so will be sending trial sketches on the Ships of the Sea within a day or so. Registration is required for work on public buildings such as a museum.

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

cc: HJ
file

JONES & HERRIN

Architecture/Interior Design

30 June '91 Harvie P. Jones, F.A.I.A.
to Mr. Mills Lane
Sumner
re Heineman 174 91062

Dear Mr. Mills —

Please note on the
attached survey that
the back yard of the
Heineman house is
only about 6 1/2 feet
wide. The existing brick
wall is several feet over
on the next lot, which
means we have no legal
right to modify it. Can
we do something about this?
Hj

C-Turner Court
Polypz Antik
f/No, HJ

104 Jefferson Street
Huntsville, Alabama 35801
Telephone 205/539-0764

JONES & HERRIN

Architecture/Interior Design

June 27, 1991

Ball & Ball
463 W. Lincoln Highway
Exton, PA. 19341

Re: 1842 Heinemen House Restoration
Savannah, GA. 91062

Gentlemen:

Attached is a closeup photo of the brass trademark seal on the rimlocks in the 1842 Heinemen House, currently beginning restoration by our firm, in Savannah, Ga.

The seal reads "Pendulum Latch" on top and a name that may be "J.Young, Patentee" on the bottom. A circular coat of arms with adjoining floral/animal figures (not clear) is in the center.

We would greatly appreciate it if you could shed any light on this lock-maker.

Do you have a reproduction lock that is similar to this? We will be needing about 15.

Ball & Ball is currently furnishing hardware for three c.1810 houses on Habersham Street nearby, that this firm is restoring, and you have furnished hardware for many of our restoration projects in past years.

Thanks!



Harvie P. Jones, FAIA
HPJ/am

cc: file
HJ

Mims Lane - Savannah
31 April '91 120

① ALHses -

get info to write on

(A) postcard col. boxes (no models, plants only)

(B) Detail quadrat hooks at sashes (hook up in B/B) hold up, ± 12" above sill are on ext. at Hiram

② Inf M Hse -

Plan keys to John Pieter



③ Hiram

A. ml to card col. of balcony photo - ASK FOR

B. Use direction steps.

C. Contr. masonry steps & steps & ck. type of wood.

Reply?



JONES & HERRIN

Architecture/Interior Design

June 5, 1991

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, GA. 31401

Re: 1842 Heineman House
Columbia Square
Project No. 91062

Dear Mills:

1. In plotting the elevations of the Heineman House. I realized that the fact that the window and door lintels are obliterated by the modern stucco greatly harms the appearance of the house. It would be extremely costly to remove the modern stucco, but we could at least redo the stucco with a perimeter joint, and perhaps a 1 inch outset, plus a different paint color, to visually express the lintels.

By copy of this letter I'm requesting Ralph Anderson to do enough chipping above one of the north second-level windows to determine the lintel size, shape, and for interest, the material.

2. A lessening of the wall thickness from 16 inches to 12 inches of the small rear rooms could indicate that these were added, although the presence of a jack-planed beaded 5/4 inch x 12 inch vertical plank wall at the back stair, plus the back stair details, seem to indicate the addition must have been fairly early if it was such. The 1851 map and 1871 birds-eye view also don't show the rear rooms, but neither does the "view" show 4 floors, while the evidence so far seems compelling that the fourth level is original.

For interest, I'm asking Ralph Anderson to see if there is a vertical joint in the brick between the main house and the rear rooms, as well as to look for clues as to the rear porch columns, balustrade, floor, architrave, etc. I'm sure at least some will become evident when he removes the modern material.

Do you think the rear porch columns would be square? I would think so, of a simple Tuscan type.

3. I will need answers to my letter of questions of May 2 before I can complete the exterior restoration plans.

4. I've roughed-out to scale the existing plans in order to be able to accurately plot the elevations and will send copies to you and Ralph for possible aid in planning the first and second phase work.

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

cc: Ralph Anderson, Turner construction

file

JONES & HERRIN


Architecture/Interior Design

June 5 '90 Harvie P. Jones, F.A.I.A

Mims Lane

10 Heineman HSE

Dear Mims —

All the ironwork at the entry stoop looks hand-wrought. One space has swirling volutes  (see photo)

Perhaps all spaces had them, or alternating spaces. We could put them back.

The little brass finials look 1950-60 to me. We can remove them.

Herrin

104 Jefferson Street
Huntsville, Alabama 35801
Telephone 205/539-0764
Fax 205/534-2289

JONES & HERRIN

Architecture/Interior Design

June 5 '91 Harvie P. Jones, F.A.I.A.
to Turner Const. - Savannah
Ralph Anderson

re 1842 Heinenman Hse
Ralph - I noticed that the
house ~~directly~~ ^{diagonally} opposite the
Heinenman house has an interest
paragon like the H - house
once had, & I took a telephoto
of it.

Please take photos of this
house's starg, front door,
windows & any other points
of interest (include closings).
They may offer some clues.
See if you can date the
house. Thanks - H

C-ML (letter)
~~PA (1)~~

104 Jefferson Street
Huntsville, Alabama 35801
Telephone 205/539-0764
Fax 205/534-2289

JONES & HERRIN

Architecture/Interior Design

June 6, 1991

Robinson Iron
Attn: John Allen
P.O. Box 1119
Alexander City, Al. 35010

Re: 1842 Heineman House Restoration
Savannah, Georgia
Project No. 91062

Dear Mr. Allen:

Attached is a photograph of a similar house to the subject one, and a sketch of a possible wrought steel bracket to substitute for a cast iron one as shown in the photo. The brackets could be spaced as close as 3 feet on centers. These shown are not actually supporting the balconies because there appears to be only one for the long lower floor balcony. Ours would be actual supports. The balcony will project 6 feet and run about 12 feet along the wall.

Ideally you would have a cast scroll bracket pattern that is suitable (not too lacy). Please let me know your possibilities.

Thanks!

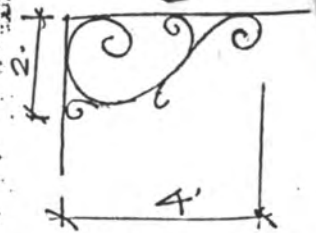
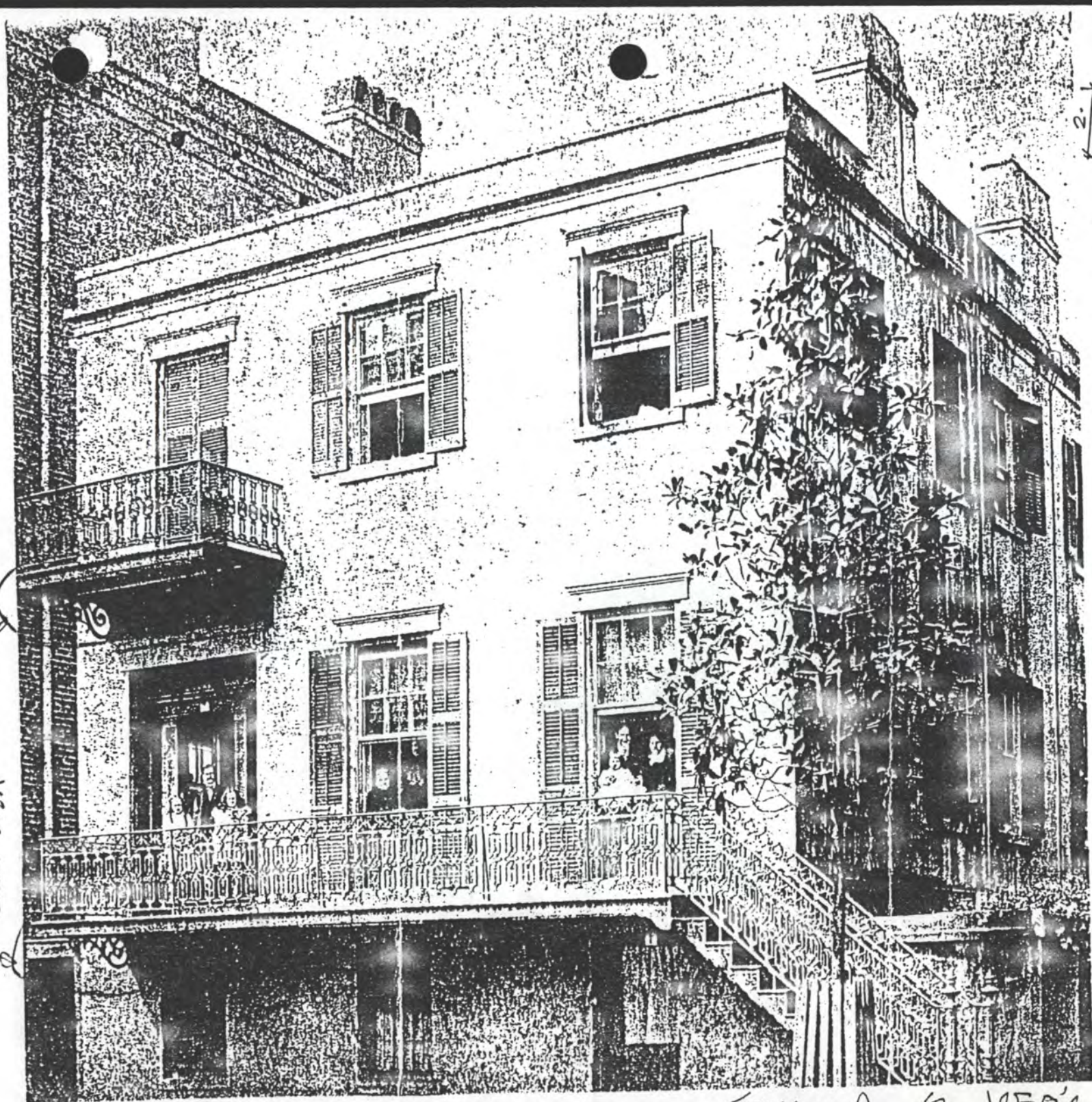


Harvie P. Jones, FAIA
HPJ/am

cc: Mills Lane, letter

file, letter & photo copy

± 16" d. s. f. r.
Cast iron



OPTION:
WROUGHT STEEL
3/4" x 2 1/2" BW
stock

Swanwick, Ga. 1850's house

JONES & HERRIN

Architecture/Interior Design

MISS LEWIS
(HUNTSVILLE, 91062)

Harvie P. Jones, F.A.I.A.

June 5 '91

M.M. —

The Ok. Bar. house
photos you sent
has balconies & stair
like this. If you like,
we could use this on
the BALCONY steps
(no tie return)

MJ

104 Jefferson Street
Huntsville, Alabama 35801
Telephone 205/539-0764
Fax 205/534-2289

Instructions for the Assembly of the Kensington Straight Staircase

Stairs are supplied in kit form comprising treads, risers, side panels, steel channels (if required) and nuts and bolts.

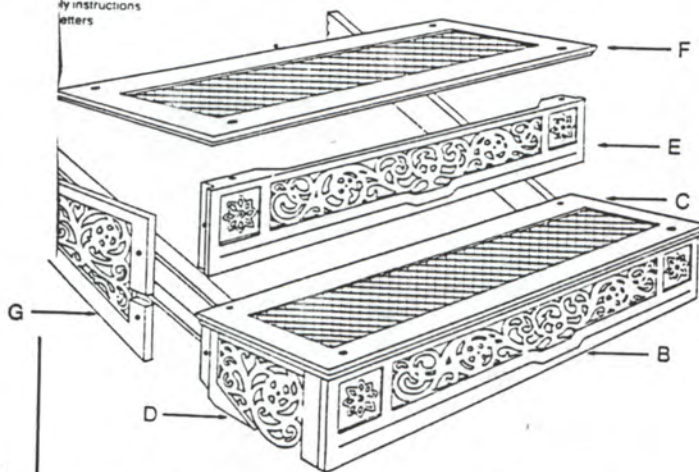
1. Measure accurately the total height of the staircase from lower to upper level. To determine the number of risers, divide the total height by 7 7/8 in. (19.5cm).
2. (If required) locate and install parallel channels. (A.)
3. Secure 1st riser panel (B) in front of base of channels.
4. Place 1st tread panel (C) in position on channels aligning back edge holes with channel brackets and front edge holes with 1st riser panel. Bolt together.
5. Slide bottom step side panels (D), left and right into place and secure.
6. Continue sequence up the staircase.

SPECIFICATIONS:

Width of tread: 91.5cm/36 in.
Weight of complete rise: 48 kgs/106 lbs.
Weight of single side panel: 4.87 kgs/10.7 lbs.
Height of rise: 19.5cm/7 7/8 in.
Running tread: 25.4cm/10 in.
Material: Cast iron
Finish: Black rust-preventative paint

A-Parallel Channels
B-1st Riser Panel
C-1st Tread Panel
D-Bottom Step Side Panels
E-Riser Panel
F-Tread Panel
G-Right Side Panel

STAIRCASE MODULAR
Side Panel (left, right)
Individual castings permit
assembly
by instructions
letters



Currently available



JONES & HERRIN

Architecture/Interior Design

May 2, 1991

Mills Lane
70 West 69th Street
New York, N.Y. 10023

Re: ^{Hei} 1842 Hieneman House
Columbia Square
Project No. 91062

Dear Mills:

1. I received today the two Greek Revival house photos that have long, narrow porches.

All of the long, narrow bracketed side-porches I recall there are on houses with multiple walk-through windows spaced along the length of the porch. Unless you have a precedent that fits the Hieneman House (no tall windows, only one door at the end of the porch side) it would appear that a more squarish Greek Revival style porch would be in order. Perhaps similar to the upper balcony 3-bay house you sent. Let me know your choice.
2. Ralph Anderson should carefully remove all the mid-20th century interior modifications at levels 1 and 2, taking care to observe and preserve any 1842 work, or traces or scraps thereof, such as level 1 and 2 mantel outlines, bases, door and sash trim, etc. I will need measurements and photos of these for future detailing of the interior work.
3. Also, Ralph should clean the stucco and paint off of portions of the stone entry stoop floor and steps and the stone belt-course so we can ascertain the materials and their conditions. If the granite steps are badly deteriorated, we will change to limestone, with moulded nosings similar to Remstart Row.
4. Enough of the back-porch modern enclosure should be removed to look for traces of the original back porch pilasters, columns and balustrade. Notes, dimensions and photos of same should be sent to me for incorporation in the exterior restoration plans.
5. Will the east side parking remain? Could we reduce it to two cars in order to obtain some planting on this side? Can we repave it with brick?
6. The rear courtyard wall has been destroyed by the trees. Should it be rebuilt in brick or wood?
7. The location of the rear property line must be established by a surveyor before the wall or fence is rebuilt. I need the dimensions from the rear property line to the house.

8. While the wet weather is still with us, have Ralph check for moisture at level 1 below the soil line (the floors had been lowered in the 20th century to about 15 inches below the exterior soil).

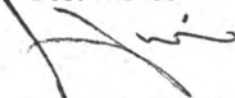
I'd be surprised if moisture is not coming into level 1 at this condition. I don't know of any sure way of stopping it, if so. This would require a choice from you of gambling with "basement water proofing" coatings applied to the interior of the masonry, or raising the floor back up to its original level, at grade, leaving a ceiling height of about 7 feet, per its 1842 height. For comparison, the ceiling at the North House is about 6 feet 10 inches, and seems workable. I suggest raising the floor to its original level.

9. You will have a person knowledgeable of ironwork check the balustrade at the entry stoop to see if it is of the Greek Revival period. Also ask about the brass finials at the balustrade corner-posts. If the balustrade is not Greek Revival, we will detail one similar to Remstart Row. This same ironwork person should examine the cooking crane in the ground-floor S.E. kitchen to see if it is original or a c.1960 modern reproduction.
10. John Rieter will work with Turner on the temporary air conditioning to protect your stored books etc. The ducts can be hung within the spaces and run through doors etc. in preference to chopping through any original walls.
11. I will draw to scale the existing plans and elevations based on my 8 sheets of on-site dimensions and notes, and my approximately 250 photographs of the existing conditions and similar intact houses such as Remstart Row.
12. I will per our discussions on 29 April and based on the answers to the above questions, detail the exterior restoration only, at the time. The interior detailing will be done when you decide to proceed with that phase. ^{this}

John Rieter will work with us on the required Historic District Architectural Review.

Please let me know of any changes to the above, and your decisions on items 1,5,6,8, and 9. It will be a pleasure to assist you in bringing this abused house back to life.

Best Wishes!



Harvie P. Jones, FAIA
HPJ/am

cc: Ralph Anderson, Turner construction
John Rieter, Architect
HJ
file

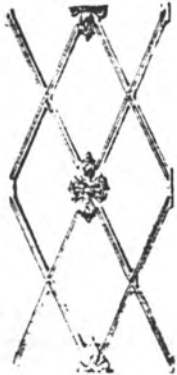
This is more alike to
the ~~Wierman~~ house
condition



This seems the most "Grade" OK?

Rail Designs

TRADITIONAL



No. 6301 DF
10" W. - 22 1/4" H.
(9 lbs.)



No. 6302 SBO
7" W. - 28 1/2" H.
(13 lbs.)



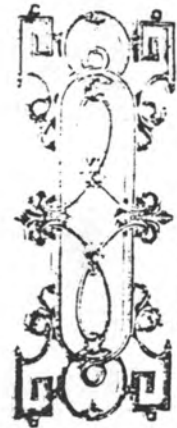
No. 6303 DF
6 1/2" W. - 27 1/2" H.
(7.8 lbs.)



No. 6304 DF
7 3/8" W. - 28 3/4" H.
(9.5 lbs.)



No. 6305 DF
7" W. - 25 1/2" H.
(14.3 lbs.)



No. 6306 SBO
11 1/4" W. - 28 1/4" H.
(15.5 lbs.)

Tennessee
Frosty
1800-258-4766
Lawley + Mack
Bham
205-595-0597



No. 6307 DF
7" W. - 28" H.
(7.3 lbs.)



No. 6308 DF
7" W. - 28 1/2" H.
(10 lbs.)



No. 6309 DF
10" W. - 26 1/2" H.
(10 lbs.)



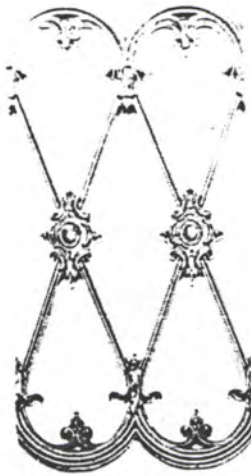
No. 6310 SBO
8 7/8" W. - 28 1/4" H.
(10 lbs.)



No. 6311 SBO
11 1/4" W. - 28" H.
(16.8 lbs.)



No. 6312 SBO
11 3/8" W. - 28 1/2" H.
(16.3 lbs.)



No. 6313 SBO
14 1/2" W. - 29" H.
(14.5 lbs.)



No. 6314 SBO
11 3/4" W. - 29" H.
(14.3 lbs.)



No. 6315 SBO
11 1/4" W. - 26 1/4" H.
(11 lbs.)

Fairmont Foundry Company, Inc.

Mills B. Lane

Taking 'Honest Look' at State

By JANE FISHMAN
Staff Writer

Of Mills B. Lane IV, historian and community leader, W.W. Law says, "He's brilliant. He's a scholar. He and his family have had a love affair with Savannah."

Of W.W. Law, historian and book publisher, Lane says, "He's one of Beehive Press' biggest fans. He's read practically everything we've ever put out."



Lane

Lane, at Law's invitation, will speak today at the Beach Institute African American Cultural Center on Price Street. His talk, "An Honest Look at Georgia History," is open free to the public. It begins at 3 p.m.

"I'll talk basically about the glories and warts and pimples of our past," Lane said, "which is basically the story of a failure to create an agrarian ideal."

Georgia founder Gen. James Oglethorpe wanted to establish a haven for poor and persecuted people, Lane said.

"He wanted to set them up in farms so they could earn their own living."

The ideal was frustrated, Lane said, by the Spanish invasion and the military occupation, the expansion of slavery and large plantations, the Civil War, the boll weevil and the collapse of Southern agriculture.

Lane plans to accompany his talk with photographs that show "how Georgia really lived," he said.

As the founder and sole proprietor of Beehive Press, Lane has published 50 books in 20 years about the cultural and social history of the South.

Eight of the books are part of his "Architecture of the South" series. They include Georgia, South Carolina, North Carolina, Virginia, Maryland, Kentucky, Tennessee and Mississippi, and Alabama and Louisiana.

Born in Georgia, Lane, 49, received a degree in history from Harvard University. He is the grandson of the man who started Citizens and Southern Bank, now known as NationsBank. His father was the president of the bank and a renowned civic leader.

"The Lanes are very private people," Law said. "Much of their contributions to Savannah have been anonymous. But I can tell you, they've been a godsend."

"I've always wanted Mills Lane to come to speak," he said. "Most of the black people of Savannah have never heard him. They know him as a name, not a man. There's a real need for exposure to see what others are thinking. I would hope this is not the last lecture he gives here."

History

Continued From Page 1C

Lane started the Beehive Press in the basement of his Pulaski Square house. Lately, the Beehive Foundation has revived the Beehive Press, reprinting 12 of its earlier books and producing three new books. One is a documented history of the Civil War, and the two others are plantation journals.

"The South and Savannah are really at a crucial moment in their history," Lane said. "For the longest time, we had an inferiority complex. We were perceived to be poor, backward and rife with social problems. We felt outside the American dream."

"But in the last 20 years, with

Vietnam, Watergate, Iran-Contra, rising Japanese production and our own economic problems, Americans have come to realize our history has a darker side," he said. "Now we are going to have to come to terms with the tragedy of our history as well as the glory."

"But if we can forgive ourselves and others we will be more at peace with ourselves and the world."

Lane, who divides his time between New York and Savannah, thinks people from the outside are entranced by the South.

"Southerners have something Yankees don't have - charm, manners, courtesy," he said. "We - blacks and whites alike - make people feel comfortable. It's a cliché but true that people in the North like blacks in theory but not face to face, while the opposite is true in the South."



THE BEEHIVE FOUNDATION
 321 BARNARD STREET
 SAVANNAH, GEORGIA 31401
 912 • 236 • 4870

1842 Heineman Hse, Savannah
 (Mills Lane)
 125 Habersham St.

NOTES &
 CORRESP.

March 24th 1991

Dear Harvie:

Ask Ralph Anderson to get you a key to the new-old brick house on Habersham Street for your visit. I will not get to Savannah till a few hours before you, and you can mention your need for the key when you next speak with Ralph on the phone.

I will have a xerox of the 1871 (Note: 1871) bird's-eye view of Savannah for you while you are in town. I would like to visit the brick house with you on Saturday morning and also stroll with you and Stephanie (of Historic Savannah Foundation, not Savannah Historical Society - no such bird) on Monday morning. Thank you for starting this project as a gift. You are a prince.

The brick house was built in 1842 for Frederick Heineman. The third story does not appear in the 1871 bird's-eye view. I would remove the third story and recreate the typical parapet wall with denticulated cornice seen on other Savannah houses of the period. As my mother has so wisely suggested, I would add a cast-iron balcony along the north side of the first (parlor) story, overlooking a small side garden. The house is utterly ordinary except for an unusual stair arrangement.

Your admirer,

April 30-91
 All field obs.
 so far indicates
 top fl. (4th)
 is original
 not withstanding
 the two
 Birds-Eye Views
 H Jones

Savannah

JONES & HERRIN

Architecture/Interior Design

March 21, 1991

Mills Lane
70 West 69th Street
New York, NY 10023

Re: Beehive Press Foundation
Infill House
W. Harris and Barnard Streets
Savannah, Georgia
Project No. 90024

Dear Mills:

I plan to arrive in Savannah, per our recent telephone discussion, about noon of April 26, Friday. I'll visit with Ralph Anderson on Friday afternoon at the Habersham Street houses. Either late Friday afternoon (3:30 or later) I can look at the brick c.1840's house with you, or we can do this Saturday A.M. if you prefer. Let me know. On Saturday I will study and photograph the brick house. Can you get me a copy of the part of the 1891 bird's eye view that shows this house? If not, I'll go by the Georgia Historical Society Saturday or Monday and copy it.

On Sunday I'll finish up at the 1840's house and study and photograph Bull Street.

Monday April 19 I am to meet Stephanie Churchill of the Savannah Historical Society regarding the Bull Street restorations at 10:30 A.M. at the hotel. I'll count Monday as a vacation day and not charge for it, nor for some conceptual sketches to help convey the idea and possibilities to those involved.

We have done several such downtown renovation conceptual studies: Eutaw (Al.), Scottsboro, Huntsville and Eufaula (Al.). A technique which is effective and quick is to trace over a photo the proposed changes so that those involved can see an apples-to-apples side-by-side comparison of the existing view and the proposed view with revisions, from the same prespective viewpoint. Such sketches can usually be done in 1/2 to 1 hour each.

Eventually you will probably need a full professional team of landscape architect (one who knows pavings etc. as well as plants), civil engineer, electrical engineer and possibly a plumbing engineer, depending on scope and circumstances. We can jointly decide later if it makes sense for me to help in the execution phase. I appreciate your asking and would like to help.

I'll leave Savannah Monday April 29 about 8:00 P.M. I'll stay at the DeSoto Hilton.

I will need a key to the brick house for Sunday so I can complete work begun on Saturday. I may as well take all the photos I will eventually need while I'm there. If I have time I'll try to get some measurements as well, although I'll probably need some help from Turner or John Rieter on this before any details are done.

Please send any historical information you have on the brick house, and photos of ones whose roof lines and details may have been similar to the now-altered brick house.

I look forward to meeting with you and Ralph Anderson and viewing the progress.

Respectfully,

A handwritten signature in black ink, appearing to read 'Harvie P. Jones', with a long, sweeping underline.

Harvie P. Jones, FAIA
HPJ/am

cc: file

1871
VIEW OF
SAVANNAH
G.D.

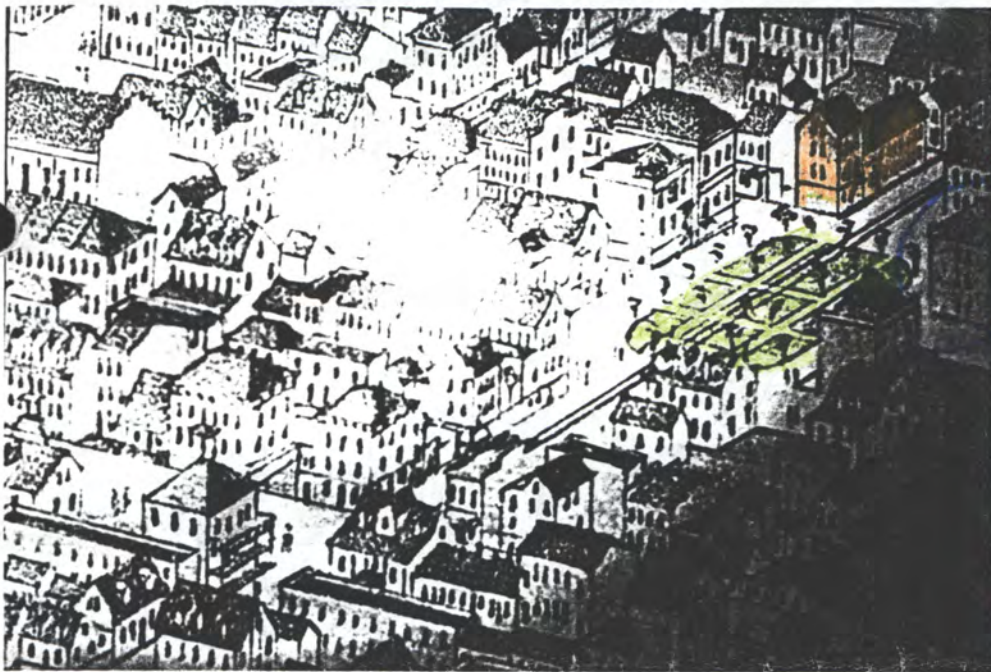
3rd C. 1880
Roster. 1990-91

1842 ALLEGAND
HIST

Norfolk

HIST.
BACKGRND

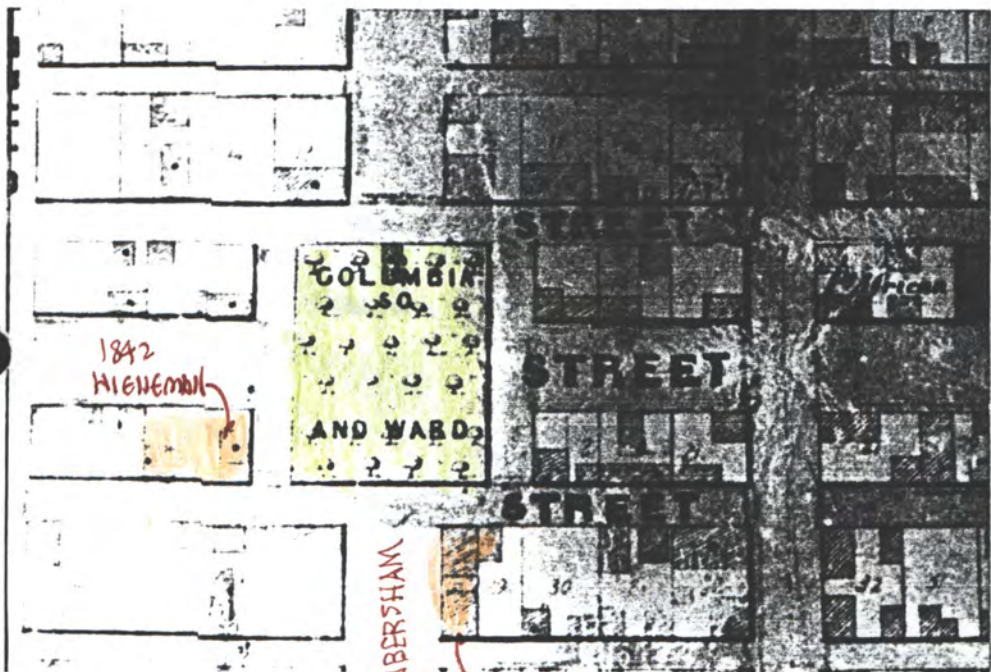




→ THESE EDGES (AS CENING)
 → HABERSHAM ST.
 → ANNE LANE HSES (c. 1810)
 → YORK ST.
 → 1842 HENNINGMAN HSE
 → COLUMBIA SQ
 → PRESIDENT ST.

N
 + RIVER

1891 BIRDS' EYE VIEW

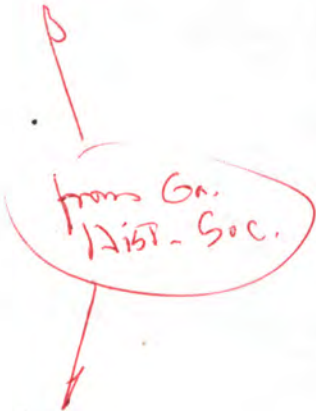


YORK ST.

HABERSHAM

c. 1810 HSES

N + RIVER



1855 'ANCIENT' ROAD

Mills — is the c. 1840 brick house
 on these? If so I want here
 to go back to the G.W.S.

go

Fin
 20 Mar '91



3 ex. c. 1810 hses, restored 1990-91 AD
 THESE ELDERS (AT CENGR)
 HABERSHAM ST.
 YORK ST.
 1842 Heineman Lise
 COLUMBIA SQ.
 PRESIDENT ST.
 N. RIVER

1871 BIRDS' EYE VIEW



PRESID. ST.
 YORK ST.

N. RIVER

1853 "VINCENT" MAP

HABERSHAM
 c. 1810 hses (3)
 restored 1990-91
 J & W Arch. LLC
 1842
 Heineman Lise
 note no porches
 on N. side of rear
 Not
 yr

19th cent. view

SAVANNAH REVISITED HISTORY & ARCHITECTURE



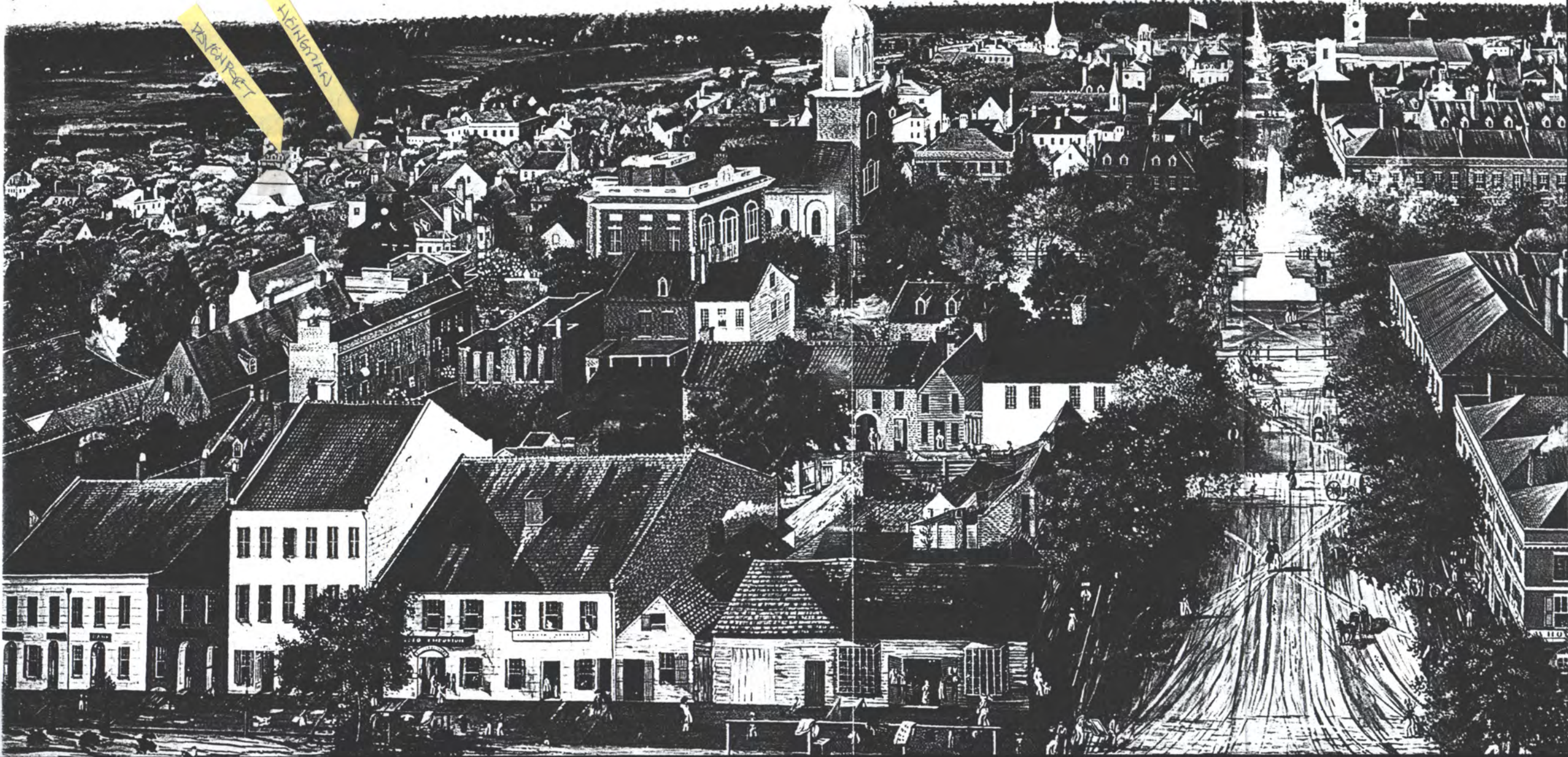
HENRY

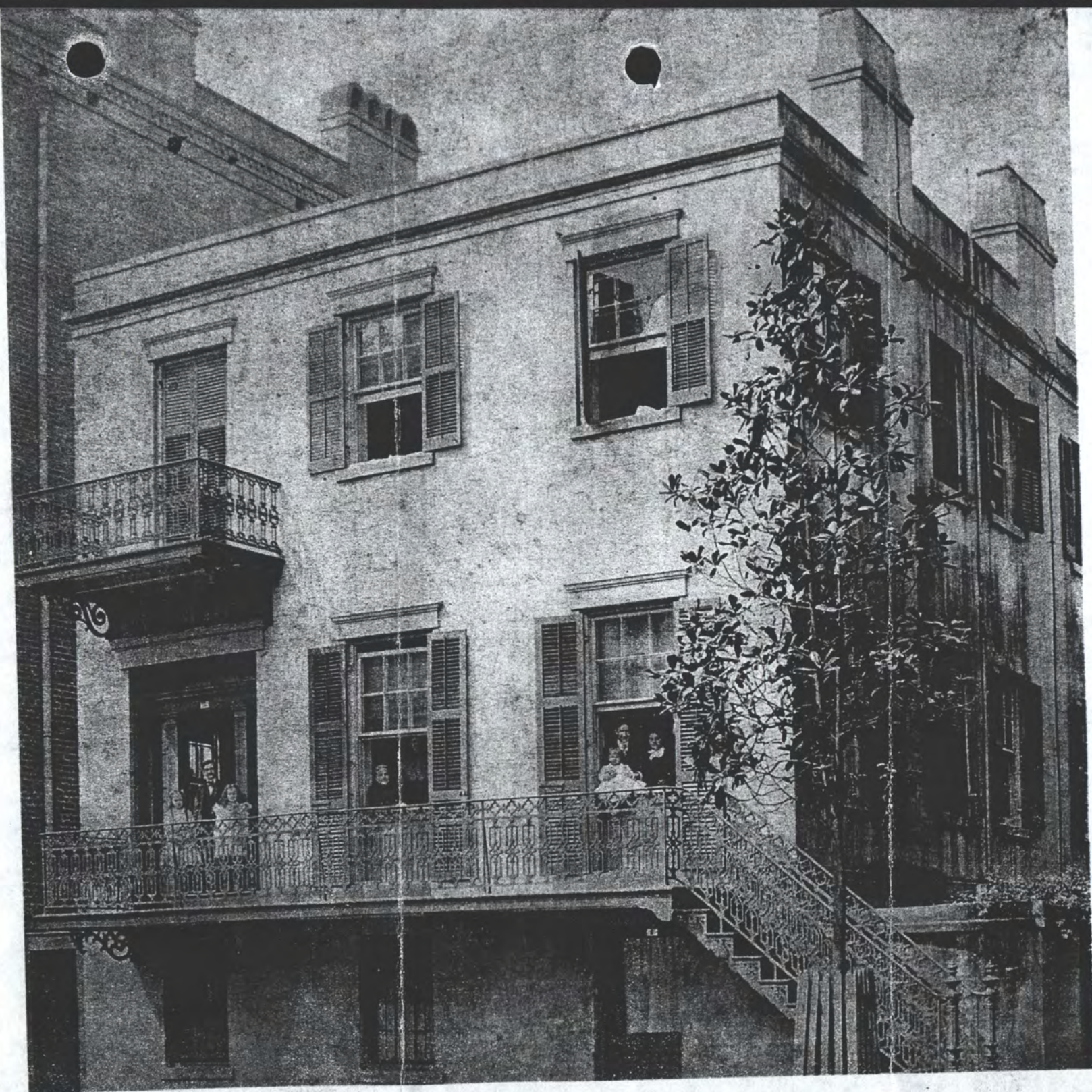
HIS

19th c. view of Savannah

Bill St

MARKET
HENRY





Ok. Rev.
Swann
(P. 12)



Ole Res.
Sommers
(parch)

Houses of Mary Marshall, 127-29 Abercorn Street, 1859.



THE BEEHIVE FOUNDATION
 321 BARNARD STREET
 SAVANNAH, GEORGIA 31401
 912 · 236 · 4870

1842 Heineeman Hse, Savannah
 (Mills Lane)
 Habersham St.

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The brick house was built in 1842 for Frederick Heine-
man. The third story does not appear in the 1871 bird's-
eye view. I would remove the third story and recreate the
typical parapet wall with denticulated cornice seen on other Savannah houses of the period. As my mother has so wisely suggested, I would add a cast-iron balcony along the north
side of the first (parlor) story, overlooking a small side
garden. The house is utterly ordinary except for an unusual stair arrangement.

Your admirer,

Hist. evidence
 as of 29 April 91
 indicates top fl.
 is ORIGINAL
 - H. Jones

Savannah Historic District

SAVANNAH RIVER

TO 17 N & TALMADGE BRIDGE


TO 17 NORTH, 21 & HWY 80 W

SUNDARY

LINE

First Stop In Savannah...
The VISITORS CENTER
 beguiling special effects history
 son — The Museum.
 e charm of train car dining —
 rossings.
 at off-premise catering.
 nformation & tours.

THE VISITORS CENTER



CITY MARKET

City Market
 All Goods
 Shopping
 Entertainment
 Food

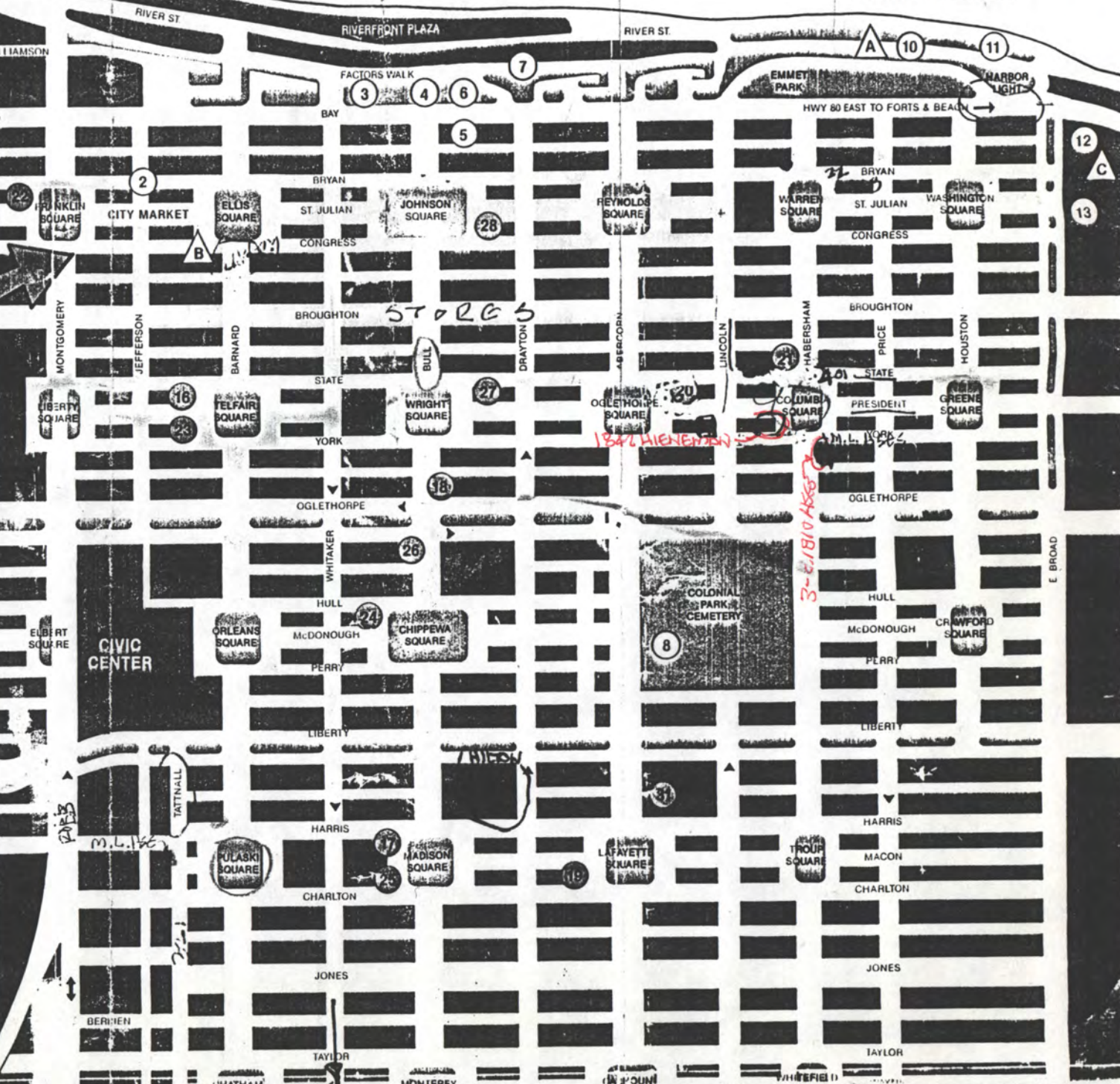
A shop walk from
 downtown Savannah
 Jefferson and
 West St. Julian Street

HIST. SAVANNAH
 TIME CO. 1926

W. BROAD

W. BROAD

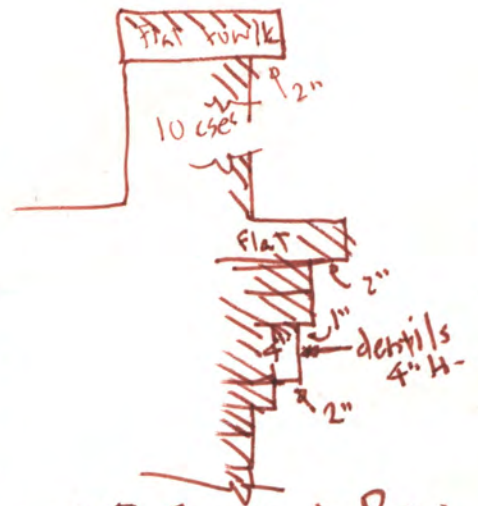
W. BROAD



12
13

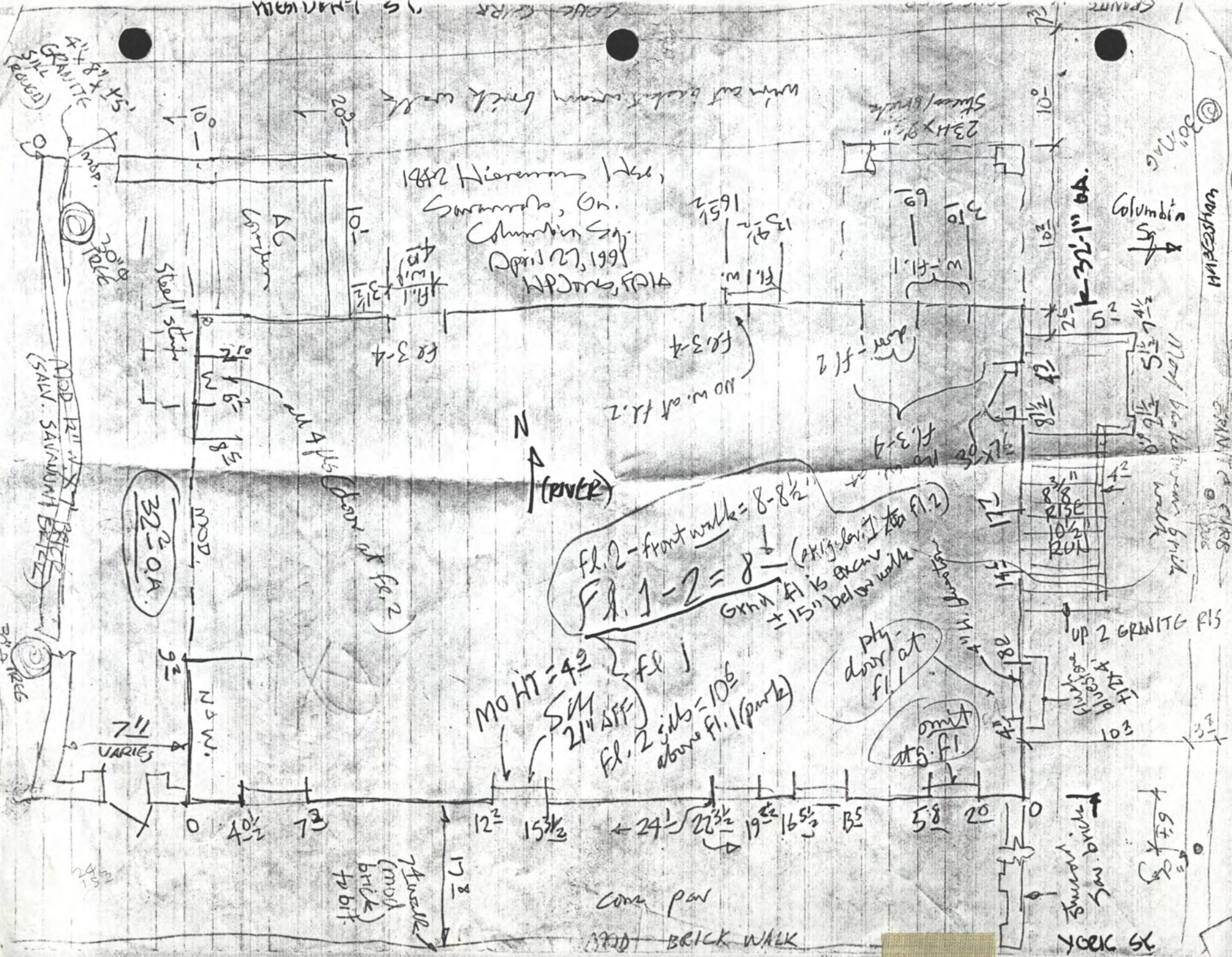
E. BROAD

E. BROAD



1857 Remstart Row
 Jones W. & Whitaker Sts
 Ok. Rev. Cornice

April 26, 1991
 Savannah, Ga.



1882 Niagara Ave,
 Toronto, On.
 Columbia Sq.
 April 27, 1991
 W.P. Smith, F.A.S.

N
 (River)

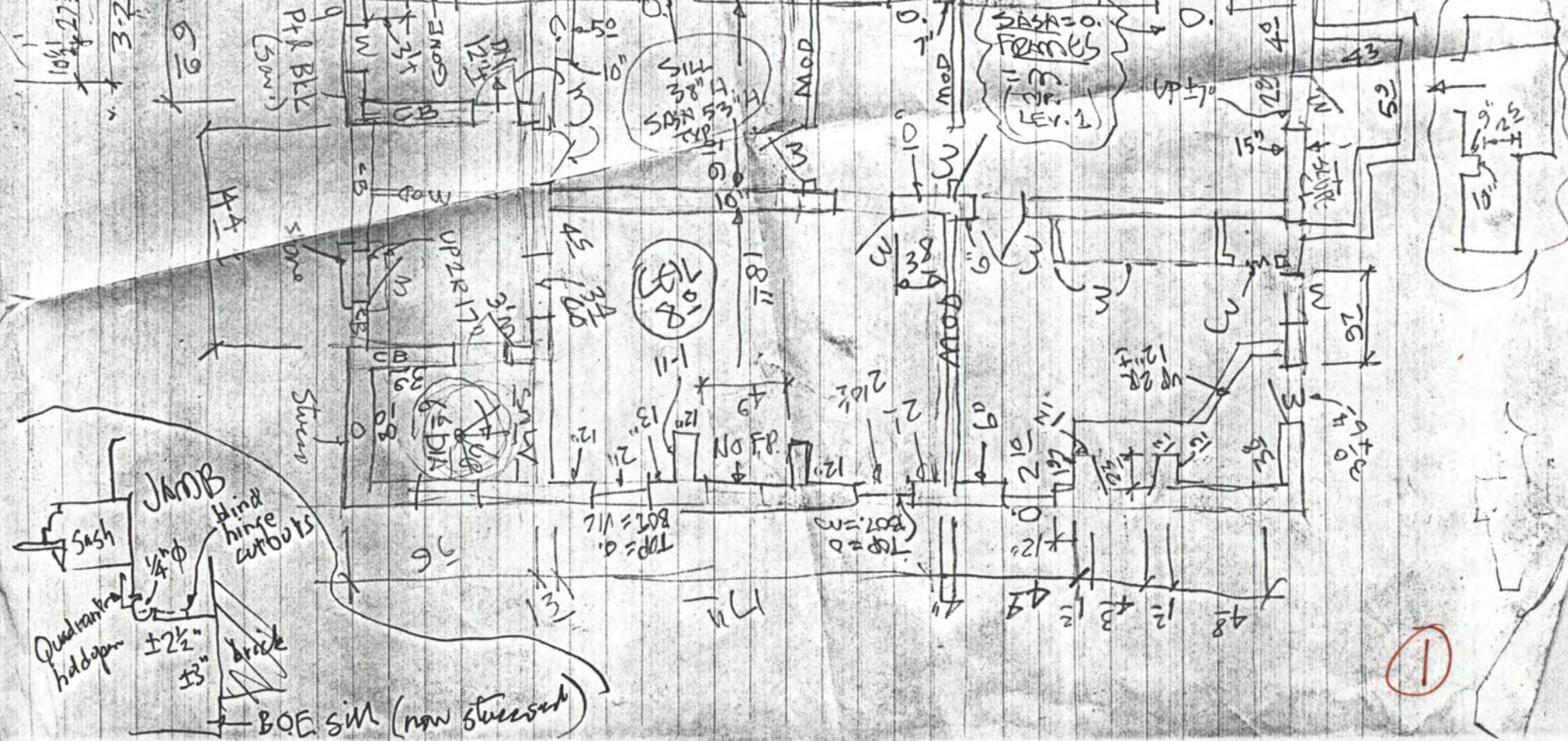
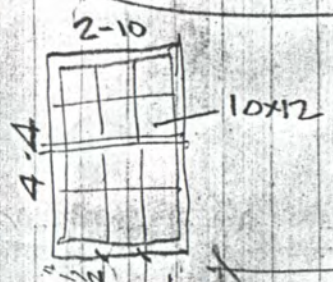
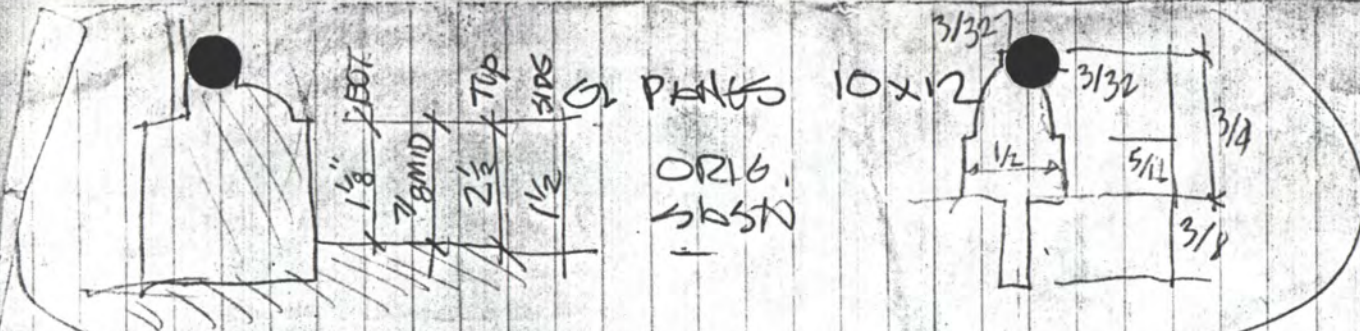
FL. 2 - front walk = 8-8 1/2"
 FL. 1 - 2 = 8' (at 1/2 level, I to FL. 2)
 Grnd fl is excav
 ± 15" below walk

MO HT = 4'
 SIM 21" AFF
 FL. 2 sills = 106
 above FL. 1 (part)

omit
 at 5' fl

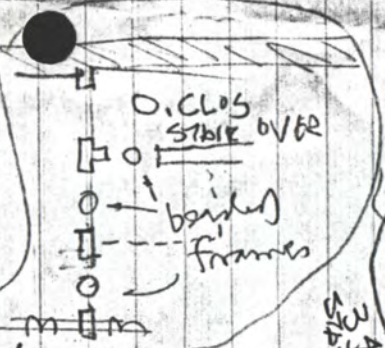
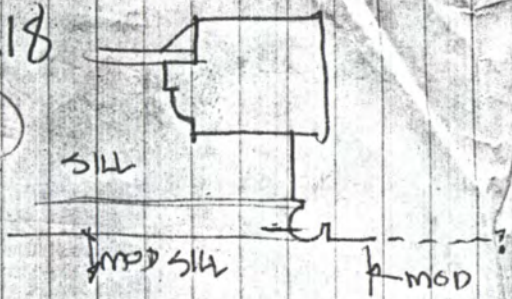
FIELD
 NOTES

Hereman 1842
 Summer, April 128, 91
 ORND FL 1
 H.B. Jones



①

BSA 2 1/2
 Center 7/4
 Top ±20
 Side 13/8
 (exposed)



Main Fl.
 1842 Hiemenan
 Savannah, April 28, 1991
 H Jones
 7' RISE
 10' RUNS
 12' RISE TO LAND
 8' RISE TO FL. 2

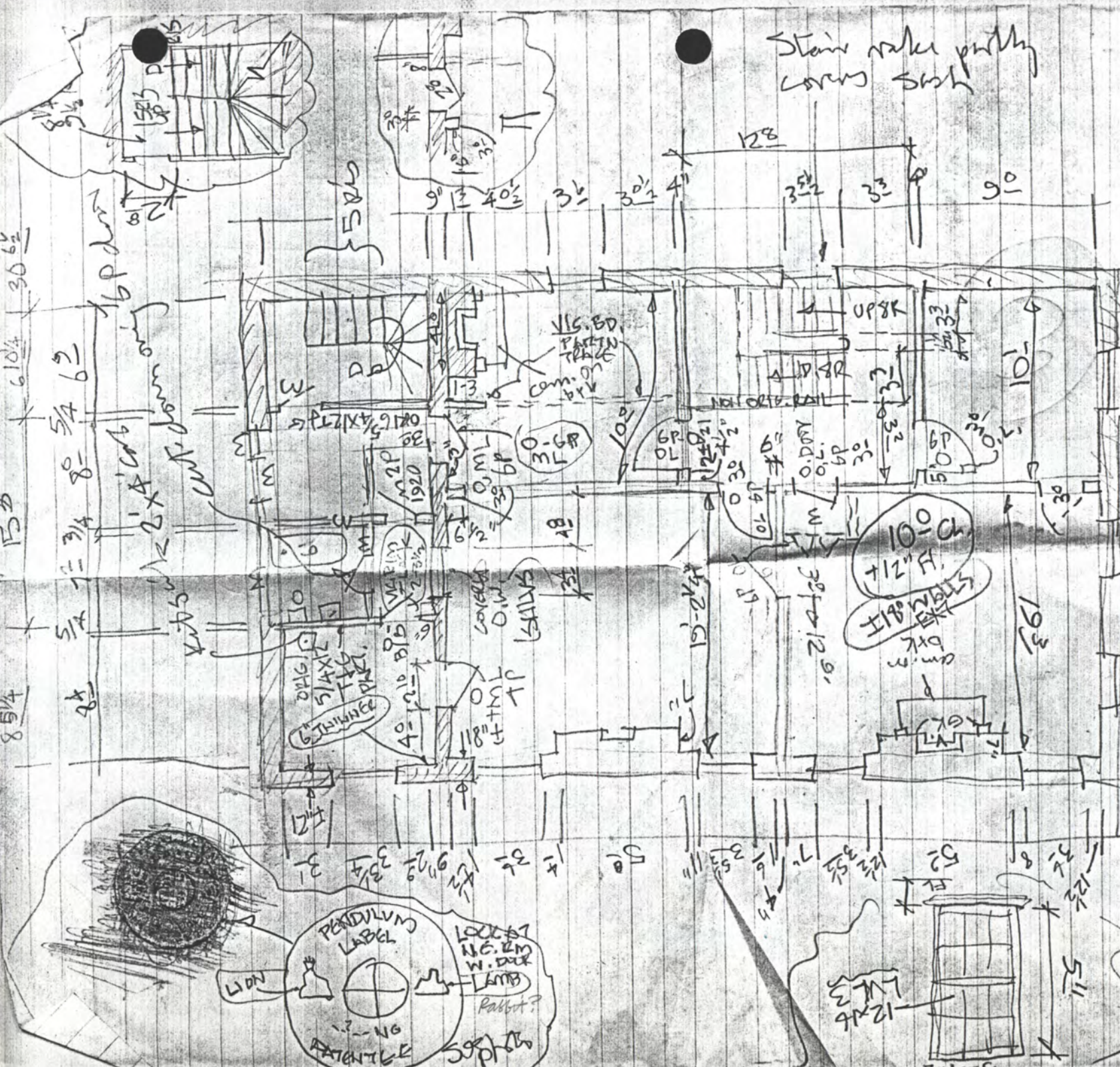


BRICK is 13 1/2"
 (+ furring)

FL- Coil 12 1/2

2





Stair walk partly covered sk

April 27 1991 WJW

1842 Swimming LEVEL 3

OL = orig. threshold
NL = mtd lock

DOGS 30 x 6 1/2 inches used (over-narrow)

(3)

DN 15 RIS

LAND 4

LIKE THIS!

Door mostly 22 x 67 THIS FL

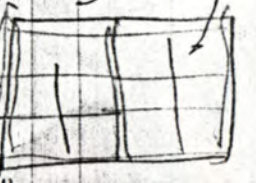
HEMENAN SAUANNAH LEVEL 4
Dipin 27, 91
Kump



LEV. 4 Orig. 5' x 7' 1/2" x 9' 1/2"
Small brass knif

4

12x14
LEV. 4



BALUS
L.3704

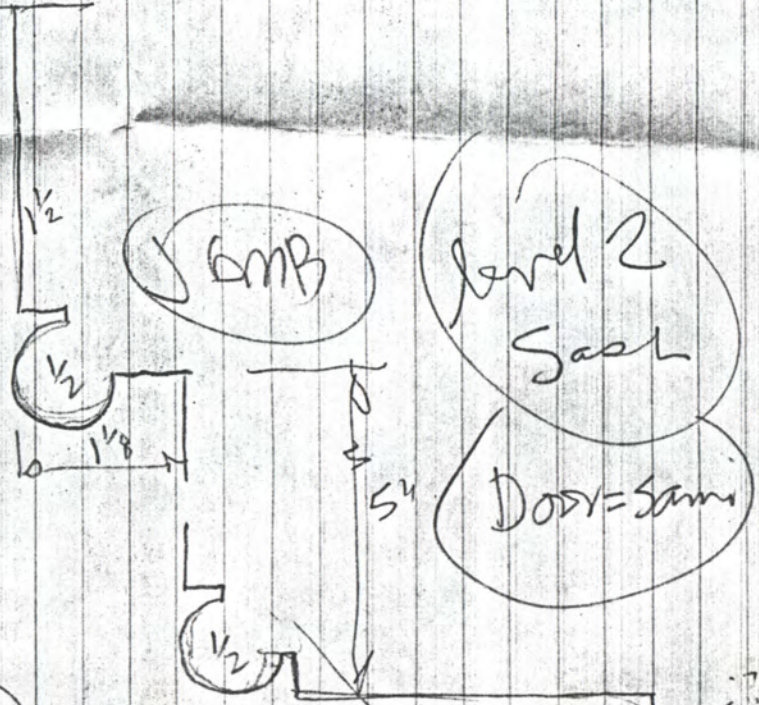
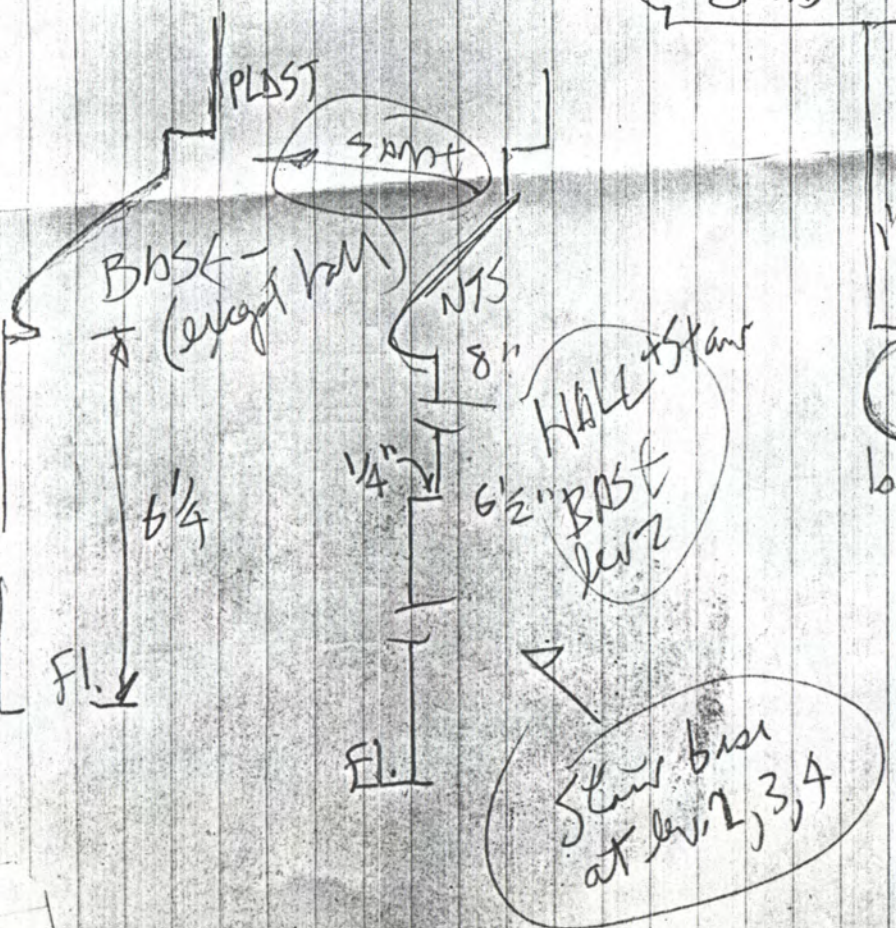
1" x 3/4"

level 3

1842 Hiemann
Swanwick
April 28, 1991
WJes

SASH Jamb

SILL

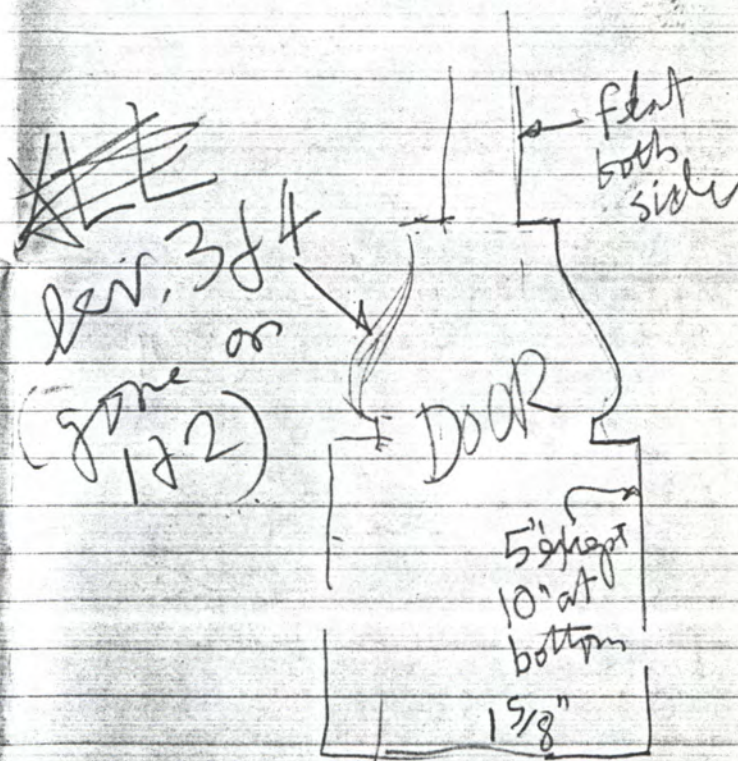
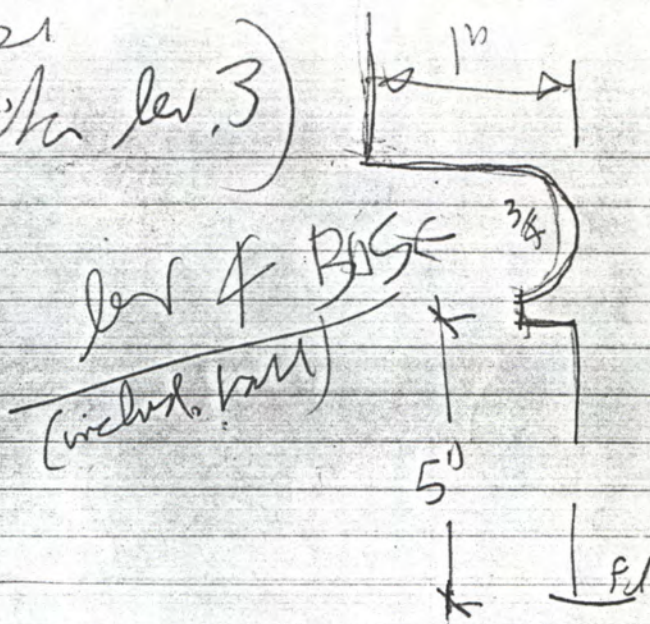


PLAST

NTS
8"
HALL STAND
6 1/2" BOST
level 2
Sash base
at lev. 2, 3, 4

lev 4 base
 (other trim like lev. 3)

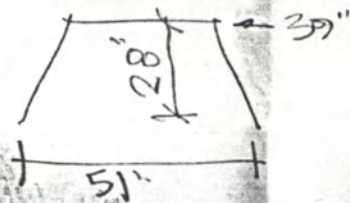
1842, Hierman Hse,
 Savannah
 April 28, 1991 W Jones



lev. 3 colors (orig)
 wnl-grain door
 pale gray trim
 black mantels
 wnl. grish balustrade
 " " base (?)
all wall = lt tan

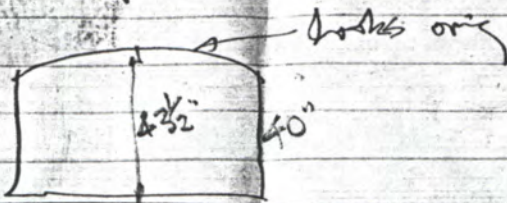
lev. 4
 pale gray base
 wnl-grain doors
 black mantels
 SE wall - yellow tan
 SW " - off white
 Hall - lt tan
 NW - " "

Cook F. G.
Level 1
SE Run



1852 Hiemenan
Sammah
April 27, 1991
H Jones

(only FP on
level 1)

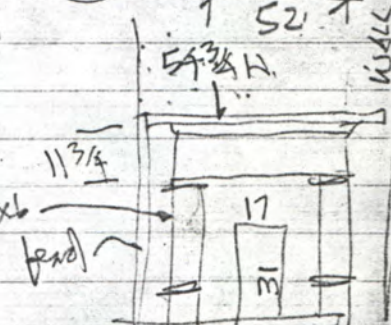
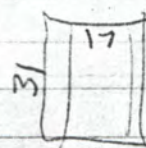
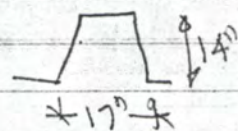
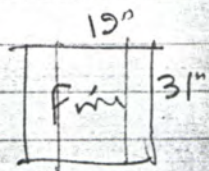
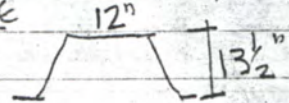
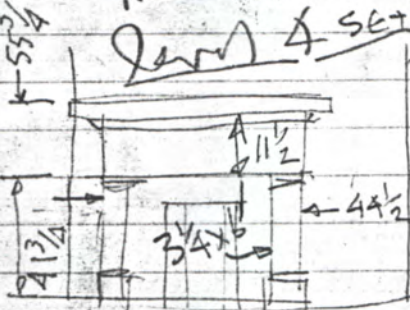
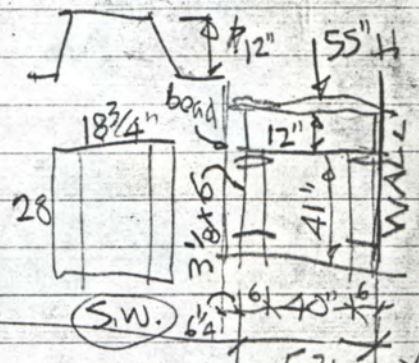
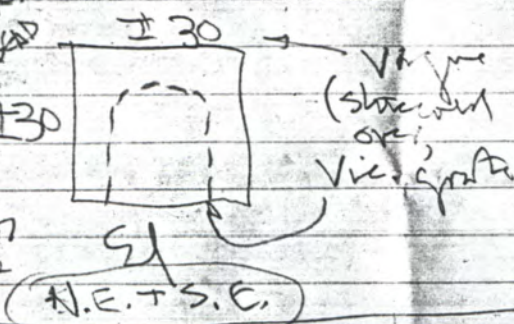
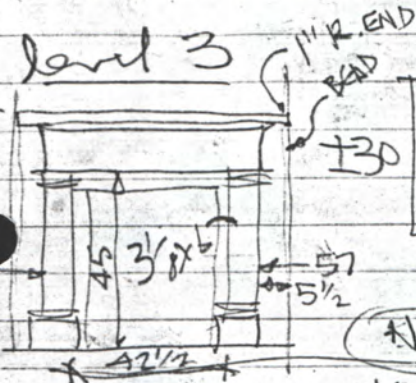


Level 2 - S.E.

(others on
lev 2 = covered
(vic gate at SW,
phy. pre at NW)



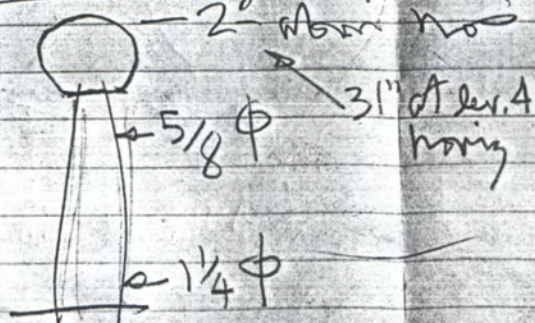
Level 3



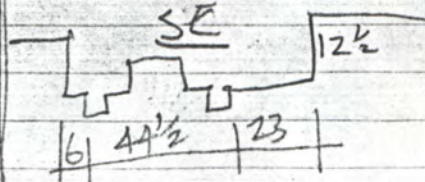
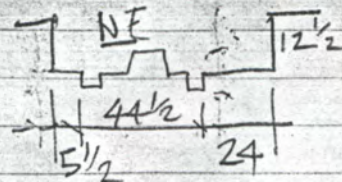
Spindles

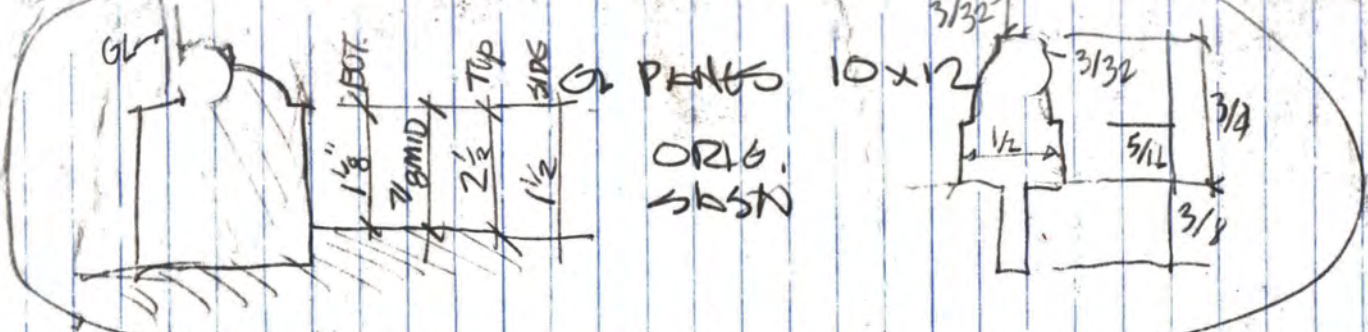
level 2 to 3

(rest at
3 to 4)

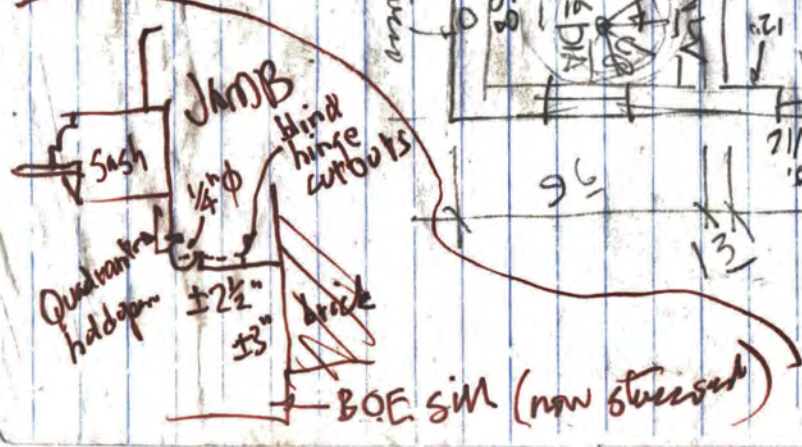
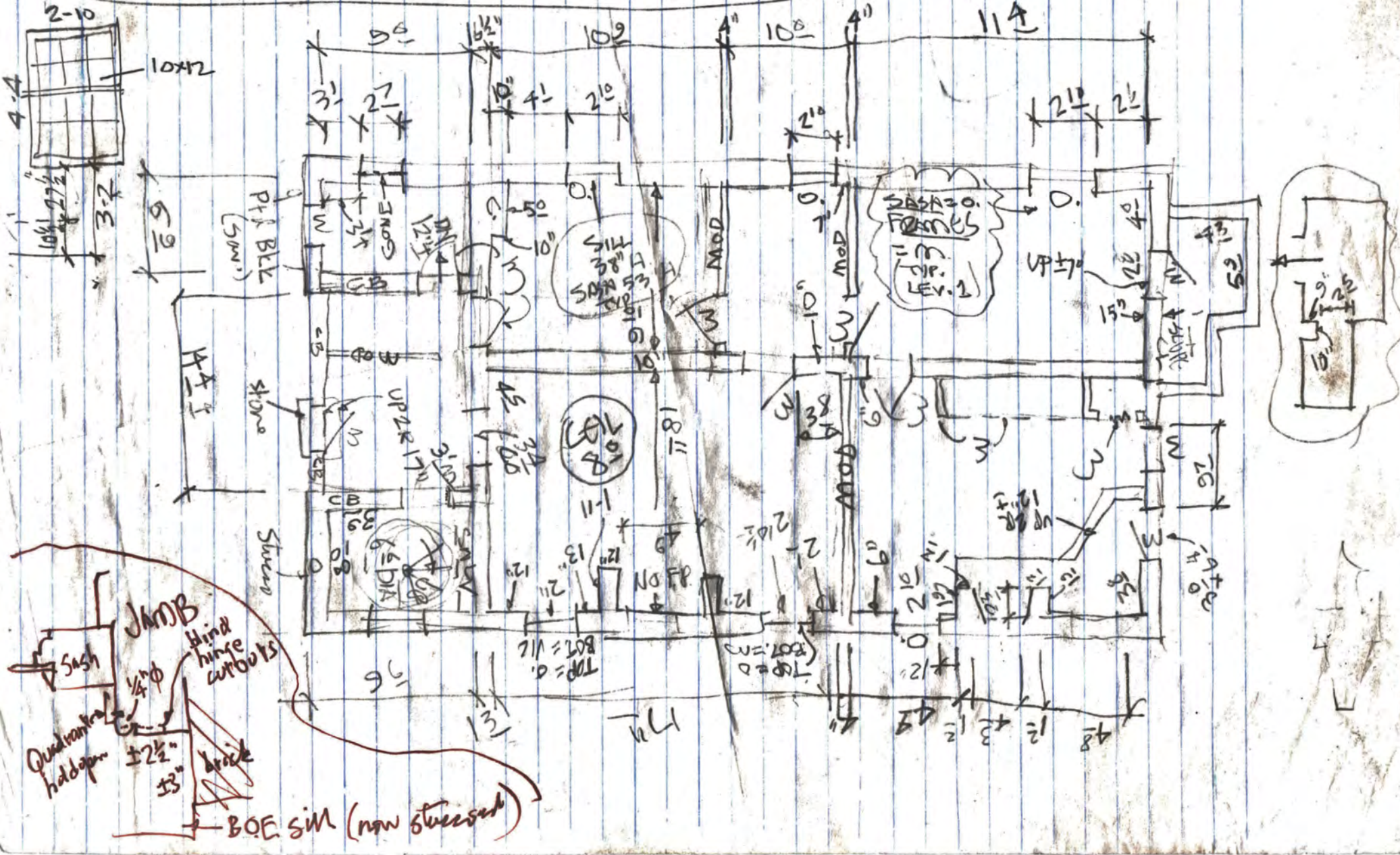


LEVEL 4

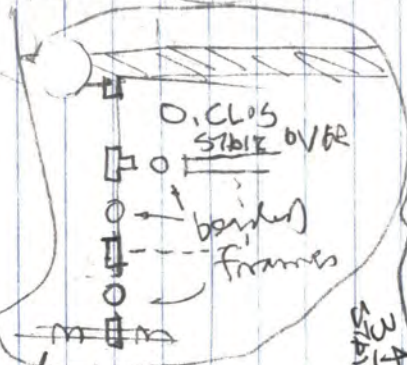
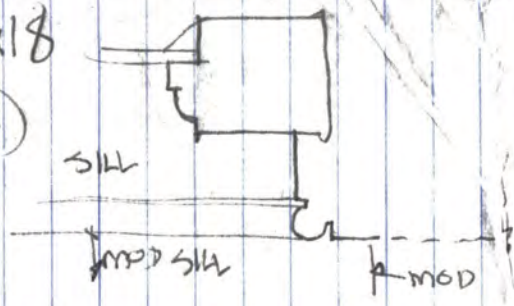




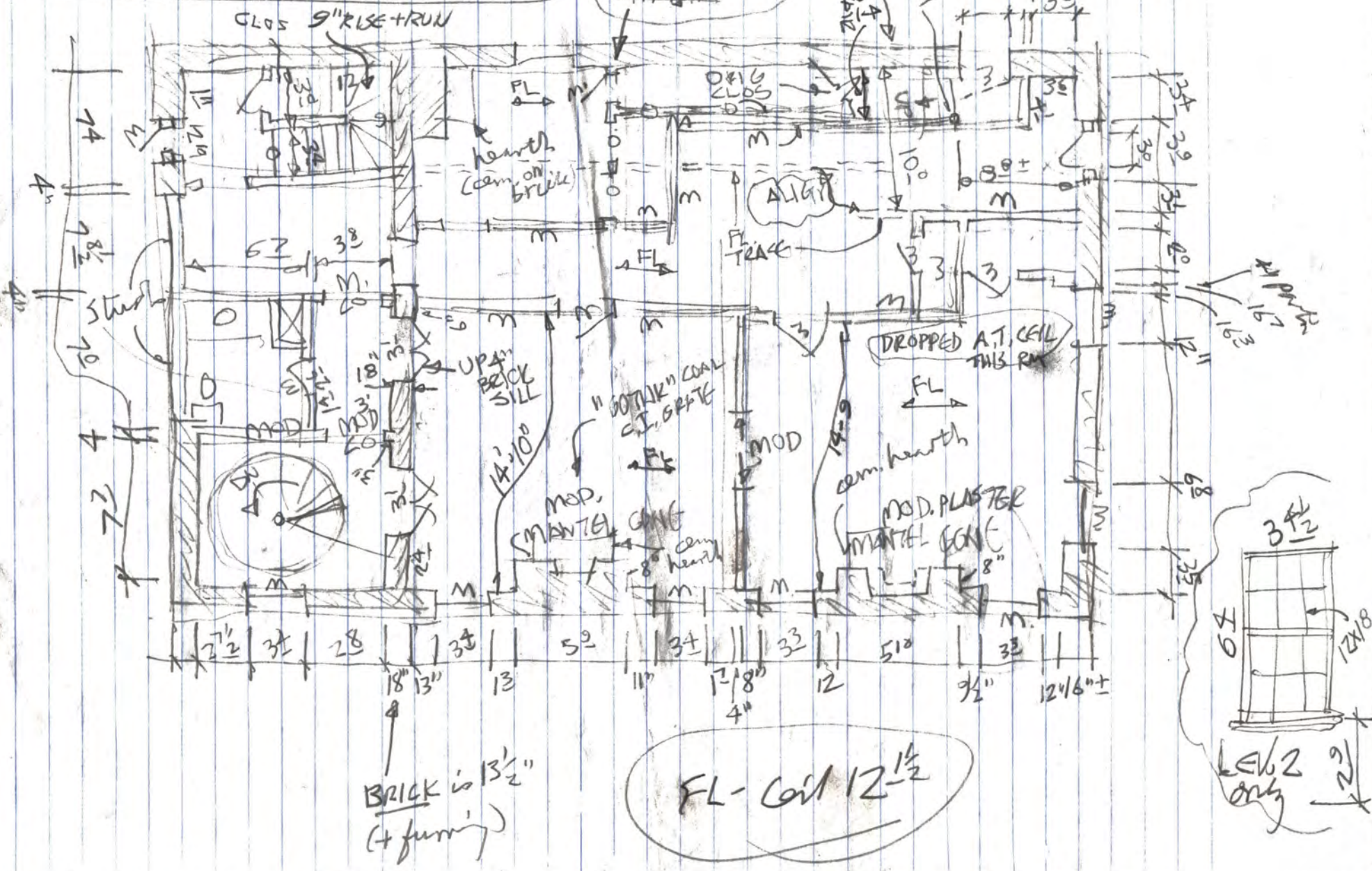
W. H. JOHNS 1842
 Summer, April 28, 1891
GRND FL 1
 H. H. Johns



Frame 12x18
 Butt 2 1/2
 Core 7/4
 Top 120
 Side 13/4
 (exposed)



Main Fl. (over)
 1842 Hiemenan 2
 Savannah, April 28, 1991
 W Jones
 7/8 RISE
 10 1/2 RUNS
 12 RISE TO LAND
 8 RISE TO FL. 2



BRICK is 13 1/2"
 (+ furring)

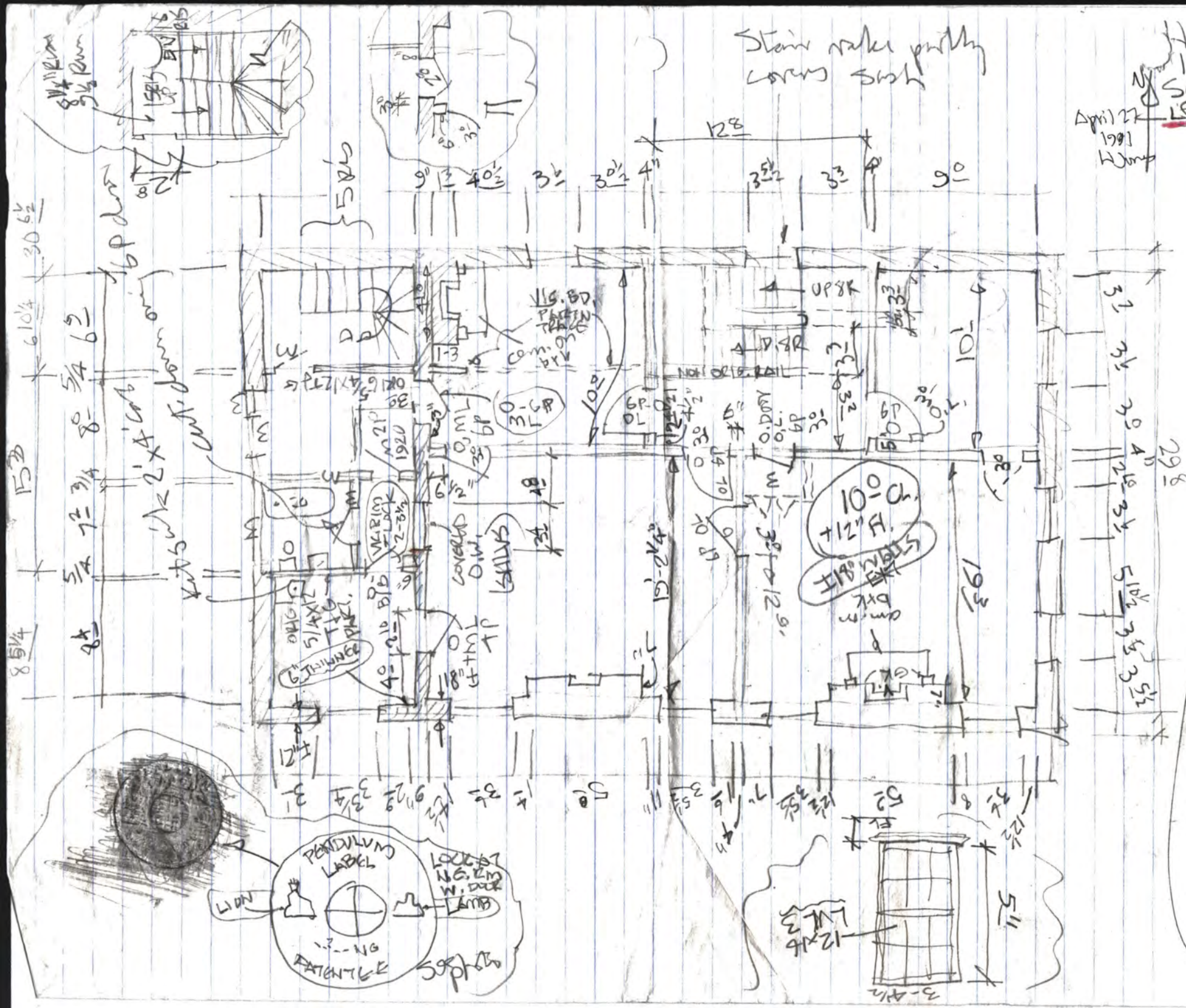
FL-COIL 12-1 1/2

Hiram
1842
Swimming
LEVEL 3

April 27
1991
W. Wong

OL = orig. Hubcock
ML = mod lock

Stair rake pretty
loose slash



DOGS 30x6 3/8
under road
(same-narrow)

Door mostly 22 x 67 THIS FL

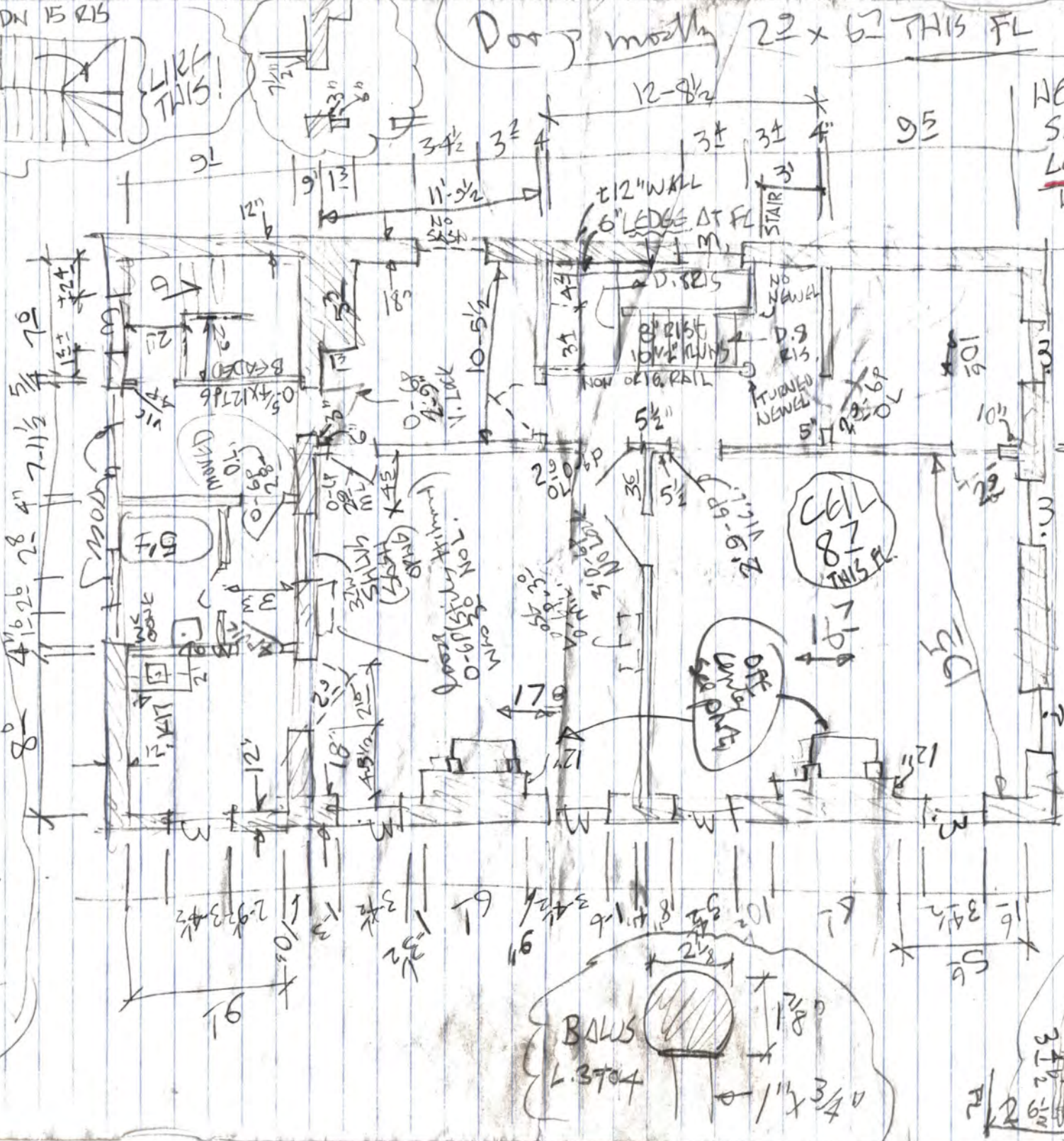
HENGAMU
SAUNNAH
LEVEL 4
April 27, 91
Wump



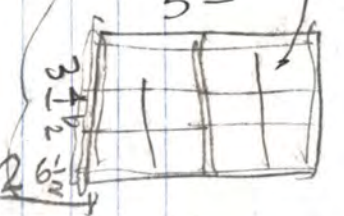
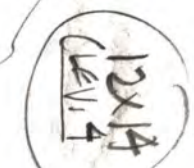
DN 15 R15



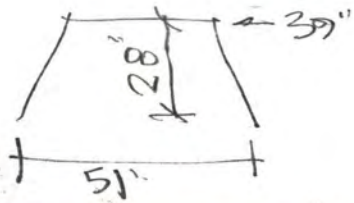
LINK THIS!



LEV. 4 Orig looks 7"
5" H x 7" W
Small brass knob

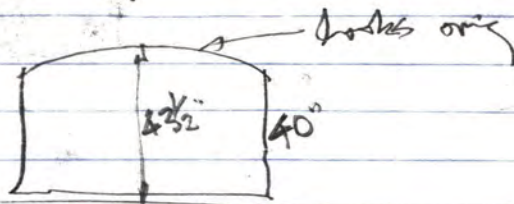


Cook F. B.
Level 1
SE Run



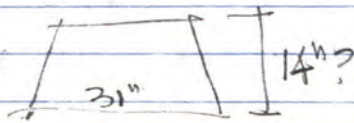
1842 Hiereman
Sammah
April 27, 1991
H Jones

(only FP on level 1)



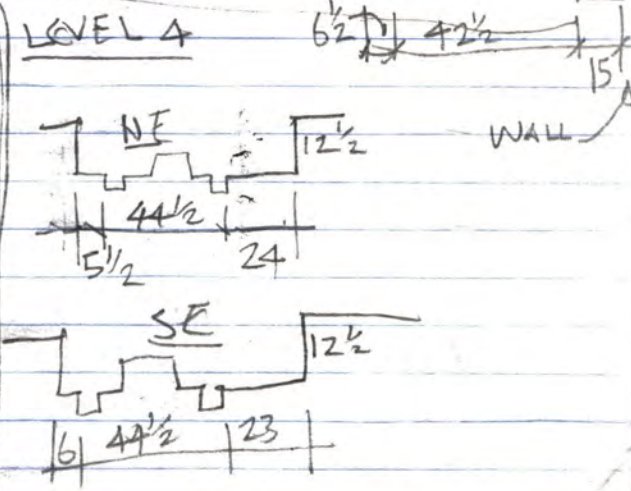
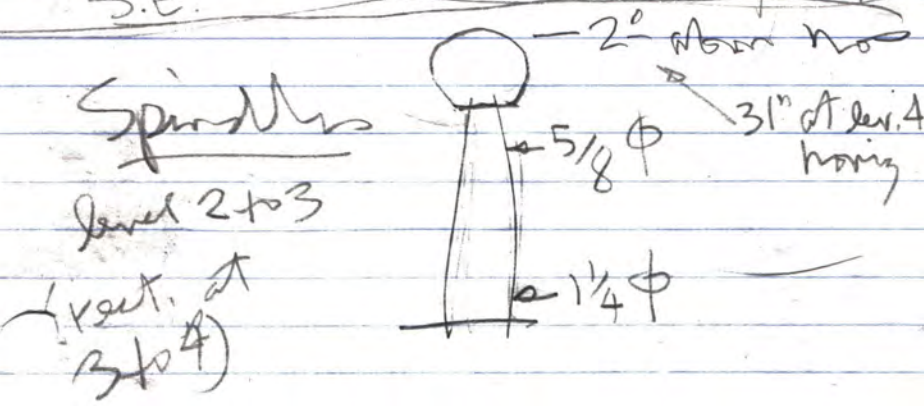
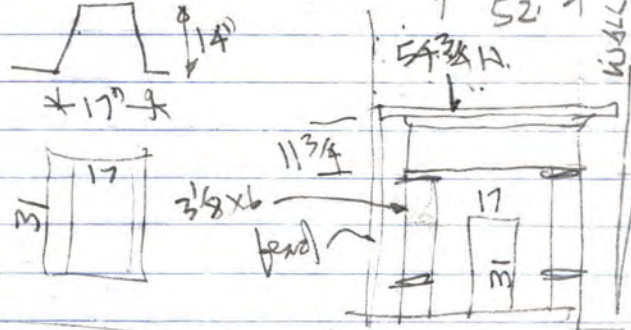
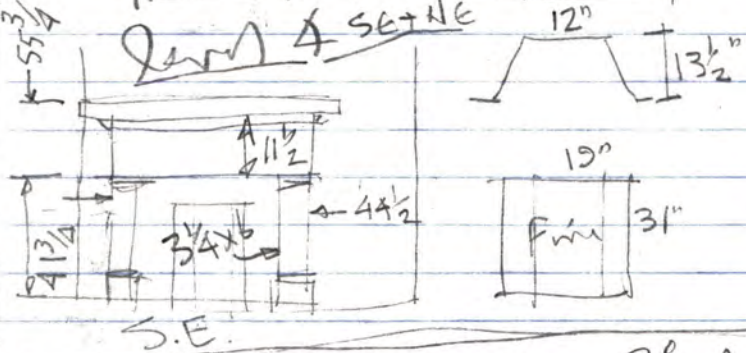
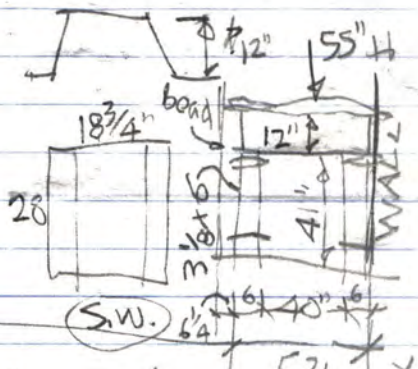
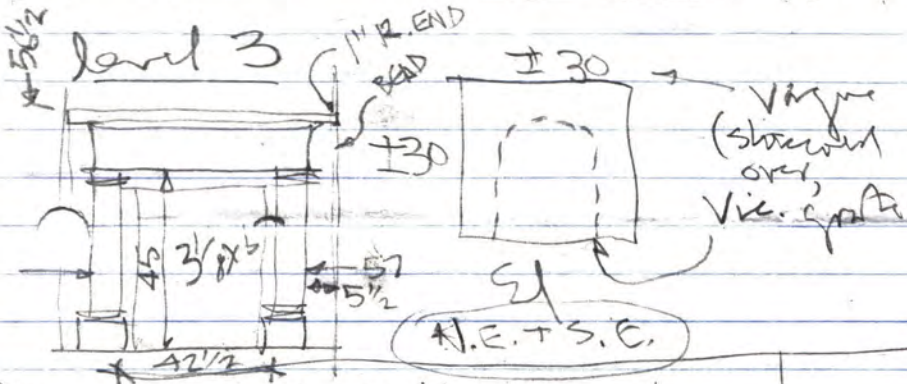
Level 2 - S.G.

(others on



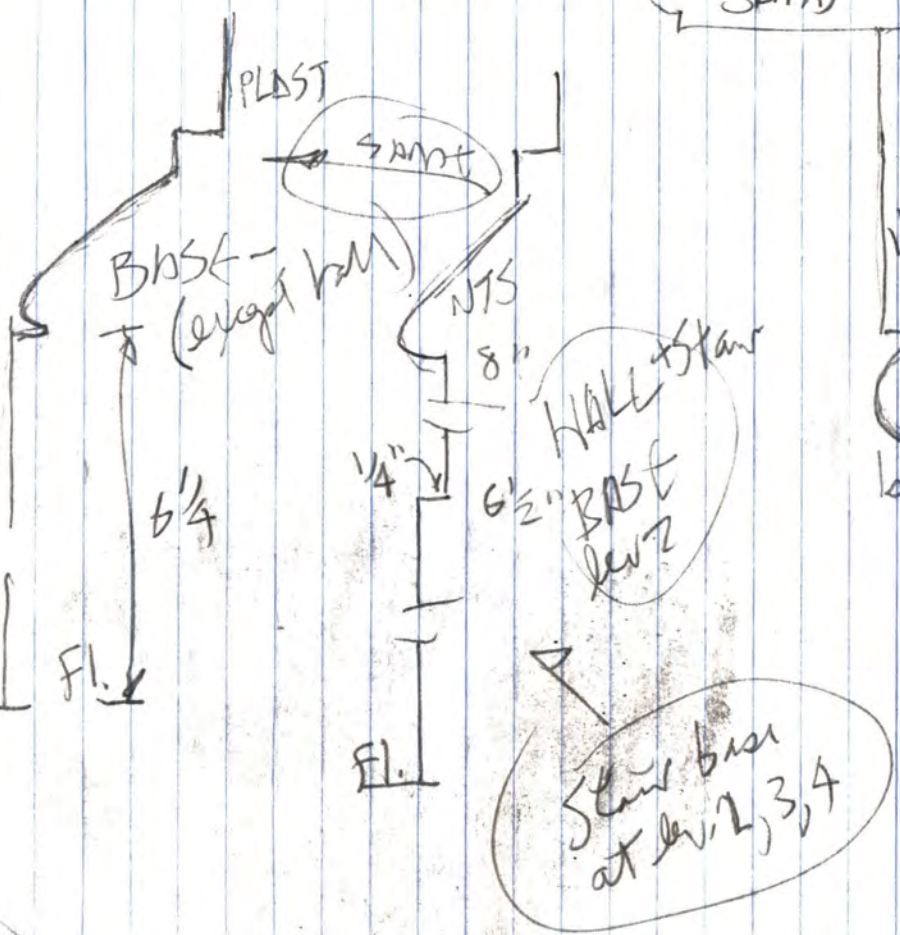
lev 2 = covered

(vic gate at SW,
ply prod at NW)

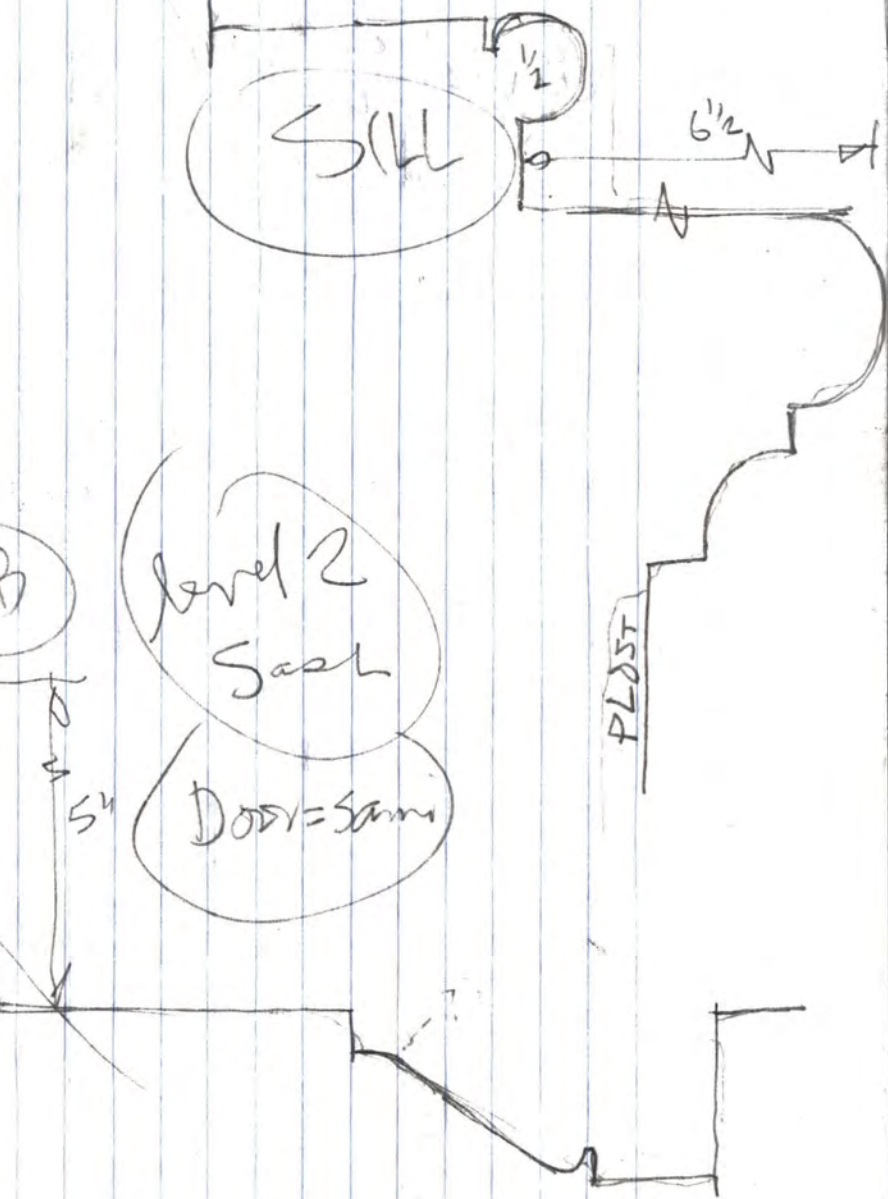


Level 3

1842 Wierum } 252
Sumner
April 28, 1991
Hines



SASH JAMB



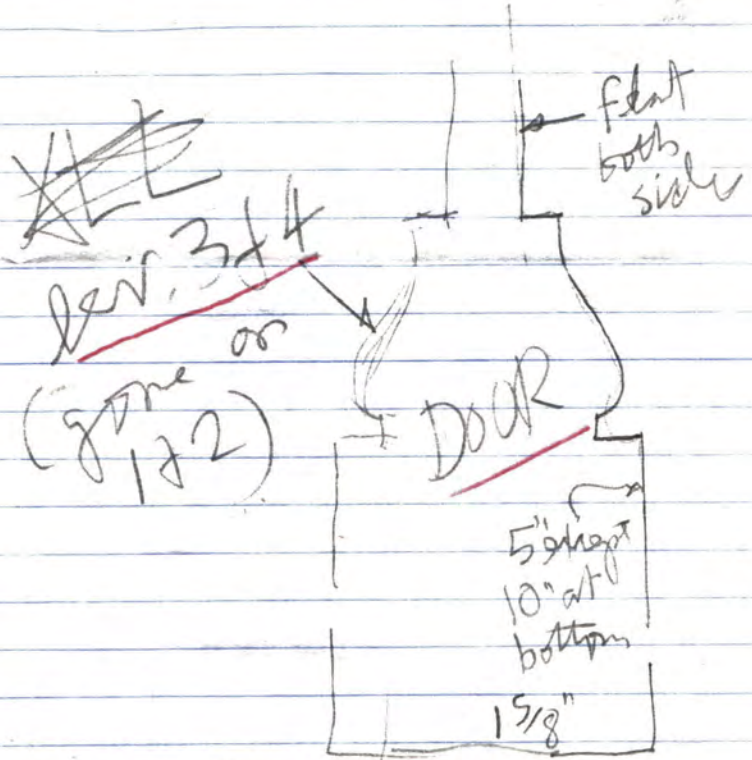
Slane base at lev. 2, 3, 4

lev 4 base
 (other trim like lev. 3)



1842. Hieronim Wse,
 Savannah
 April 28, 1991 12 Jores

lev 4 base
 (incl. wall)



lev. 3 colors (orig)
 wst. grain door
 pale gray trim
 black mantels
 wst. grain balustrade
 " " base (?)
all wall = lt tan

lev. 4 colors
 pale gray base
 wst. grain doors
 black mantels
 SE wall - yellow tan
 SW " - off white
 Hall - lt tan
 NW - " "



**JT J.T. Turner
Construction Co.
INCORPORATED**

Conty. for 3-c. 1810
has on Humberston St.
at Columbia Sq.
+ Mills Lane Hse (Pulaski Sq)
+ "Infim" hse on
Pulaski Sq
+ 1843 Leinenon Hse
on Columbia Sq.

TELEPHONE
912-356-5611

J.T. TURNER, JR.
PRESIDENT

April 3, 1991

Jones & Herrin
104 Jefferson Str.
Huntsville, Ala. 35801

- #1) This house is on south west corner of the Lanes proposed new house on Harris street.
- #2) House built in 1839 has alot of varation in exposure 6½", 5", 5¼", 6".
- #3) This house is directly to the south of Mr. Lanes house.
- #4) Built in 1843 no more than 1/4" to 1/2" in varation.
- #5) Mr. Lanes house (built in 1849).
- #6) Small amount of varation in spacing.
- #7) House directly to the east of proposed house.
- #8) Built in 1839 some varation.
- #9) House on south east corner of Barnard street.
- #10) Built in 1854 spacing 7½, 6, 7¼, 7, 7¼.

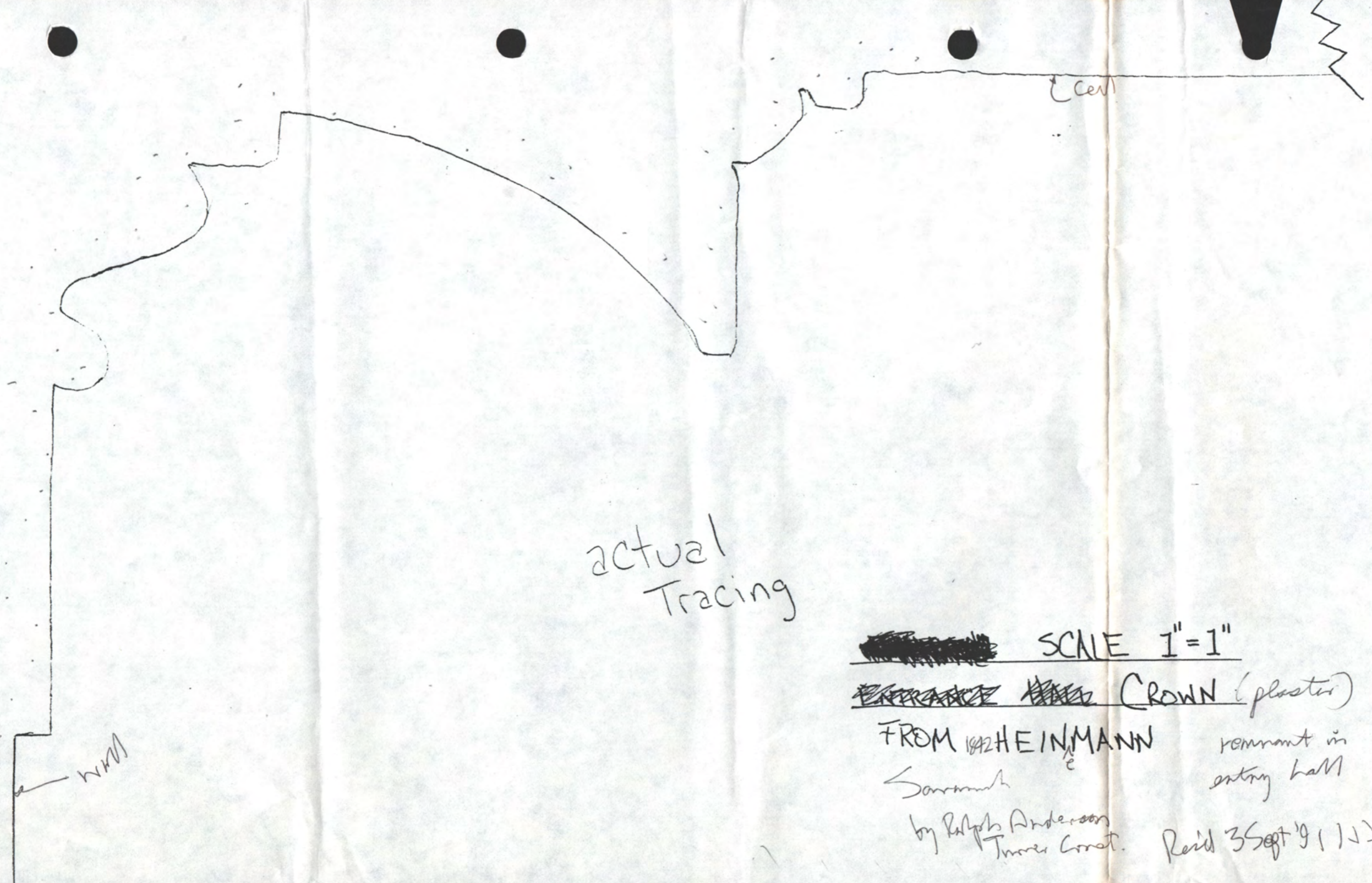
Thank You,

Ralph Anderson

Ralph Anderson

Sgt. (Excellent man)

RCA/amd



Cent

actual
Tracing

~~ENTRANCE~~ SCALE 1"=1"

~~ENTRANCE~~ ~~WALL~~ CROWN (plaster)

FROM 1942 HEINMANN

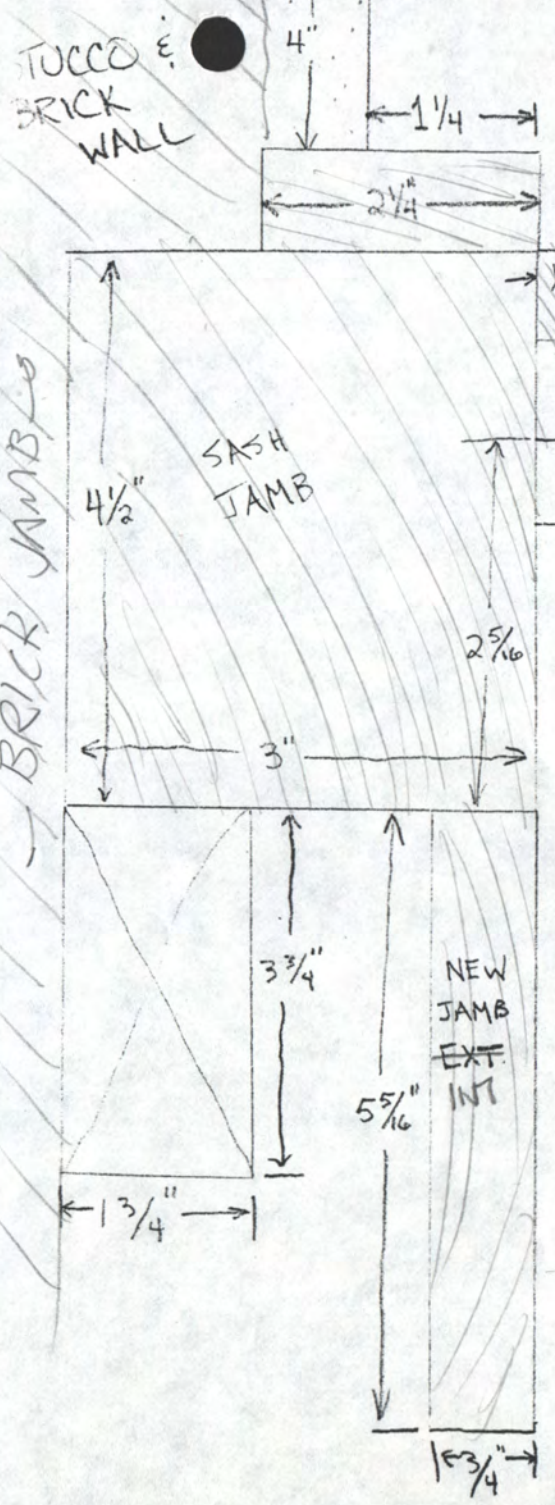
Savannah

by Ralph Anderson
Turner Co.

remnant in
entry hall

Reid 3 Sept '91 JJJ

WMM

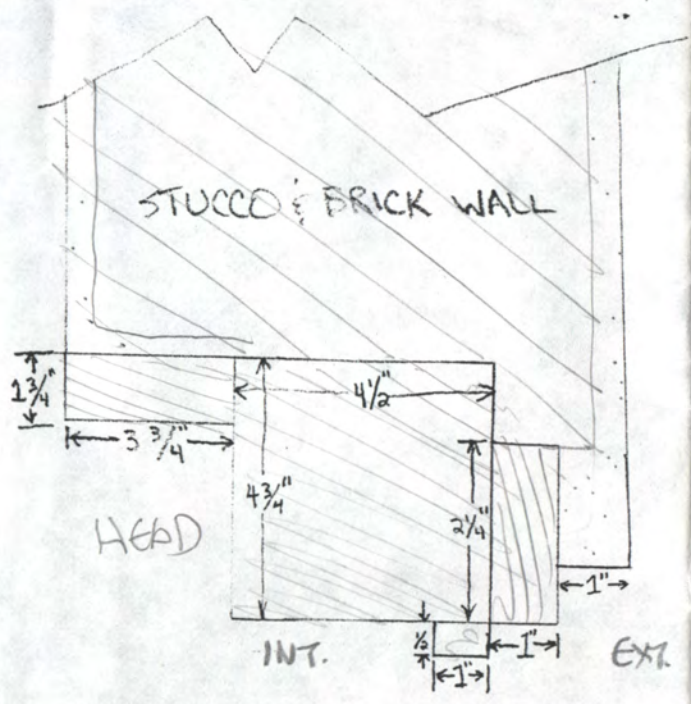


EXT

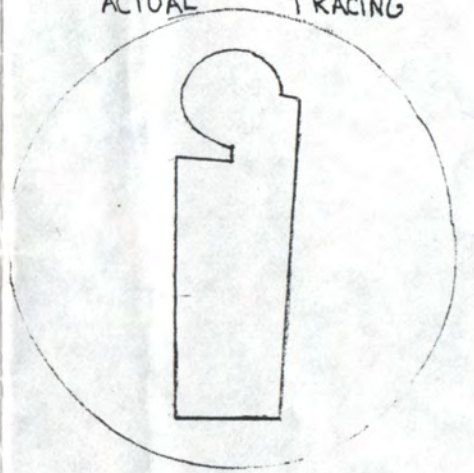
1 3/16" TOP WINDOW 27" x 34" 6
 1 3/16" BOTTOM WINDOW 27" x 34" 6

10" x 12" LIGHTS

INT.

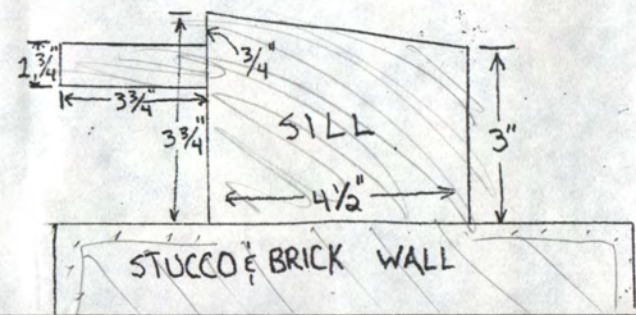


ORIGINAL INTERIOR STOP
 ACTUAL TRACING

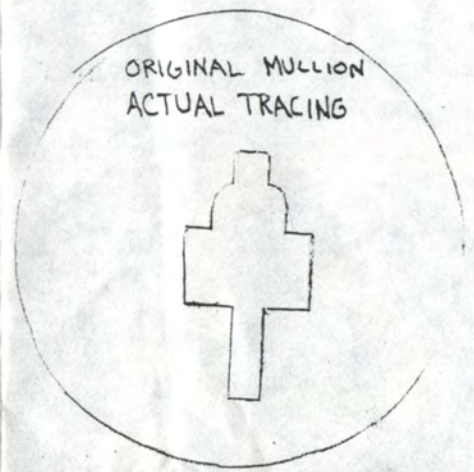


1842 Werrinon Ave, Savannah
 BASEMENT WINDOWS

(original)
 NO SCALE
 by Ralph Anderson
 Turner Costr
 rec'd 3 Sept '91 AD



ORIGINAL MULLION
 ACTUAL TRACING

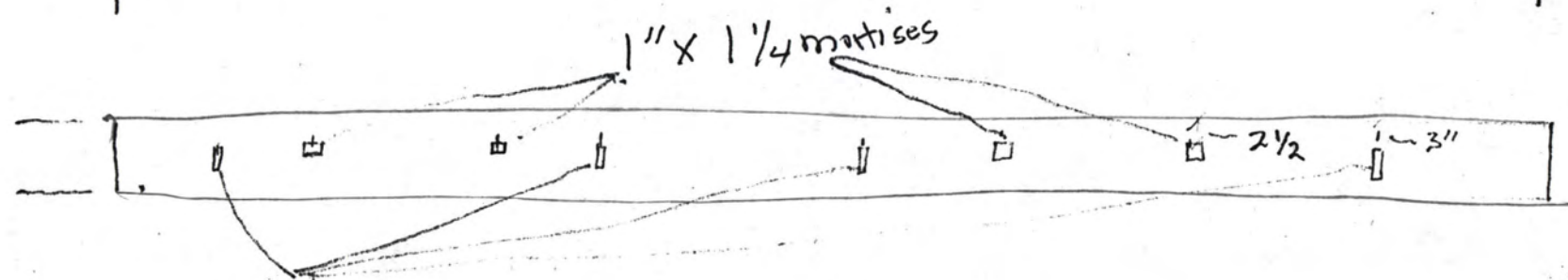


+

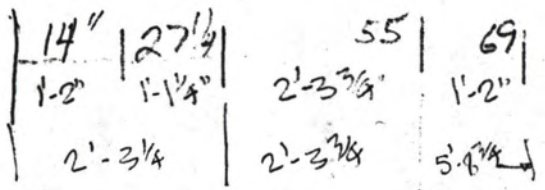
16'

+

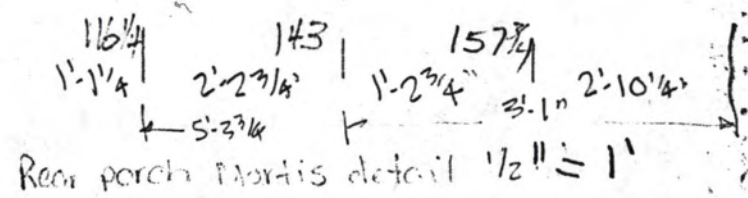
± 8" x 8"



1/2" x 1 1/2" mortises



2'-10" 103



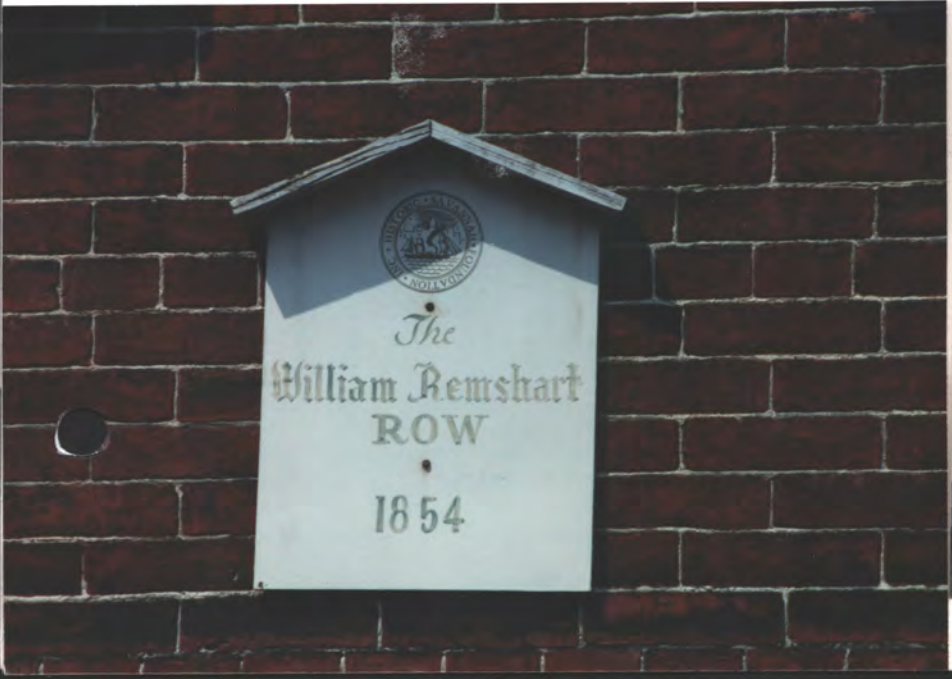
fl. beams at back porch

1842 Heinemann 1/2, Swanwick
 by Turner Const. (R. Atkinson)
 rec'd 3 Sept '91 H.S.



Savannah Gk. Rev. details
photos April 1991 A. Sims

This ph. = All 1854 Remshart Row





{ Randhart Row, Savannah }
 Example of long, narrow
 side balcony over a garden
 @ Bull St. S.



Hse on Columbia Sq., Savannah, East Side
 w/ parapet similar to
 1854 Heintzman Hse on
 West Side of Columbia Sq.



Prof / walk down stangle, Savannah
 South
 Bull
 St.

3 of 5
Savannah Clapboard details (St. Rev.)

Bernard Constantine
- Harris St.
1839

1991



Same →

2



4



Clapboard Variations:
6 1/2", 5", 5 1/4", 6"

1843 -
± 1/2" max
clapboard
variation

Savannah
Clapboard
Sprung on
Greek Revival
1830s.
Photos Mar. 1991
Ralph Anderson
(cont. next page)

Same →
1843



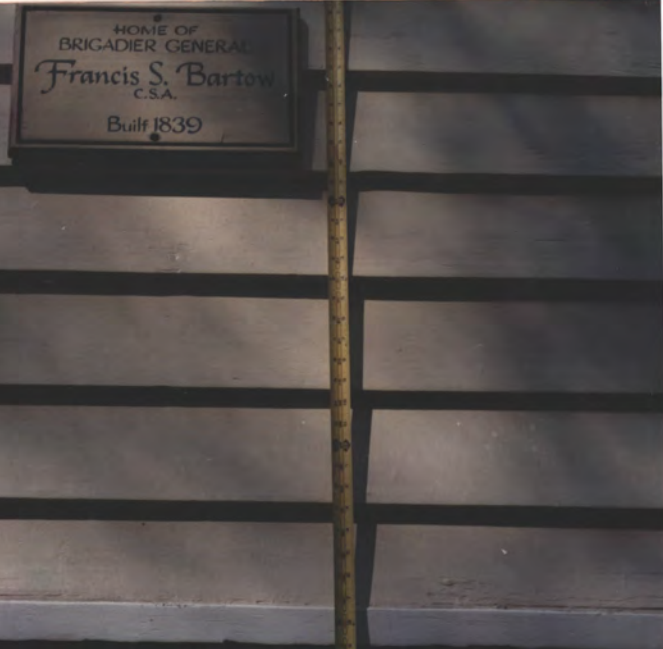
4

6

Note
Depth of
Spacing
Variations
(small)



S.E. Corner of
Barnard St.



HOME OF
BRIGADIER GENERAL
Francis S. Bartow
C.S.A.
Built 1839

7



Pulaski St., N.E. Corner, Barnard St.

SAME -8



1839 - small variation in depth

Savannah depth details - photo Mar. 1991 Anderson

Paul
Anderson

S of S Savannah Details

10



Spacing =
7 1/2", 6", 7 1/2", 7 1/4"

11

Savannah
details
photo 1991

26

120



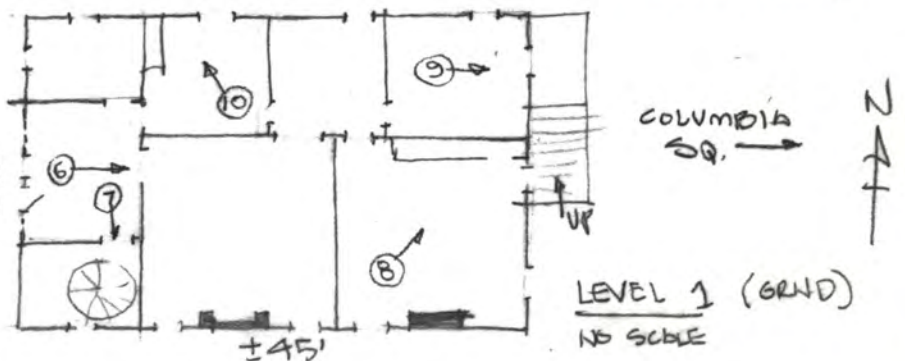
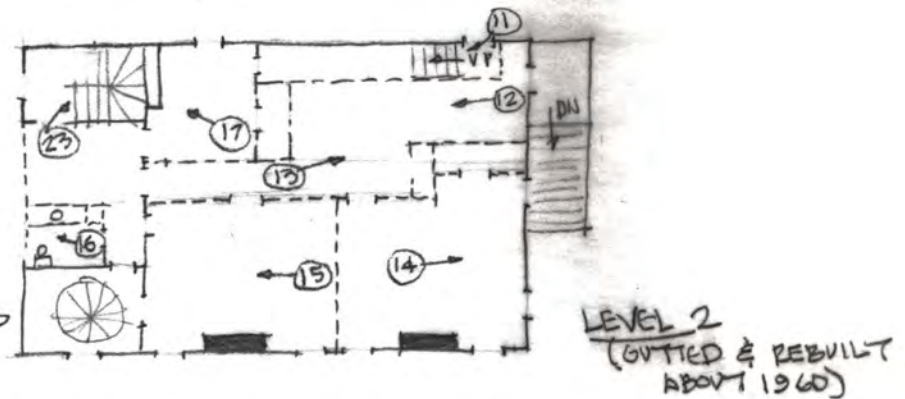
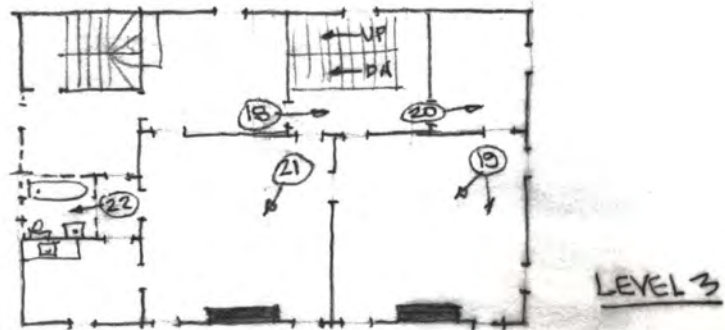
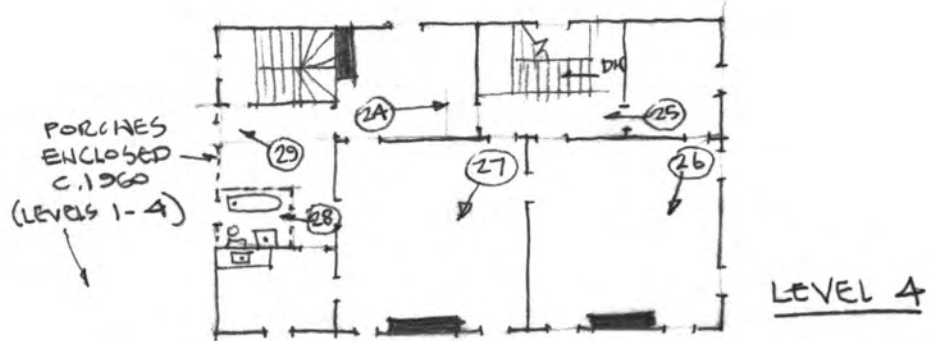
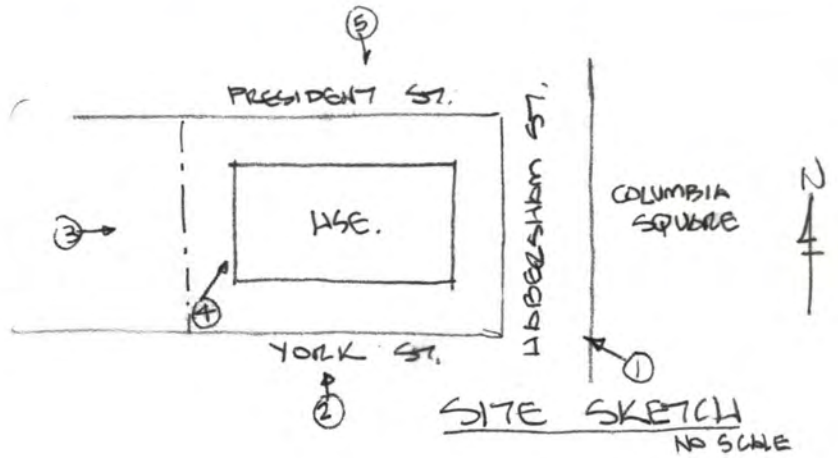
Stalinate has. on E. side of
Columbia Sq., long balcony over sidewalk

120

JONES & HERRIN

Architecture/Interior Design

104 Jefferson Street Huntsville, AL 35801



ORIG. WALL ———
C. 1960 PORCH ———

"BEFORE" PHOTOS, APRIL 1991, H. JONES
PHOTO KEY PLAN

1842 WEINERMAN AVE.

COLUMBIA SQ.
SAVANNAH, GA.

JONES & HERRIN, ARCH.
HUNTSVILLE, AL.



J.T. Turner
Construction Co.
INCORPORATED

J.T. TURNER, JR.
PRESIDENT
August 6, 1991

TELEPHONE
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FAX
912-356-5615

Jones & Herrin
Heineman House
125 Habersham

- 1) Front stairway showing iron work with boot scraper, stone steps and first level window
- 2) Close up of boot scraper
- 3) Top detail of same
- 4) Sav. Gray brick riser with stone step
- 5) Side view of stone step after stucco had been removed
- 6) 1st level window at stone steps, stucco around window appears to be 1 inch thick original beaded brick mold 2 1/8 inch wide with Sav. Gray brick row lock above window
- 7) Showing brick row lock reveal approx. 3 1/2
- 8) North side entry porch; columns and wall appear to be original Sav. Gray brick
- 9) Close up of brick and mortar joint
- 10) Window under same porch does not have row lock above window from inside window appears to be cut in at a later date
- 11) Same as above
- 12) Underneath front stoop looking into basement this doorway
A) looks to have been an original window. The brick from window sill height down behind door jamb appears to have been broken out in both sides and from the window sill up is smooth painted corner where window was originally
- 13) Showing depth of standard basement window
- 14) Depth of basement window at spiral stairway, from outside stucco to inside brick measurement is the same
- 15) In basement looking east showing brick columns - see attached drawing
- 16) Showing column width 2'2 1/2"
- 17) Other side of column 9"
- 18) A,B,C,D - Showing various pictures of basement arrow pointing north
- 19) Enlarged fireplace in basement (see ext. photo by AJ = 4 files, 1 per fl.)
- 20) Doorway northwest room in basement going to original back porch area
- 21) Northwest room fireplace, has been filled in
- 22) Boiler room in basement showing brick is tied in, indicating room is original
- 23) Original window in basement showing original jamb then filled in with newer jamb
- 24) Showing typical header between columns in basement
- 25) Paint line showing original floor underneath. No indication of baseboard

Heineman House

Page 2

- 26) In basement looking up at original porch floor
- 27) Flooring notched over top of joist. Same style as main part of house
- 28) Joist's are numbered in all areas of house
- 29) Parlor floor typical door header
- 30) Standing at front door looking to rear of house. Dead center is original hallway. Wall to left has been added
- 31) Floor was filled in where original wall was
- 32) Showing the end of front entry hallway. Crown mold at ceiling. (refer to picture #30)
- 33) On parlor floor NW corner of house. Showing rear stairway door that goes to basement, where boiler room is now
- 34) Outside door at same location opposite door above appears to be original entrance door with transom
- 35) Wooden wall between stairway and porch appears to be original
- 36) Third floor, looking down rear stairway. Note brick on left steps in for third story floor system
- 37) Wooded wall between SW corner room and rear porch appears to be original
- 38) Door at same wall as above on rear porch appears to be original
- 39) A,B,C - Third floor after plaster has been removed
Arrow showing north
- 40) A,B,C - Fourth floor after plaster has been removed
Arrow showing north
- 41) Looking under front stoop - North wall under stoop is Sav Gray brick. East wall appears to be concrete block; ceiling is blue stone
- 42) Front door in basement, this doorway looks to have been an original window. The brick from window seal height down behind door jamb appears to have been broken out on both sides and from the window seal up is smooth painted corner where window was originally
- 43) Shutter found in attic possibly original
- 44) Looking north at stairwell, floor system between 3rd & 4th floor. Brick work masonry framing everything appears to look the same, no difference in anything between 3rd & 4th floor
- 45) Roof framing over rear porch, notice the roof is framed over. A - left side B - right side facing rear of building - Must be original
- 46) A,B - Standing in rear porch note brick in corner tied in must be original
- 47) Original door in NW corner going out to rear porch - third floor
- 48) Same as above - fourth floor
- 49) Standing on rear porch look into rear stairwell wall appear to be original
- 50) Standing in SW corner of room looking out onto rear porch. Door and wall appears to be original

Heineman House

Page 3

51) A,B Basement windows have Sav Gray Brick ^{Jack-arch} ~~row-leek~~ above windows

C-B - Also, Sav Gray brick window sills

52) Window sills on 2nd, 3rd, & 4th stories

A - have blue stone sills

B - with Sav Gray brick ~~row-leek~~ above

Jack arch



J.T. Turner
Construction Co.
I N C O R P O R A T E D

J.T. TURNER, JR.
PRESIDENT

August 28, 1991

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JONES & HERRIN
HEINEMAN HOUSE
125 HABERSHAM

- 1) Parlor floor porch door going to rear stairwell. No Mortis' on beam at this level.
- 2) Brick wall at same location ; note mortis for round hand rail.
- 3) Rear porch (third floor).
- 4) Close up of mortis for round hand rail. (Third floor).
- 5) Close up of beam. See mortis detail sheet. (Third floor).
- 6) Fourth floor rear porch.
- 7) Close up of hand rail mortis, (fourth floor).
- 8) Close up of beam. Fourth floor.
- 9) North wall fourth floor, typical on all floors
- 10) South wall same as above.
- 11) Next ten pictures, all of roof detail



**J.T. Turner
Construction Co.**
I N C O R P O R A T E D

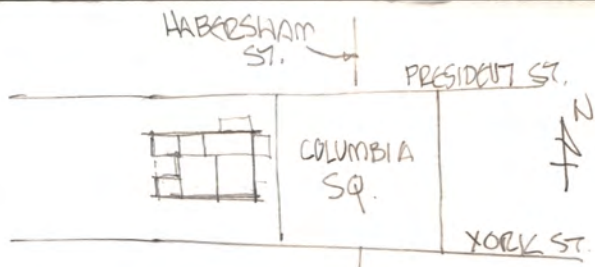
J.T. TURNER, JR.
PRESIDENT

August 28, 1991

TELEPHONE
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FAX
912-356-5615

JONES & HERRIN
125 HABERSHAM STREET

- 1) Rear door parlor floor NW corner of building
rough opening size 3'5" x 9'6"
2'8" x 6'10" door with 2'8" x 1'8" transum above
- 2) Same as above
- 3) Typical basement window (see attached detail)
- 4) Same as above
- 5) View from outside showing wood pegs in sash
- 6) Mullion basement window
- 7) Existing front door parlor floor, picture from inside
Rough opening 4'1/2" x 9'6"
- 8) Same as above picture taken outside
- 9) Third story window
- 10) Same window as above showing wood tendons
- 11) Same window showing mullion
- 12) Parlor floor fireplace
- 13) Basement floor NW corner, showing where original window was,
would be underneath rear door. (See #1)
- 14) Same as above, showing where original window was on right,
south wall has been filled in with cement block also. This
is typical on either sides of basement porch area.



To be restored for Mrs Anne Lane (mills Lane) Savannah



SLOTT
20

ORIG. PARKING GONE

YORK ST.



STOOP
ROOF =
MODERN
(OR AT
LEAST
LATER)

GRANITE
STEPS
(CONC.
COAT ON
TREADS)



mod. side porch



← Columbia Sq

← brass finials

— old or modern?

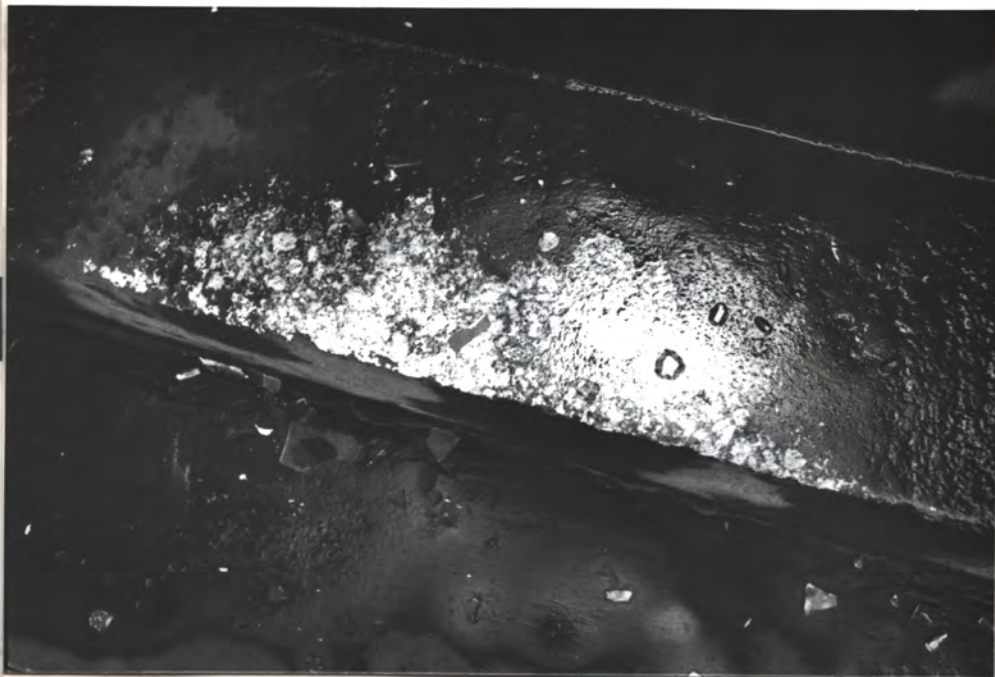
Apparently modern, since they are also on mod. N.E. street

← iron rail — (see p. 16)

old or modern?

Looks old, per scroll at

← bottom photo



← N

← granite steps at entry. Most have a thin mod. cem. coat over



← entry rail.
old or modern?



26

Window by entry

Modern "blind"



Door - probably modern. ^{TA N}
 Could not open for examining.
 Locks = mid 20th c.
 M.O. width = 32 ±



→ N

Probably when the levels 1 & 2 were extensively remodelled. Plaque on stoop front.



↑ N

↑
prints
steps

sash holdopen (LH) on sash shown at left



Level 1 sash sill (S. Wall) ↑ N



→ N

Stucco = Modern

→ N



→ N

Door by stoop,
to level 1

bricks = modern

Oct. 1991

P.S. - Later investigation proved that the house NEVER had a porch.

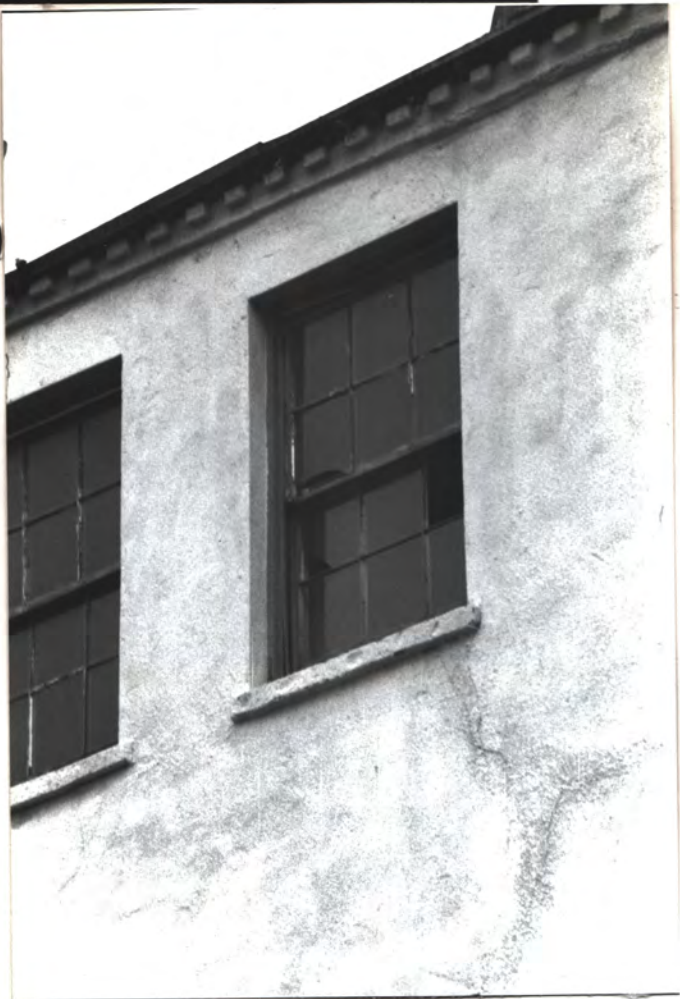
Carol desired one, however, & W was part of it.

original porch is gone. Note flashing about 18" up on chimneys



N ←





South
Window
(modern
stone)
Most
sashes
are
modern.
See
"Field
Notes"





See p. 12 for
view
high roof

N

Note flashing \pm 18" up on
chimneys denotes line
of missing parapet

N



P.S.
No
ORIG. PARAPET?
(REMOVED)



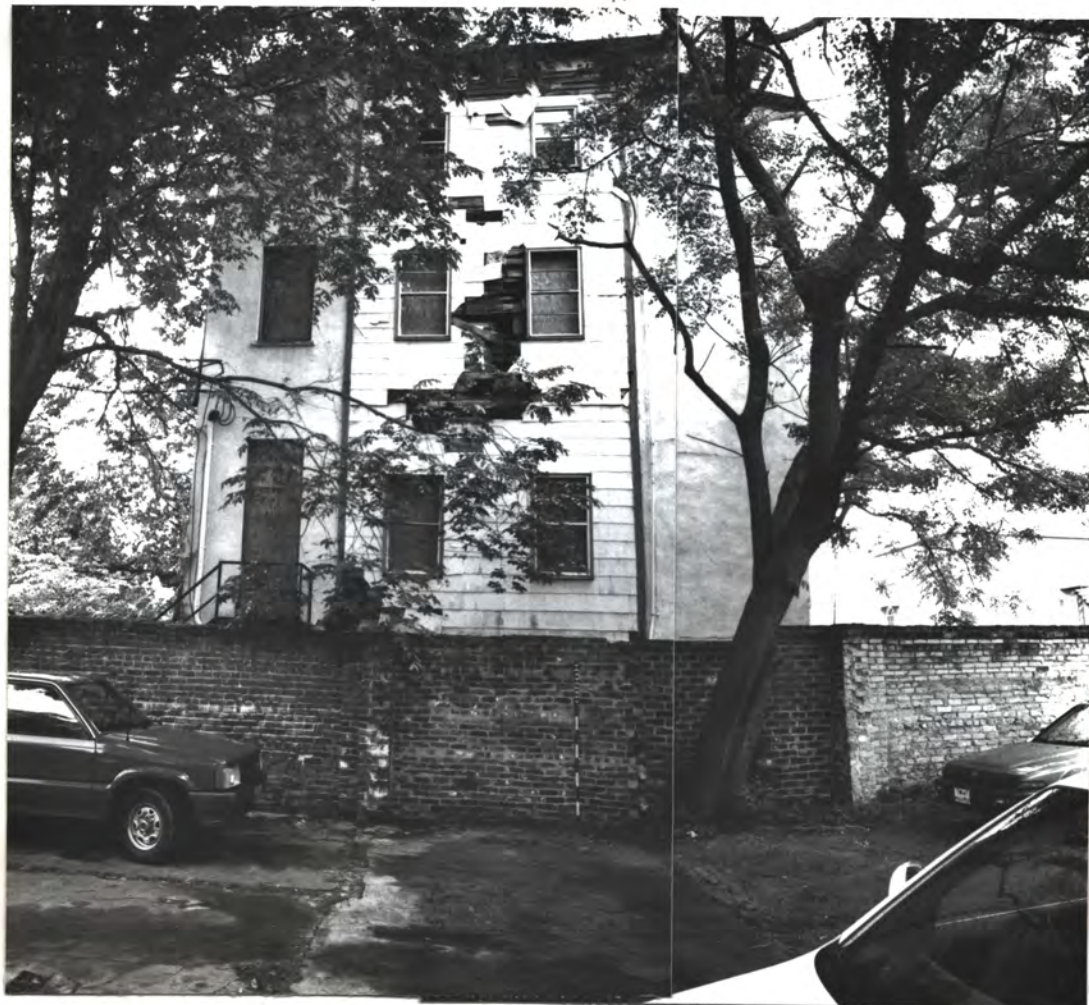
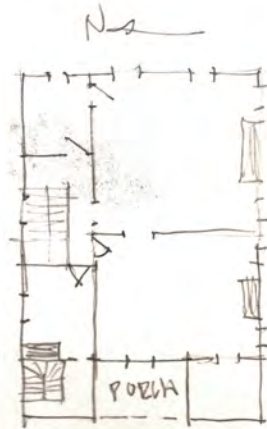
note cutouts
for missing
blind-hinges

note
blind-hinges



H
P

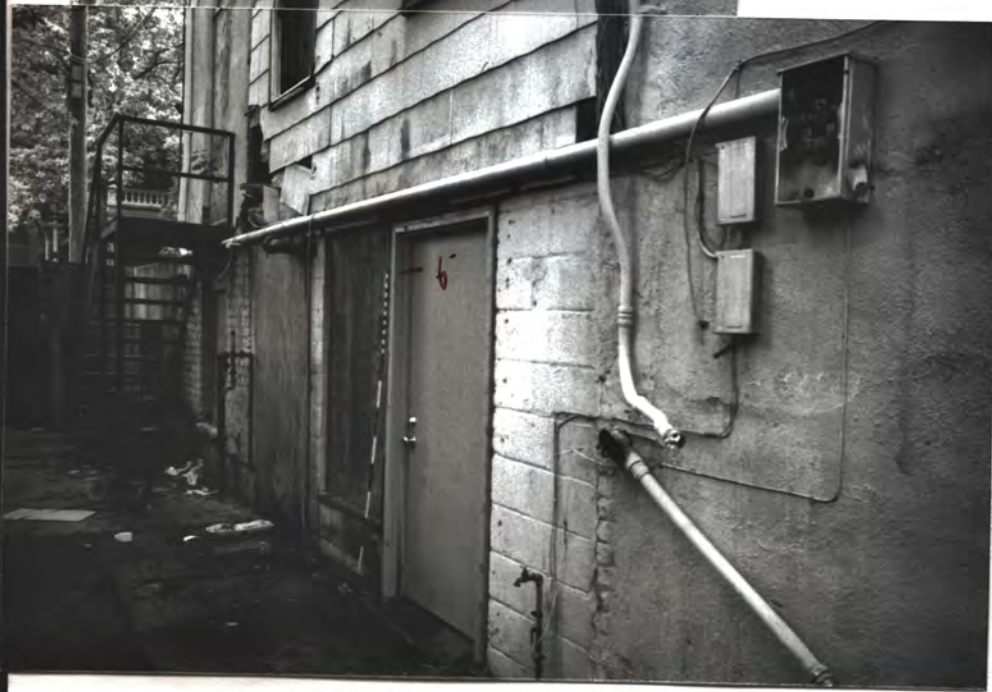
*Orig. porch enclosed in mid 20th C.



West Rear



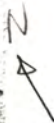
← am. - asbes. shingles
= enclosed porch
(mid 20th c / stone type)



West Pass



Wall broken by
tree expansion





West
→ porch enclosure in ± mid 20th c.

West near, at roof



↑
Heineman Hse (hip roof) → N
View from office, across the square



Modern steel stair

2



Early 20th c
smokeless garbage can

2

13 of 62



↳ modern gate
N



modern
N.E. stoop

↳ N



↳ N

↳ N



↙
2

Original
East Stoop
(mostly)

Modern
N.E. Stoop



N →

N.E. Stoop (modern) →

↙





Not phy. over door at N.E. Stong

LEVEL INT.

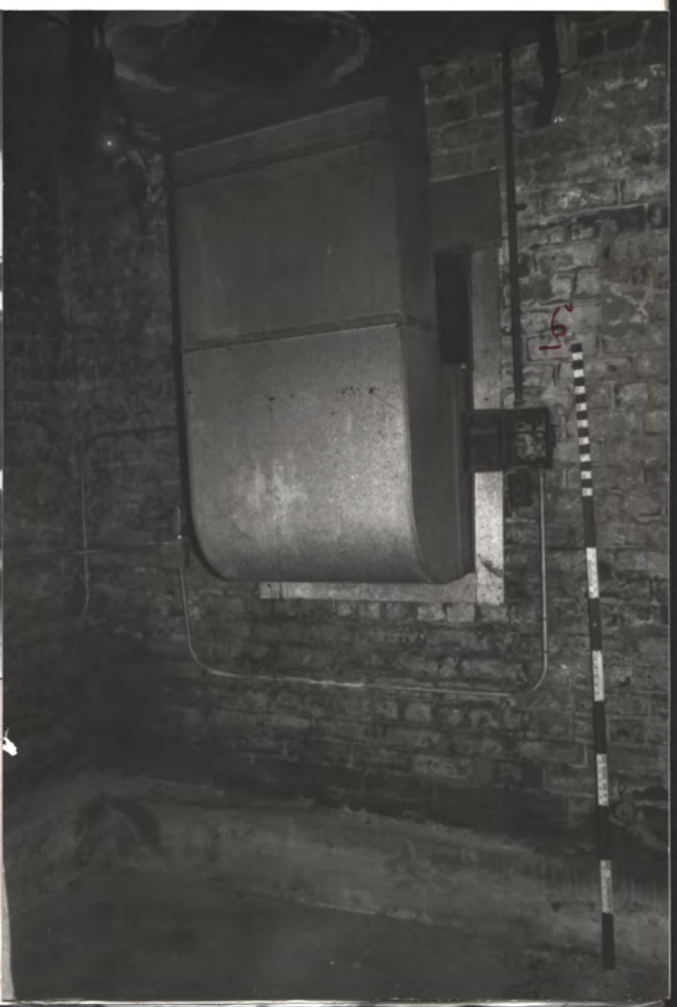
Level 1



↔ Rear Rm (was porch)



↙ ↘
mod. Steps up
to S.W. Rm
to west yard
Fl. is ± 12"
lower than
others
N.W.
1210
N
17 of 62





→ sash frame
of sash here is only.



Level 1
S. Cent. Rm
(Renov. c. 1960's)





N →

Level 4
S.E. Rm
(Remod. c. 1960's)



Fl. lowered $\pm 12"$
in c. 1960's

→ S

19 of 62

20



Level 1 S.E. Room fireplace
 Cooking crane looks original. F.P. bricks & mortar looks original



Stoves on
 Chim.
 Front
 appears
 modern
 (c. 1960s?)



Alonistid
tile cart.
↓



Looking up into flue

→ N

Level 1 S.E. Rm.
Looking F.p. of crane

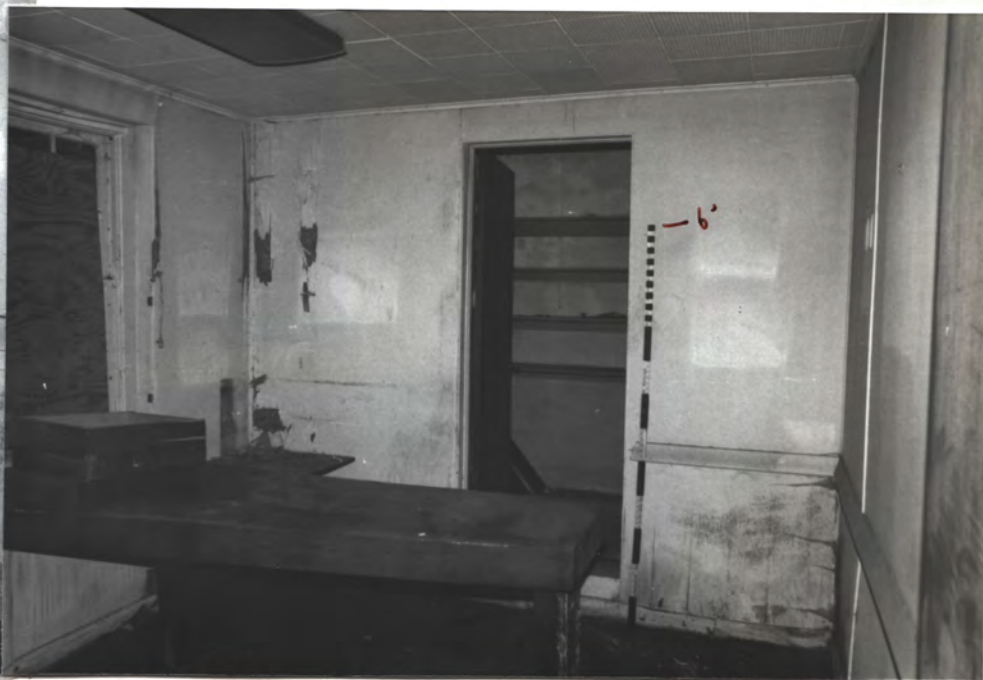
21 of 62





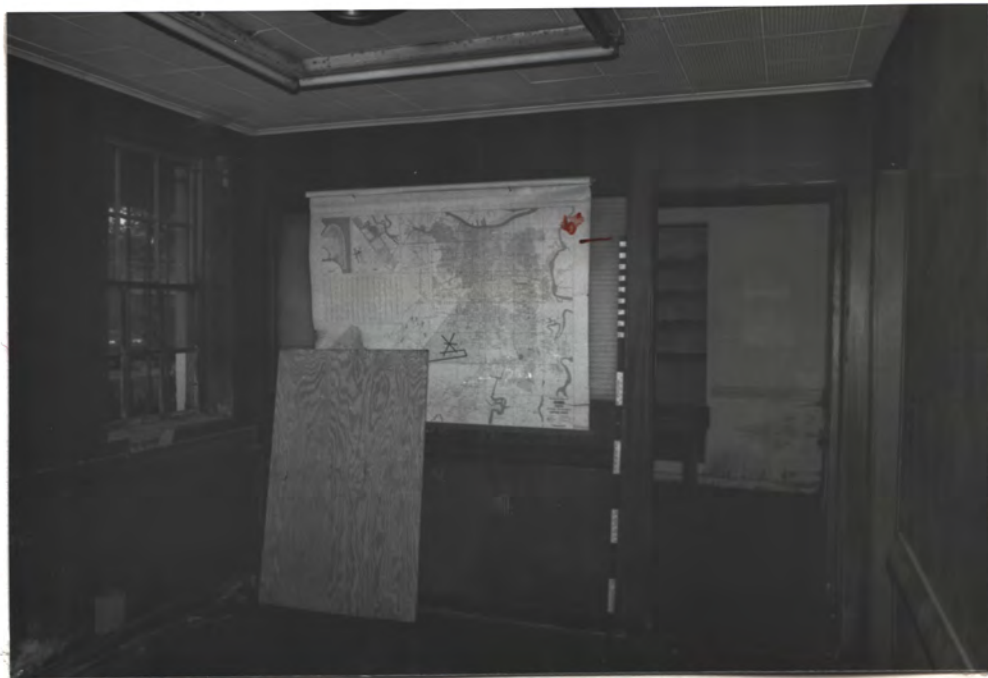
N ←

Level 1 N.E. Room



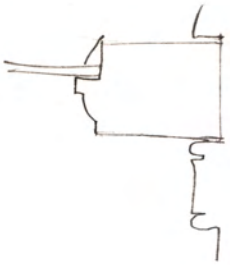
N ←

↑ to small rm.
below stoop

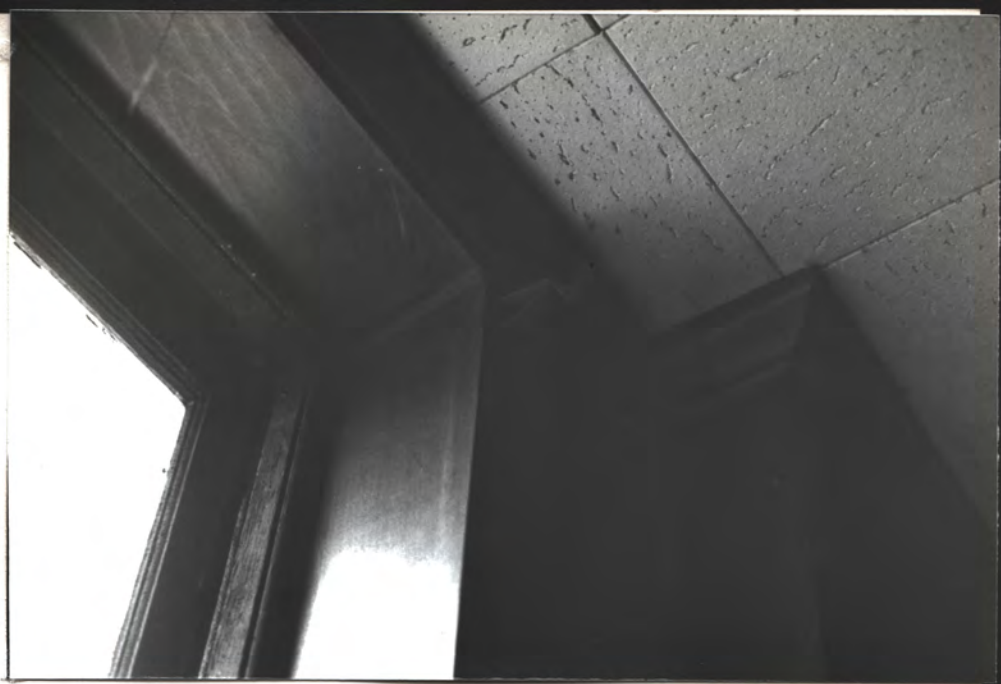


N ←

Level 1 N.E. Cent. Room.



Only sketch of
frame



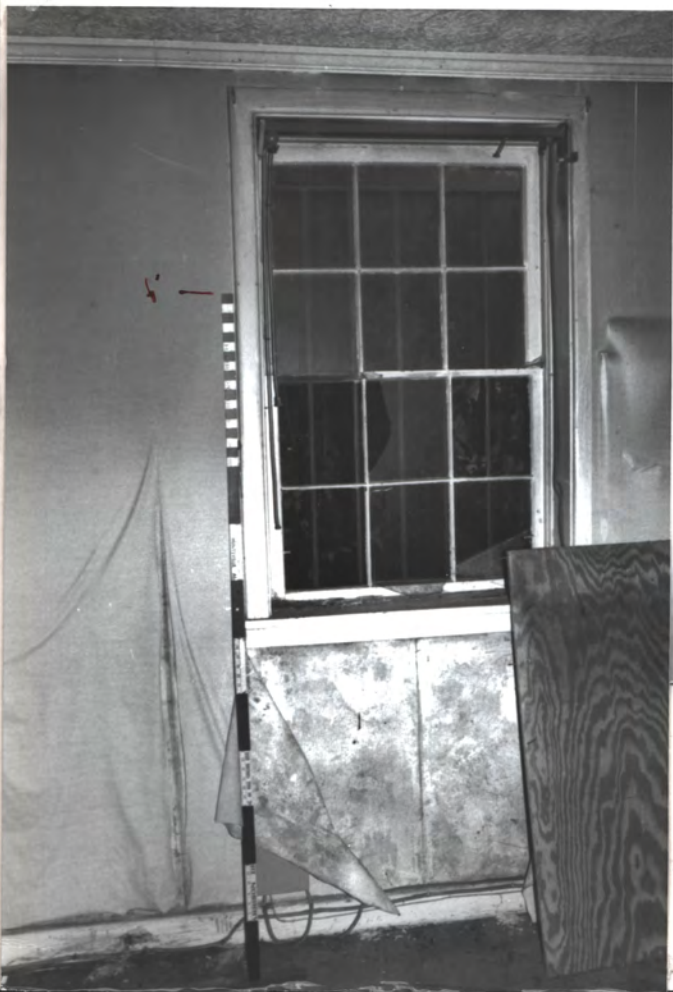
c. 1960's
dark ply.
wall



N. Snake at
Level 1
NE's Cont. Rm



N ↗



N ↗



→ N

Level 1 N.W. Cent. Rm

Wood



Meeting Point

Level 1 ~~X~~ Sash

P.S. Aug 9'91 - These are Federal Panel
sashes ~~BUT~~ INSTALLED LATER (original
junks are BEHIND these junks)

See
Aug '91
"Discovery"
photos
by
Ralph
Anderson



Note brass pin
& holes in joints
to hold sash
open (or shut)

SMA



Level 4 Orig. Sketch



LEVEL 2
INT
STAIR

→ N

N. Door + N.E. Side story ↓



→ N

c. 1960's
photo

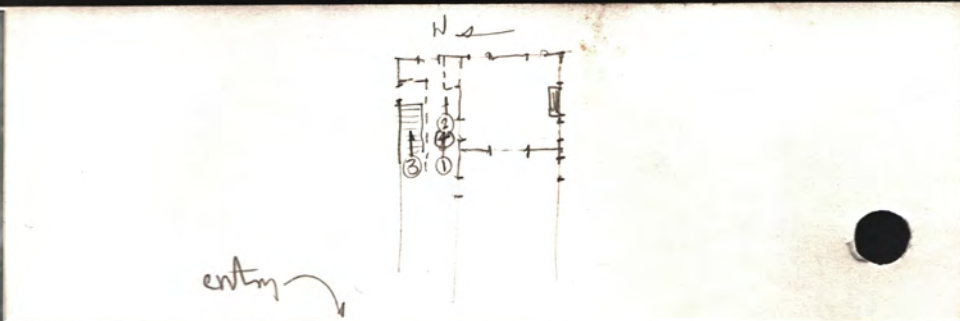
Level 2

Navel may be
orig. (?)

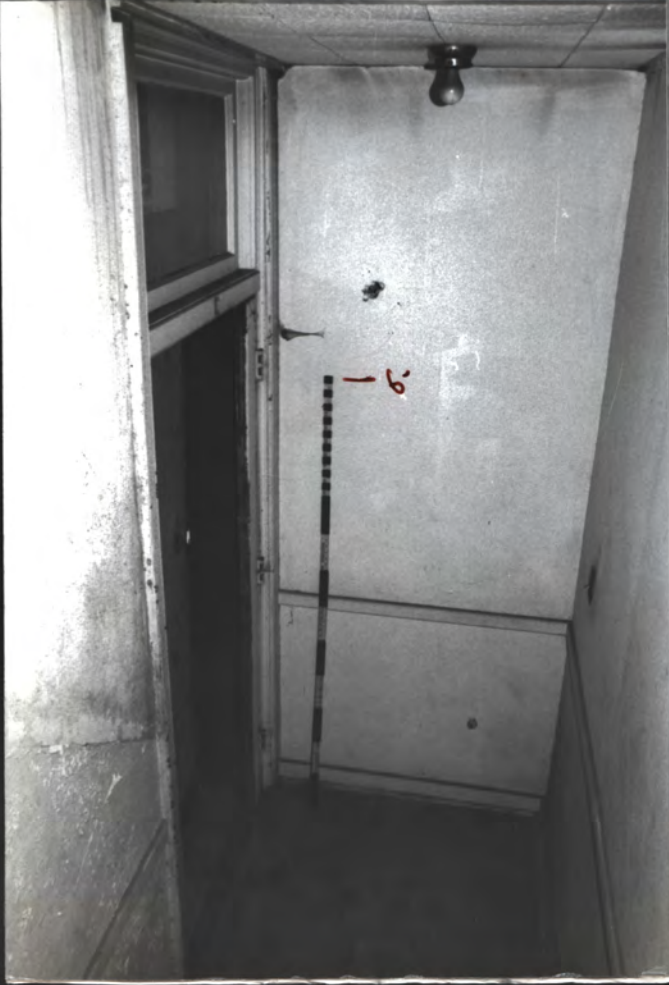
→ N



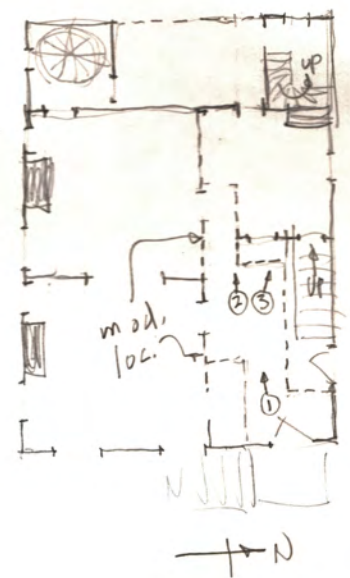
27 of 62



1 modern
 door to N.E. Stoop
 2 modern (stairs is behind)
 3 orig / mod partn
 4 modern dist
 ORIG. PART. LOC.



↑ entry behind
 mod partn
 mod partn
 Level 2
 loc. of orig. partn (see p. 29 plan)
 28



mod. closet ① mod partn. w/ mod finishes (c. 1960's) mod. stairs beyond

Level 2



② STAIR SOFFIT



③ STAIR SOFFIT

↳ orig. door frame & partition loc.



mod.



0210 FIREBOX



All finishes mod.
(c. 1960's)
dark walnut ply.
acous. tile wall
FL = 0210

Level 2
Sketch 30



← c. 1960's plaster
"Colonial Revival" mantel

→ N



→ N
Orig. fl.

Level 2 S.E. Rm



H



c. 1960's mantel gone

H



All finishes = c. 1960
(Fl. = orig.)

C.I. in coal grate looks
late Vic.

NW

Level 2 S. Cent. Rm

H



All finishes
= c. 1960's
(fl. = original)



N

to hall

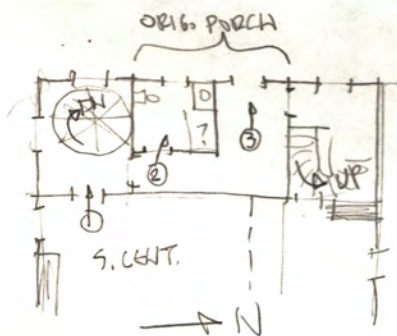
Level 2
S. Cent. Room



① ↑ to S.W. Rm., w/ c. 1960's spiral stair → N



② c. 1960's bath → N

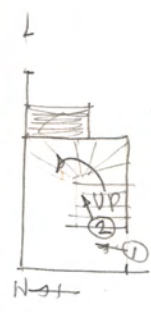


③ Enclosed back porch → N P to N.W. stair

LEVEL 2-REAR



black =
fire in
stair



① N ←

N.W. Stair at Level 2

② N ←

bottom part of original
door frame & hall

← N

exam. N. Cent. Plan at Level 2

← N



mod.
reconstr
work
(c.1960's)

modern
ply.
paneling
(c.1960's)

mod. door
to beneath
orig. stair

LEVEL 2

35 of 62





→ N



N_s

← this rail is a 20th c.
replacement, on the original (probably)
balusters probably orig.
Novel may be vic (?)

LEVEL 3




door to hall



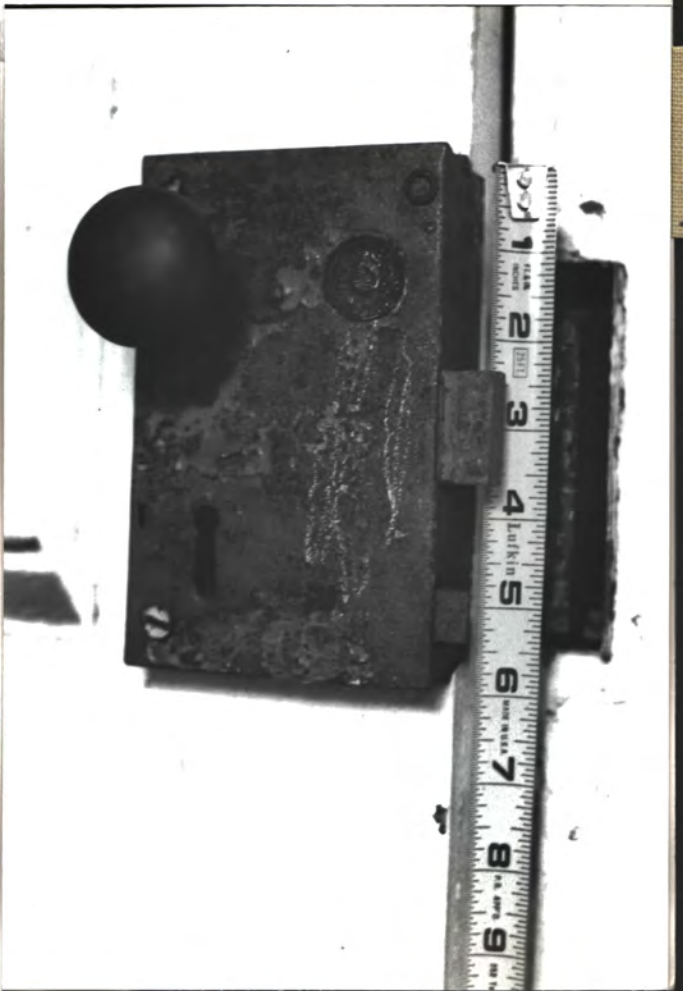
brass lock on lock at rt, $\pm 3/4"$ ϕ

"Pendulum Latch"
"J. ... OUNG, PATENTEE"
(40)?

↑ RAMPANT
RABBIT?!
CAN'T
TALK



LEVEL 3, N.E. Rm.



LEVEL 3
INT.



Level 3, N.E. Rm
N-S

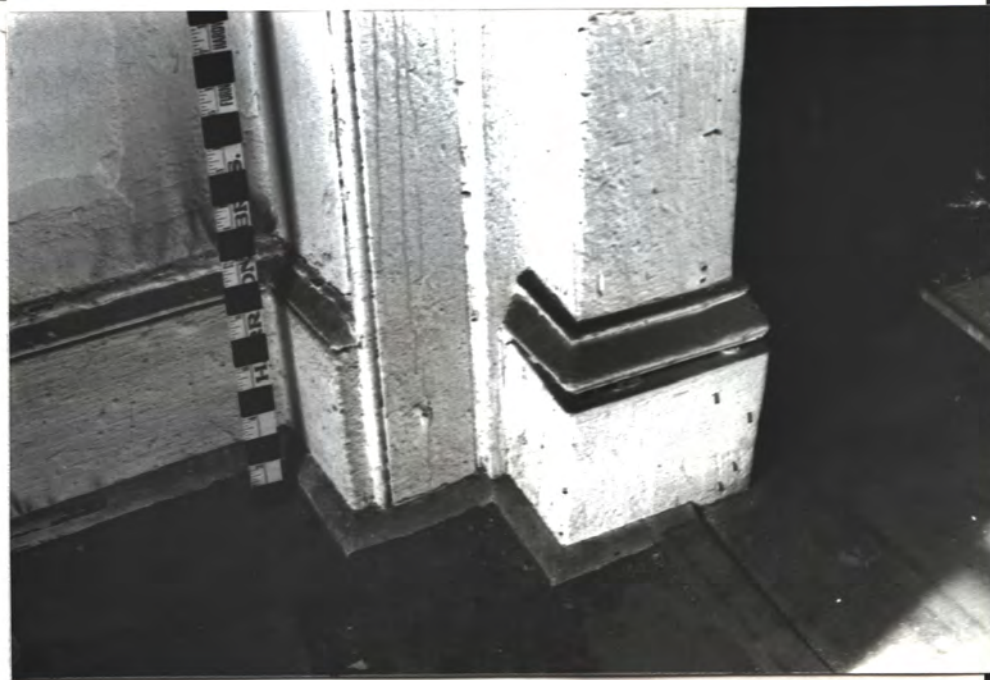


to Level 3, S.E. Rm



4'-0"
N-S
Old Rev. mantel, viz. coal-grate

Level 3, S.E. Rm



Ok. Removal
wanted.
Mod. cem. beneath



Level 3
S. Gilman



AN



N

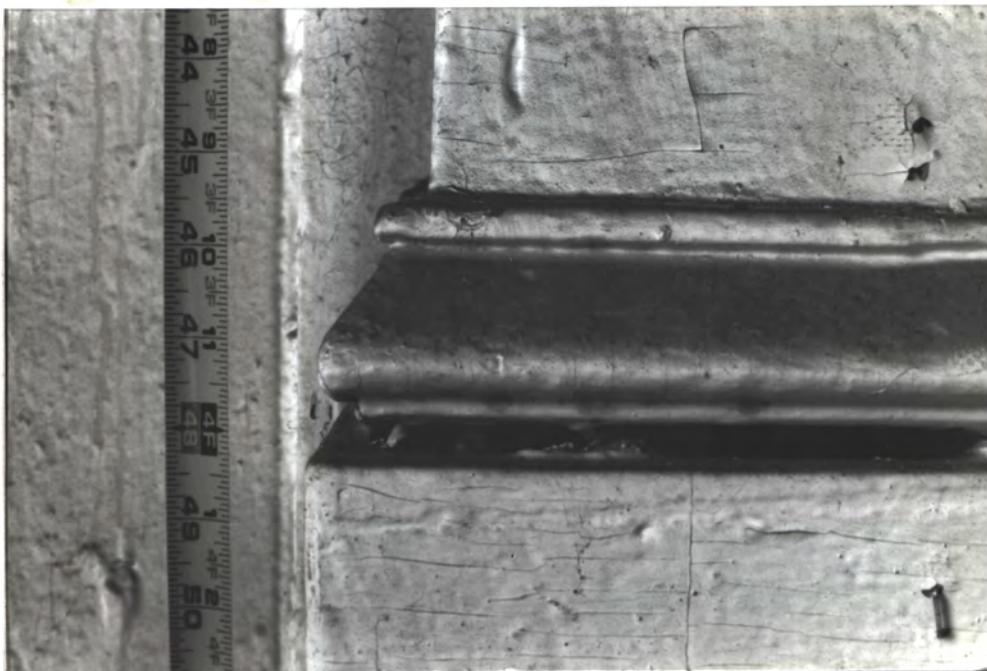
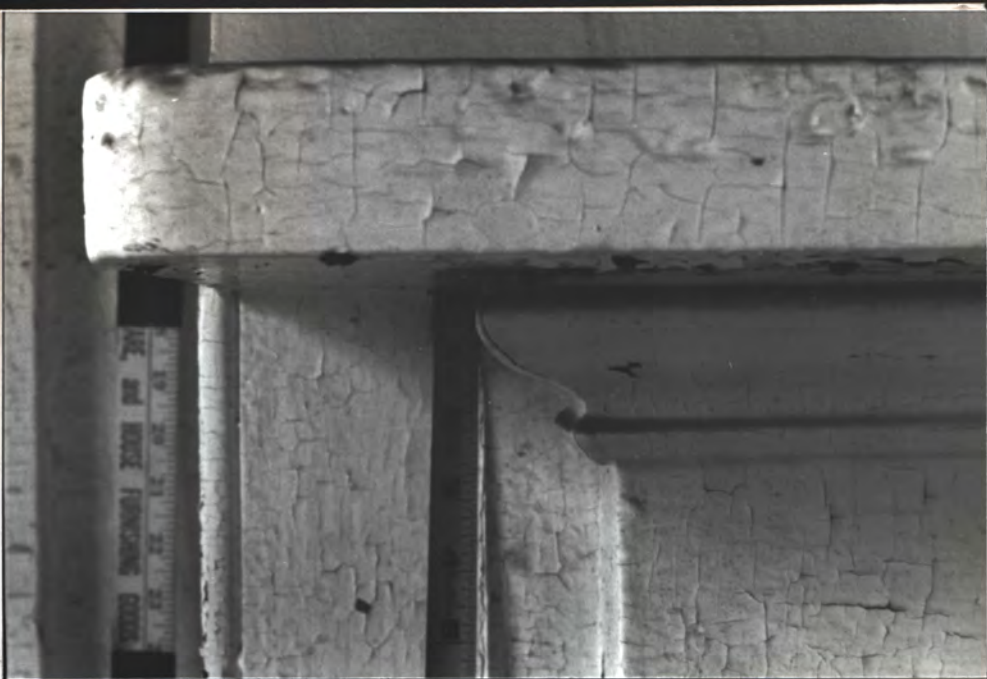
Vic. coal grate
of cem. hearth
OK. Rev. Mantel



2

Level 3, S.E. Rm

40



Level 3, S.E. Room
Gk. Rev. Mantel

4/0662



Note chains at
Snobs - wto =
Vic or later

See "Field Notes" for
which snakes appear
orig.

Level 3, S.E. Rm.

Picture - road
may be Vic. (?)



Level 3, S.E. Room.

South at S.W. Wall,
East of Mantel

#30662



↑ note exposed tenons.

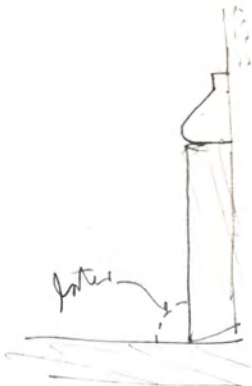
Typical Door - Level 3 f 4

← note unitary
C.I. hinges
(typical 1800-1860)



Level 3 - S.E. Room

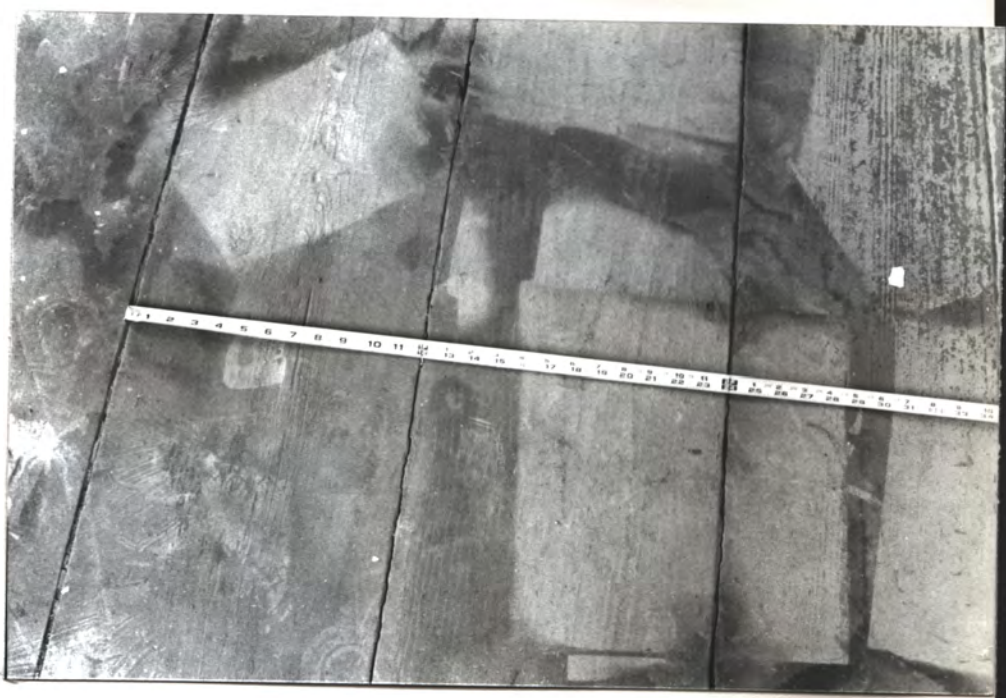
N →



Level 3 top, base



Level 3 top, ft.
(heart pine,
apparently)



Level 3



→ N



→ N

was a window to back porch,
later enclosed



→ N

Level 3, S. Cent. Bldg.



42
N



0

N

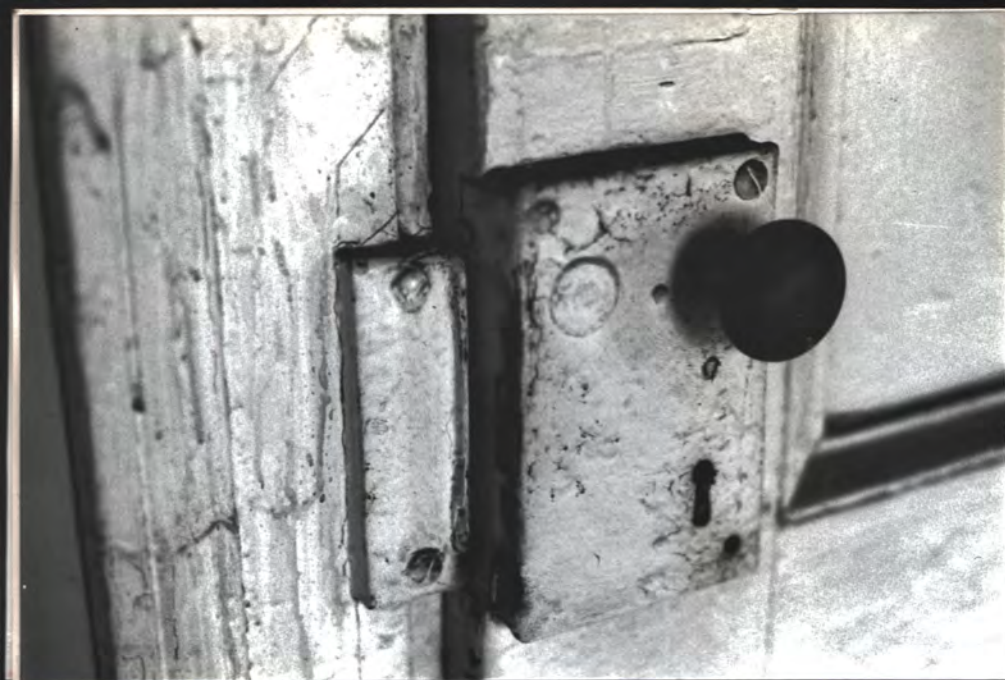
Gk. Rev. Mantel
Vic. Coal-grate
Vic. cen. hearth



N

Level 3
S. Cent. Room.

47 of 42



N. Door lock at
Level 3 S. Cent. Am.
= same as at level 3 NE Am

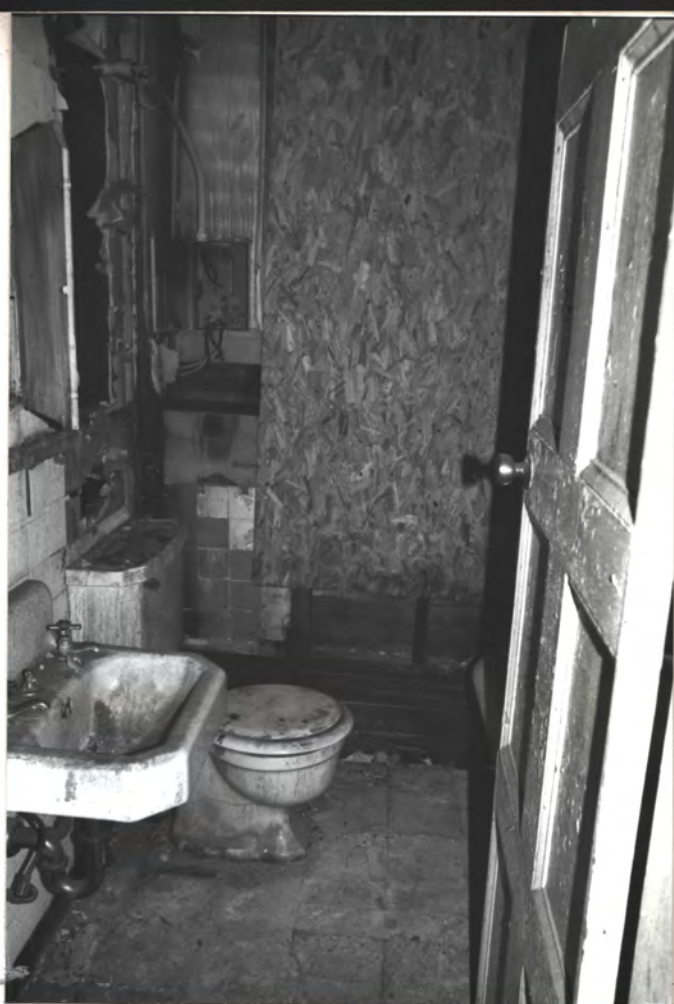


→ N

Typp Flr - level 3 (+ other flo)
heart pine, apparently
probably 5/4 T & G



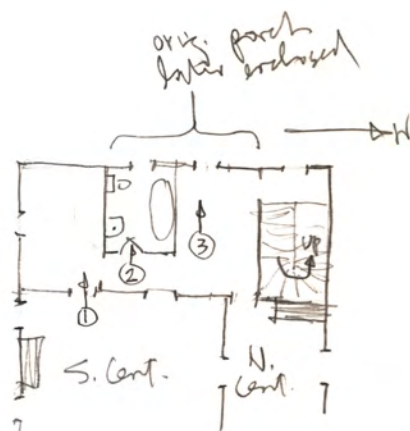
Mod. KIT. ①



② Mod. bath



③ Mod. "Utility"



Level 3 Rear (W) Plan

49.06.62



Hot ← black = fire

UP

RAH

Level 3 Stairs up



SN



N →



→ N

Level 3 - N. Cont. Rm

.51 of 62



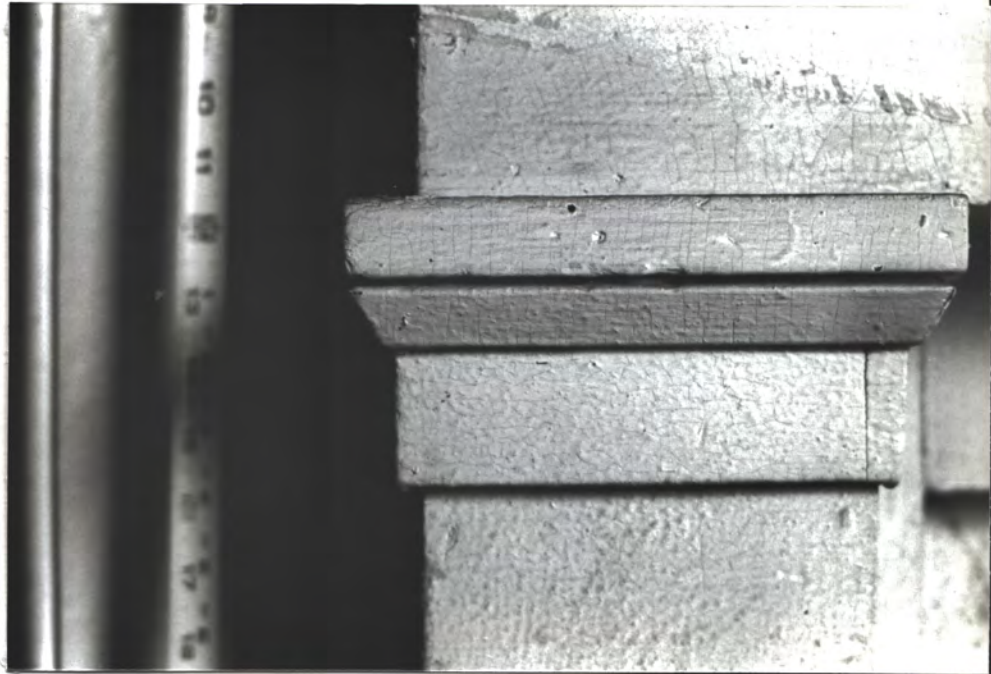
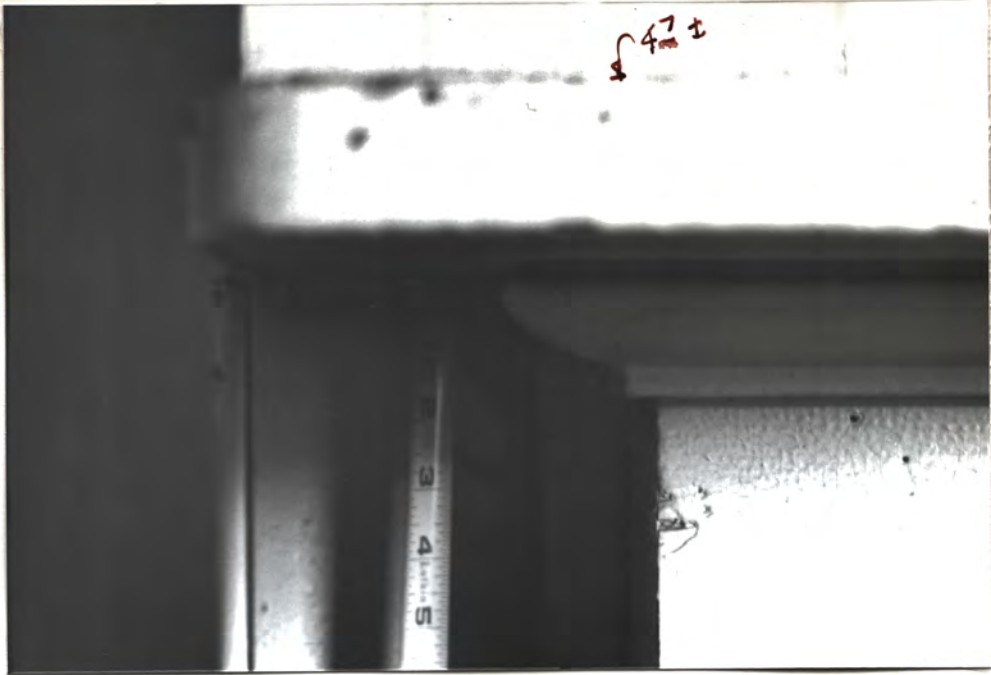
→ N
Ok. Plav. mantel
Vic. cool ystra
Vic. cen. hearth

→ N



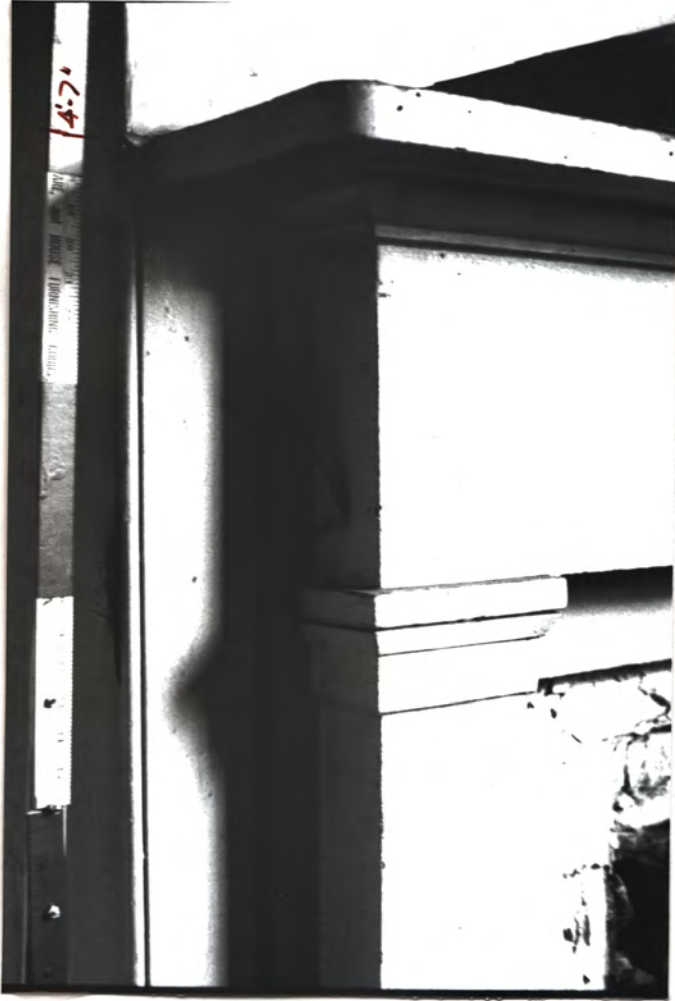
Level 3 N. Cent. Rm

→ N



Level 3 N. Cent. Rm


53sf62



Level 3 N. Cent. Run
Ob. Rev. mantel



N
+

→ This rail is a later non-matching patch - job  (Vic.?)

→ N



Novel
may be
Vic (?)

LEVEL
A
↑

→ N

55 of 62



LEVEL A
INT.



2A

Landing between levels 3 & 4

→ W



Level 4, N.E. Rm.

N ←

→ N



56



N
↑



N



ply. over window

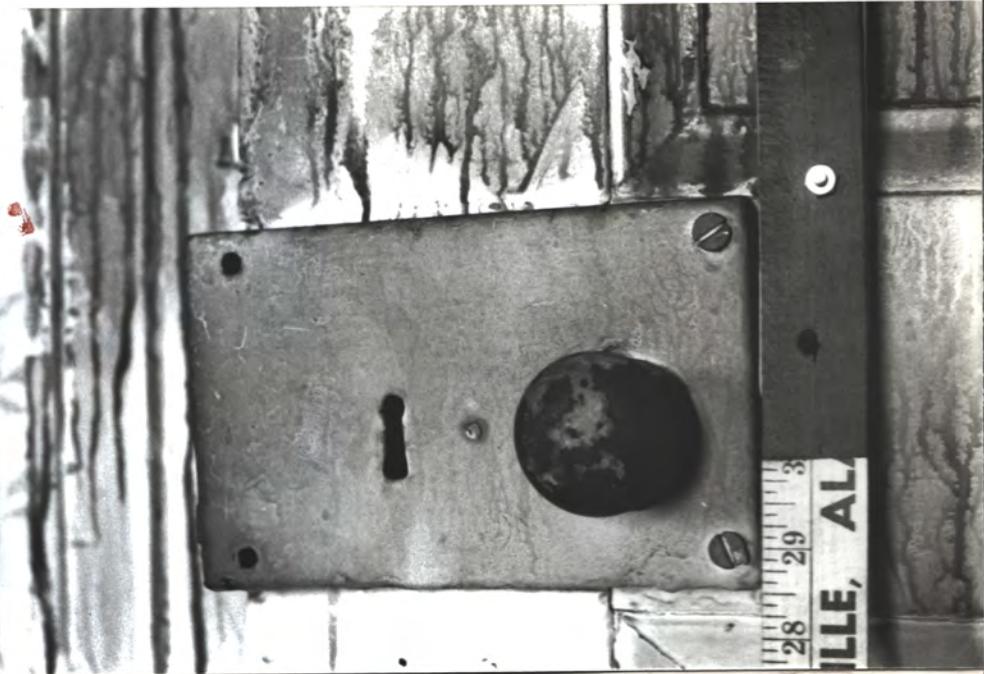
66. Rev. Mantel
Vic. coal grate

Level 4
S.C. Rm

N



5.7 of 62



Orig. lock, 1842

Phenix knob



typical base at level 4 (not like 3)

Level 4 S. Cent. Rm





NA



NA

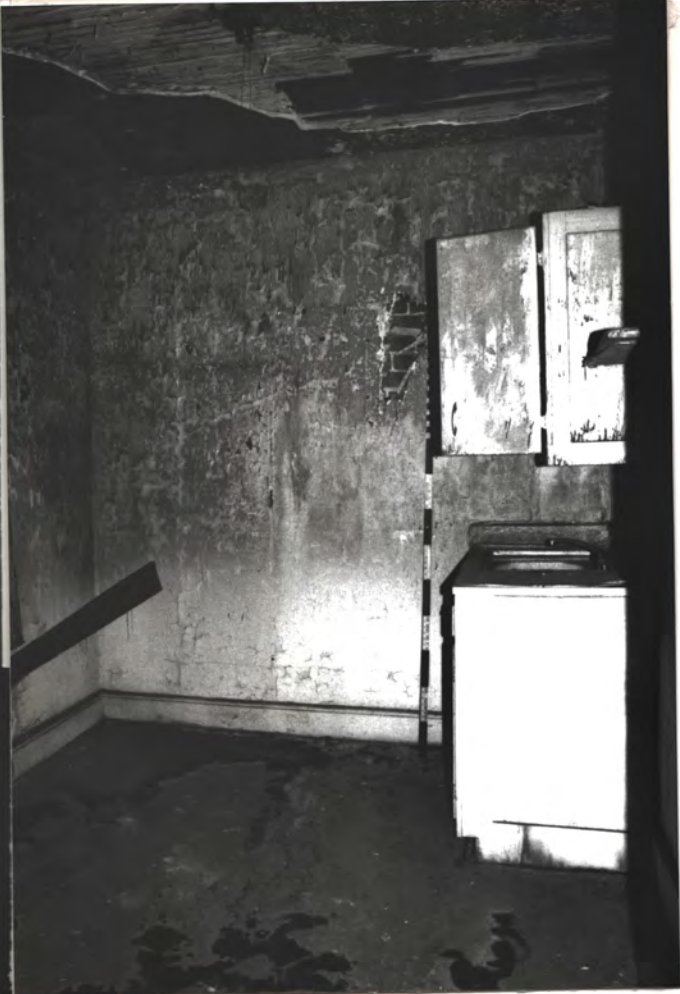
WAS A WINDOW



NA

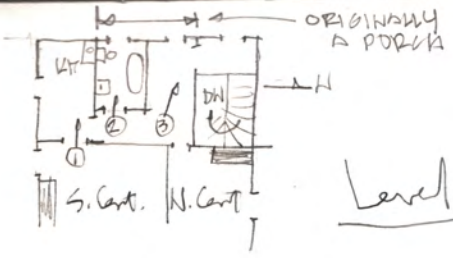
Level 4
S. Cent. Rm

590A62



①

②



Level 4 Rear Pms

③



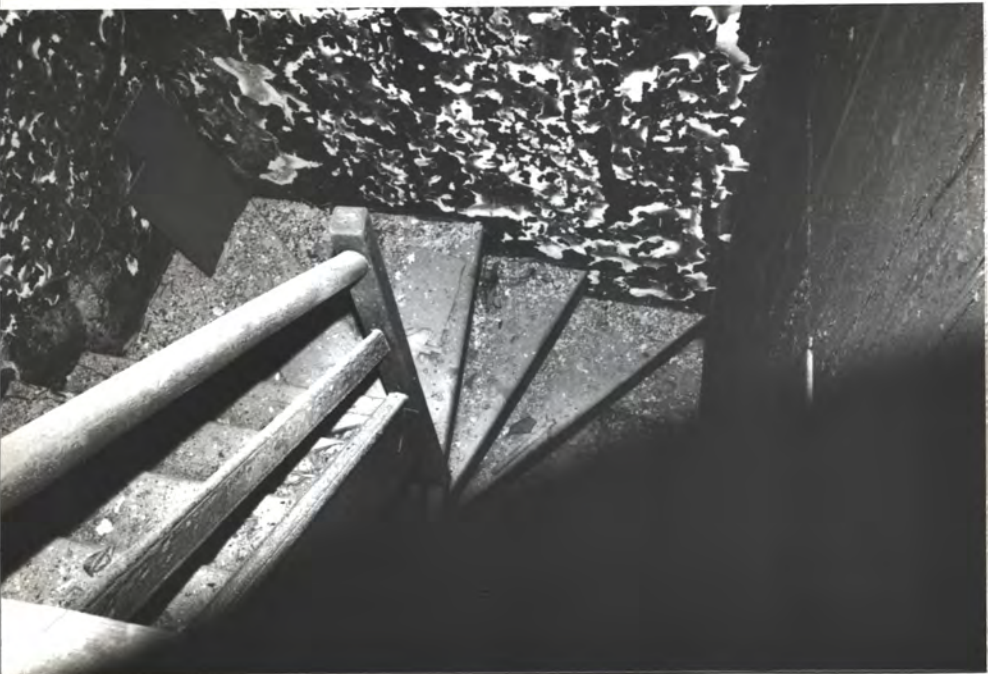
Typical Levels 2, 3, 4

200s c. ends

orig. 5/4T & G plank wall 60

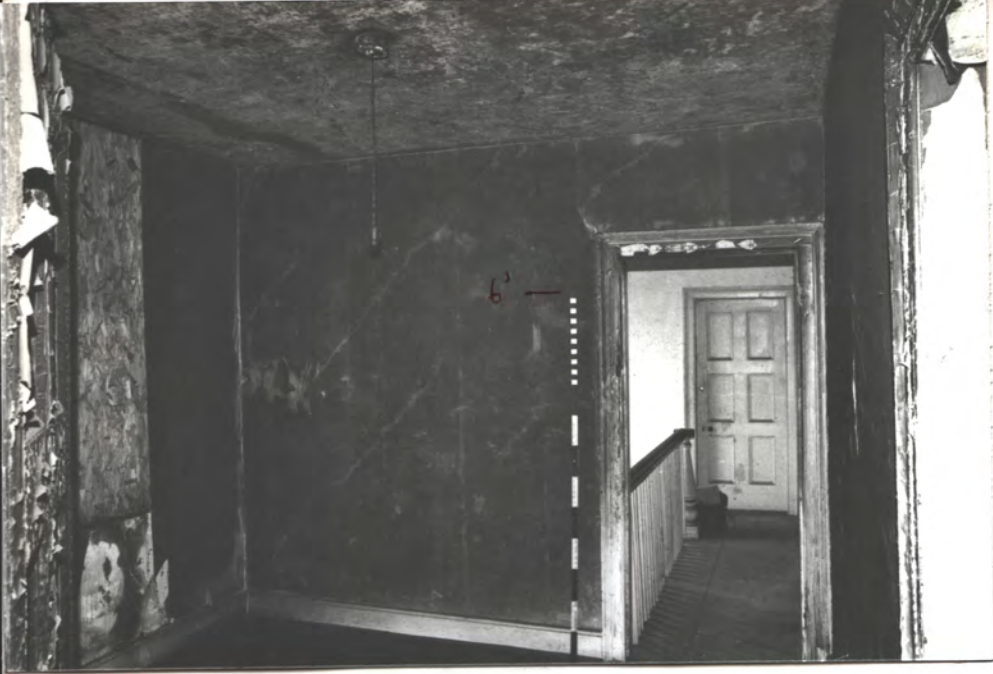


black = fire-soot



Level 4 stair
at new

61 of 62



→



→ N

Mantel same as at level 3 N. Cent

Level 4 - N. Cent. - Dm



RESTORED EAST FRONT 14

FREDERICK AUGUSTUS HEENAN HOUSE
 1842 COLUMBIA SQUARE
 SAVANNAH, GEORGIA
 PRELIMINARY RESTORED FRONT ELEVATION

JONES & HERRIN, ARCHITECTS
 HUNTSVILLE, ALA.

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS

Drawn:
 AR Jones FAIA
 Checked:
 Date:
 June '91



note
rail-
mortise →



← APPARENT ORIGINAL BRICK PORCH COL.
FOUND IN BSMT. BY SVPT.
LOOKS CORRECT FOR THE PERIOD.
(REPLICATED FOR RE-OPENED BRICK PORCH) →



1842 HEINEMAN LIST
COLUMBIA SQ. - SEVENHILL, GA
RESTOR / DEMO. SJH, ARCH. - W. JONES
1991
ALL COLOR PHOTOS BY RALPH ANDERSON, (SVPT., 1991
FOR ST. TURNER CONST., SEVENHILL)
OWNER - MRS LINDA (+ MILLS) LANE, SEVENHILL 10/27



level 2 PH

mortise
for round
rail



level 2 VN

REAR
PORCH



level 3 AN

mortise
for round
rail



level 3 AN



5 looking up at new porch w/d. beams → N



6 level 4 new porch → N

7 level 4 new porch → N

Round markers for rail



3 of 27



8

level 4 beams (look up)

Plank walls are
T&G s4 jack-planed
f: original



level 4 porch

↗ N

16



level 4 rear porch

↘ N



dentils
8/26/91

Rafter extn. over brick dentils



Roof deck

Scaffolding



Scaffolding

Roof cornice

8/26/91

Chimney



Roof evidence is that this house NEVER had a parapet as on other Summerhills





orig.
roof
deck

brick
dentils

scaffolds



Brick dentils (modern "gunnite" stress)



SR

S. SIDE

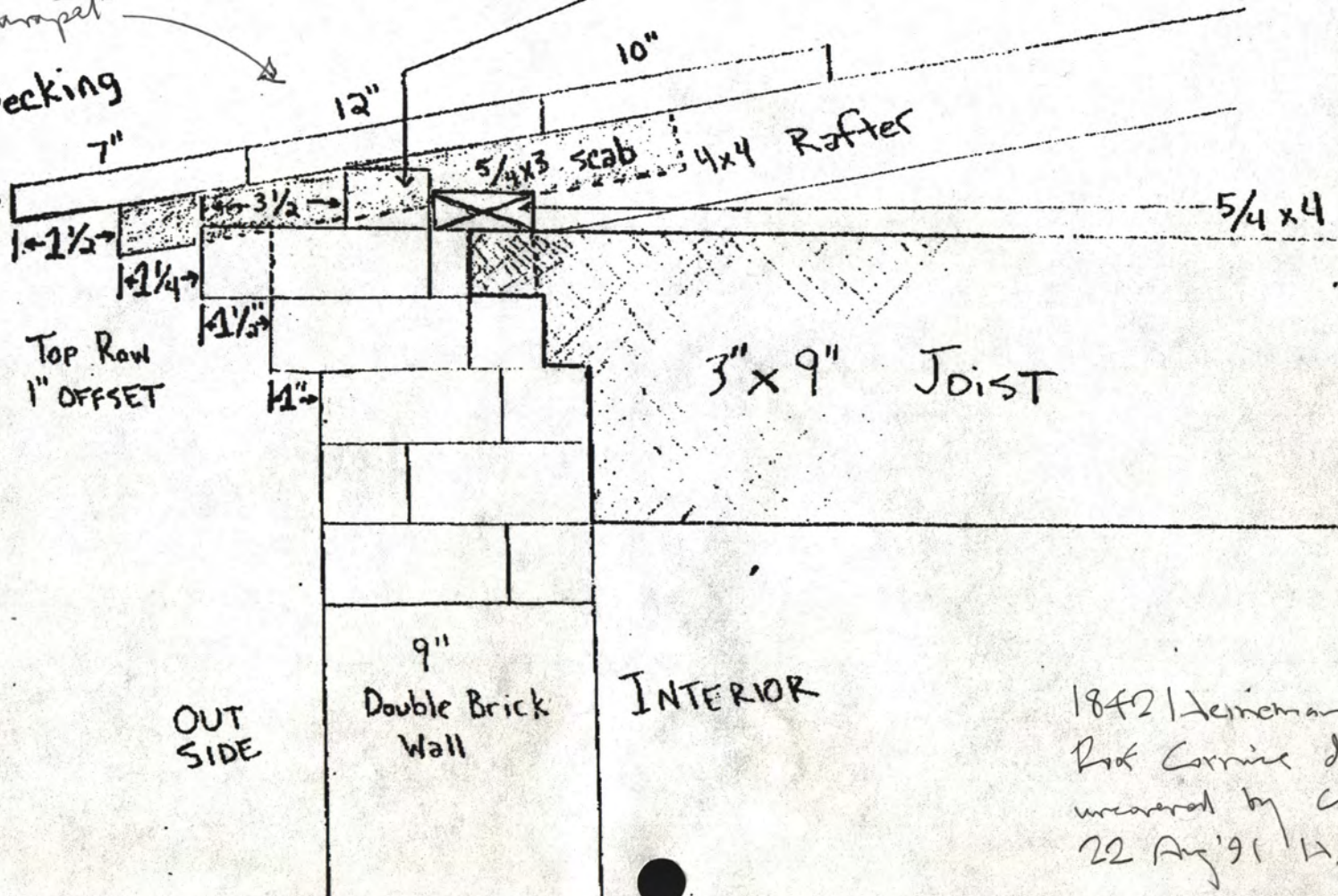


TOP VIEW OF DENTIL



No evidence of ever having had a parapet

5/4 Decking



Top Row 1" OFFSET

1842 Herriman 124
 Roof Cornice detail
 uncovered by cuts.
 22 Aug '91 H.S.

20527



← YORK

← HABERSHAM

Columbia Square

→ N

note sash - saw marks on joist



8/26/91

original Rof Deck
Note sash-saw marks on deck bds.



8/26/91



← HABERSHAM

→ N

← PRESIDENT ST.



1
HAK

front steps
("granite" stone c.1960)

brick riser Sandstone top

242

4



2



62



8

Only was scroll on steps
balustrade. Why only one?

42



5 → H ± 2 3/4" stone trend on brick step
behind c. 1960 "gunnite" stucco,
Front stoop.

± 3 1/2" inset
at sash



→ N Sash land, by stoop steps 7

Stucco covers brick 8" jack-arch
above sash

→ N

Sash by stone

6



62506



c. 1960
Stoop
Steps of
fl. of trail



N
↑

10 { Window under N.E. Stoop has no jirk-work above, indicating it was cut in later

N
↑

8 N.E. Stoop
9 { bricks & mortar appears original ("Smyrna Gray" bricks)



10



11 of 27

↑
UNDER
FRONT
STOOP
↓



→

13

↑
UNDER
FRONT
STOOP
(was
open
originally)

→

12

12A



↑
brick ends
broken,
indicating this
was originally
a window
↓

14



depth of
std. bsmt
jamb
(±17")

depth of
small
SW. Rm
bsmt
jamb
(±15")





15 Bsmnt. S.W. Rm, look E. N ←



16 Bsmnt Col. = 2'-2 1/2" w. N ←

17 Bsmnt Col. = 9" thick N ←



2

18 Bsmnt N ←



2

18B
18C
18D



18B
18D
N

Basement

S.
Cent
Rm

N

18C



S.C. Rm
enlarged
opng. at
orig. fireplace.
(see 4 files of
ext. photos)

19

N



N S. Cent. Rm



Basmt
window.
Original
wood jamb,
+ later &
smaller
wood jamb
for later
small

→
N

23



21 film in
fireplace at
basmt N.W. Rm

20



BSMWS

←
down
to
back
yard

↙
22

22



Basmt.
S.W.
Small Rm.
Brickstied
(bonded) at
Lower showing
these 2 rows
small rms
are original

↙
22

14

105
20



24 Typical beams between basement cols
26

orig. fl.
indicated
by paint
↓
c. 1960
lowered
conc. fl.



25
27

BSMNJ



← Back porch, level 2 above.

fl.
plank
bottoms
hatchet
gauges to
level
T & G's
← fl. joist



looking up at fl. joist & 5/4 T & G fl.



28

chiseled Roman numerals on joists, typical of 1800-1860

30



F

entry hall
c. 1960 1966 1921 6. 1966
stair

note notes
at header
support
stud

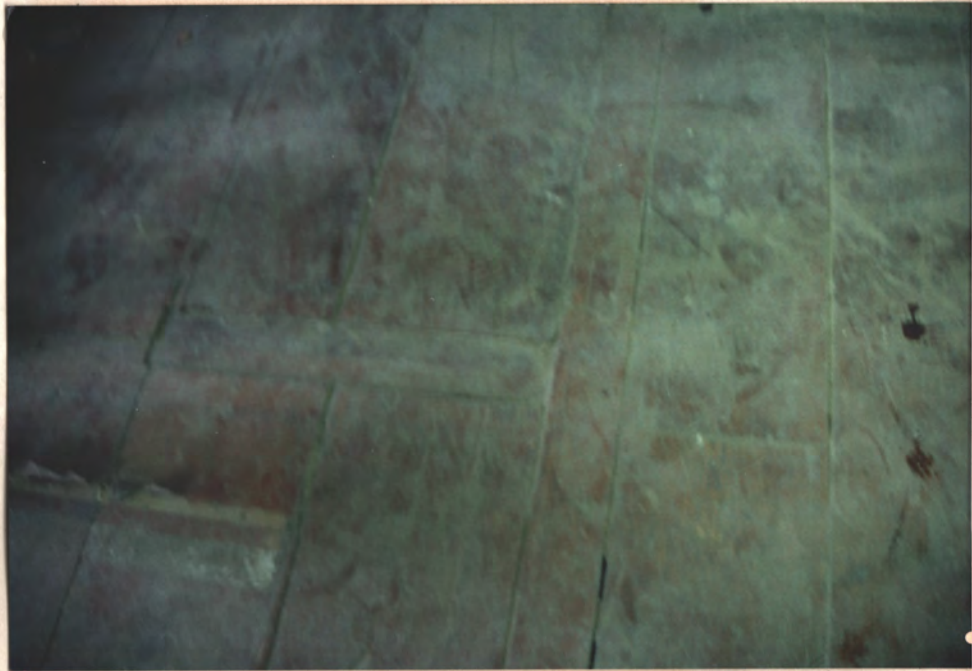


29

* door rough opening

LEVEL 2

31



Fl. filler at loc. of orig. hall partition

2 J
J 2

c. 1960
1 1/2" color
wood

fragment of original plaster
wall cornice



32

→ N

33

Level 2 rear N.W. rm., stain door to level 1

→ N



This may have been original front door. Too fancy for here

→ N
rear porch

34

35

wide bd.
5/4 T&G
vert. plank
wall between
rear stairs
& rear porch
appears
orig.



this mod. door
at level 2
back porch is
against & facing
door in photo
no. 33
below left





Level 3
N.W. stairs
(fire was
here)



37 Level 3 near porch H. wall appears original
(with jack-planted 5/4 T & G planks)

36 * 40 *
ledge

38

Level 3 —
near porch,
probably
original
door
to stairs

N
↑



39A Level 3. Plaster removed
against ADJ recommendation
S.E. Run.

N
↗

19 of 27



39B

SE Rm

LEVEL 3

N



39C

AN

SE. Rm



40A

S. Cent. Rm

N

LEVEL 4



40B

N

S. Cent. Rm



40c 44



LEVEL 4
(roof frame)

41 42

under
Front
Stoop:
ceiling = blue
stone
N. wall =
"Savannah
Gray" brick
E. wall =
c. 1960 corr-blk
infill between
orig. posts

20



Level 1 S.E. Pns
Door at E.W.M.
Originally was
a window,
based on
broken brick
ends below
window sill wt



20

U2012

43

sash blind
found in
attic, may
be original
(?)



45A

46A



46A
see photo
46B
outside

note dbl
mortise &
tenon

45B

Roof fram-
work new
porch





H

49



46

47

Level 3
Small N. Cent.
Mr., door to
back porch
beyond

46B



Note brick is
boarded at
corner, indicating
the small rear
porch - original

22

8 5 3 1



Level 3
back porch
looking N.

Level 3

23 of 27

51B

See photo
51A note



Level 3
Small S.W. Rm
looking N.E.
to door to
rent porch

50

51C

N

2



"Savannah gray"
brick
sash sills

orig.
Jank - arch
above windows

51A



1/4
N



Door = 2⁸ x 6¹⁰
 + 2⁸ x 1⁰ transom
 Rough Opening =
 9⁶ x 3⁵"

photos of door at
 level 2 N.W. Stairwell
 looks like it may have
 been the original
 front door.
 Looks too fancy
 for this back
 service stair.
 (?)



52 B

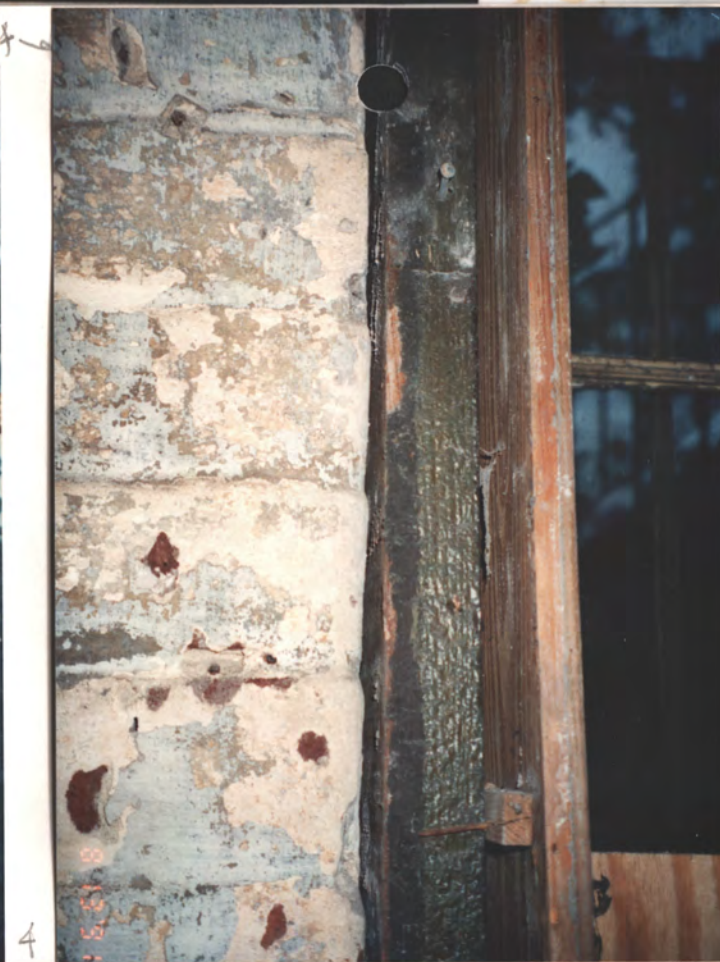


brick work
 behind "gummi"

Sills at level
 2, 3, 4 =
 "blue stone"

24





BSMWT SASH
(Some original, some later)

← mortar, trim & peg st.

3

5

25.6.27

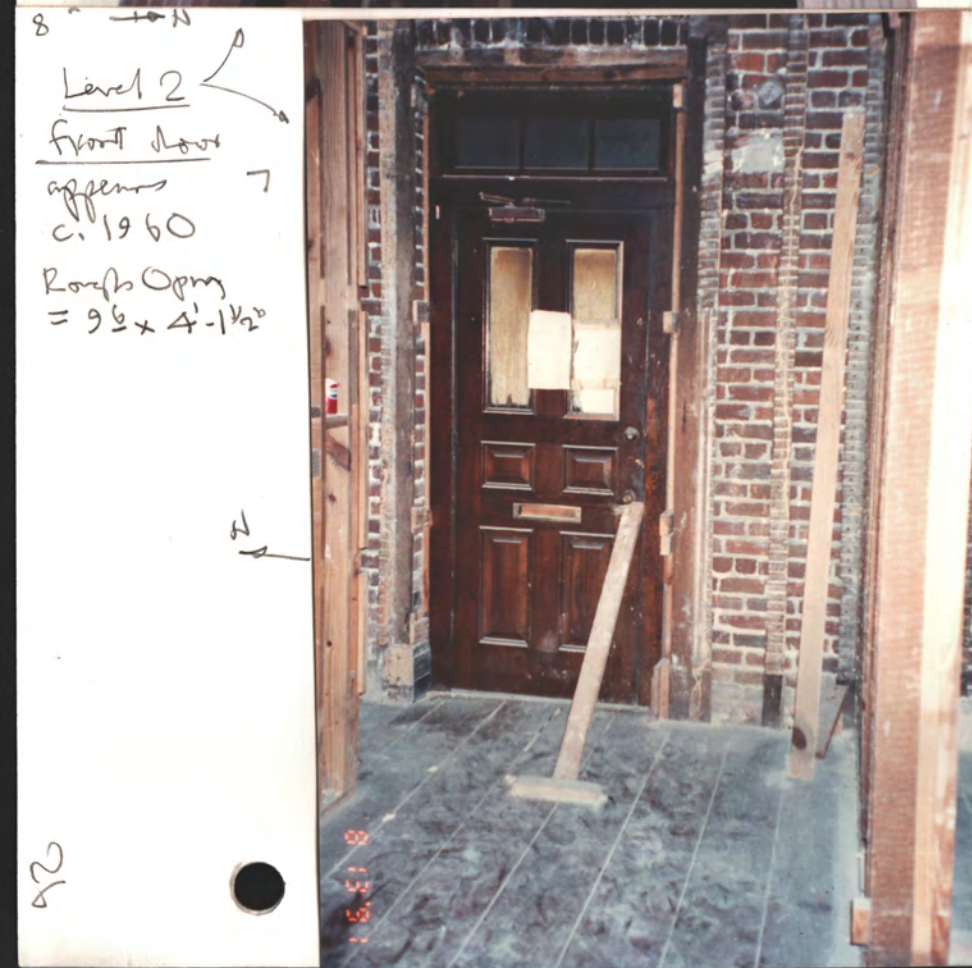
4

5

8 13 91



Level 3
Sash
w/ pag.
at corner
mortar &
iron pt.
(orig.
Sash,
probably)



8 → N
Level 2
Front door
appears
c. 1960
Rough Opn
= 9 1/2 x 4'-1 1/2"

22



9
Level 3
Sash
(int.)



27 of 27

13

1842 Heimen - Savannah

Level 1
N.W. corner
orig. sash
loc. under
rains down
at level 2
(see photo
#1)



See photo 9 notes

11



traces of original mantel size at
level 2 S.E. parlor fireplace (surround is plaster)

12



±N

(c.1960 mantel was here)

new stucco, scored like
ashlar, over 1960's "guttae"
rough sprayed conc. on brick.
Parapet added per normal
Savannah designs



c. 1842 Heineman Hse
Columbia Sq. - Savannah
Dec. 1991 Under Restoration
Joris J. Herrin, Arch. - H. Jones
(photos HJ)



photo Mar. '94 Home 1842 Deirionna
Shannon
Columbia S.C.



→ N

← EAST FRONT →

→ N

Color not sel. by H Jones.



c. 1842 Heiraman Hse,
 Columbia Sq., Savannah, Ga.
 after restor. by JFA, Arch,
 H Jones, FAIA, in 1991-92

PN

PN



W. Side

↘



N. Side

↘



↘ NW Back west porch, level 3



↘ Level 2 main entry

1992 owner = Rodney Weil
 Insure. off. on level 1
 Res on levels 2, 3, 4
 Just moving in per these Aug. 1992 photos
 & not completely furnished.



Level 3 hall & S.E. BR,
 North damped by contr., not AU



Level 3, S.E. BR



Level 2 S.E. parlor
 (mantel replicated from those
 on levels 3 & 4 = all same, except widths



Level 1
 S.E. Rm.
 (now office)

3 of 3 Heineman 1842 Savannah



JONES & HERRIN
Architecture/Interior Design

Restoration of
1842 Heineman House Parlor
Savannah, Georgia

Postcard - Jani 95



LEVEL 2 E. PARLOR

1842 Heinemann Hse, Savannah Ga.

Restored from derelict cond. in 1991-2, James Harrim, Arch. - H. Jones, Huntsville, AL



LEVEL 2, look E. from Din. into Parlor

level 2, look west into Din. from parlor



level 2, S.W. Din. Rm.



Level 2, front S.E. rm.
("parlor-chamber") = rm. over parlor

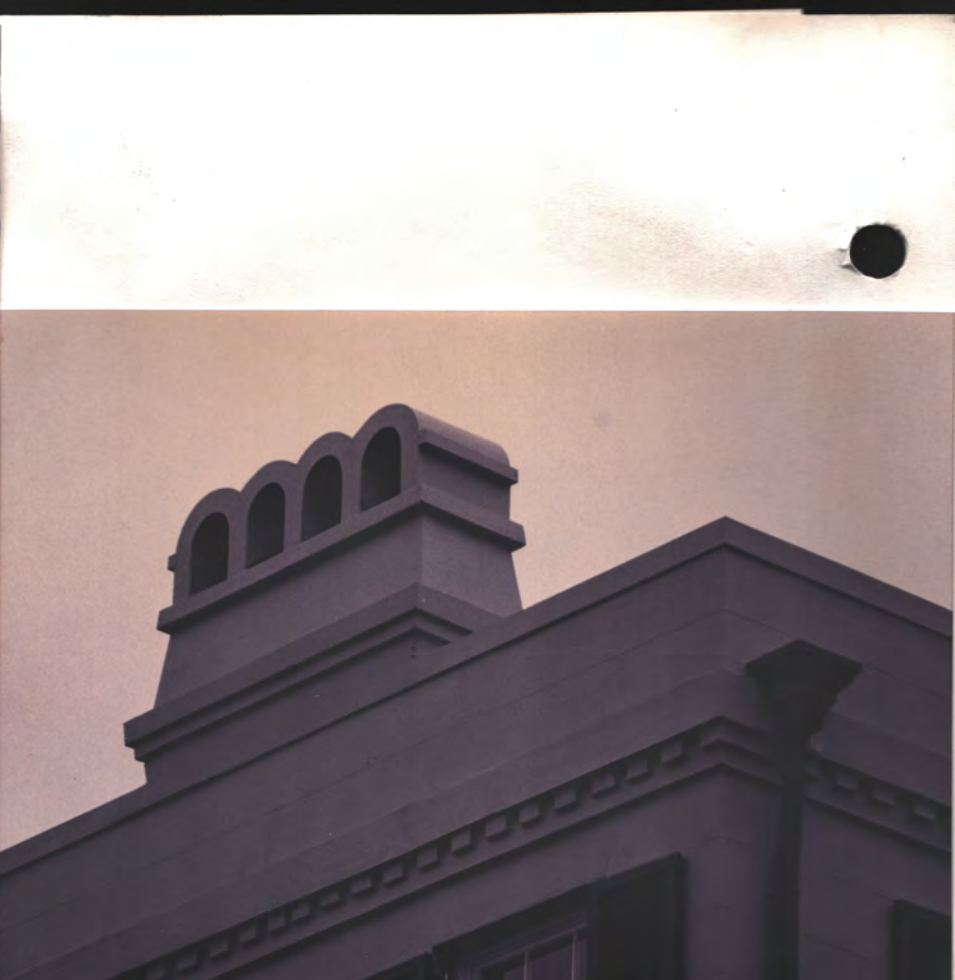
H Jones' guest rm., June 6-9, 1997
visit to work on + pres. projects in SW,
for Mills Lane.



C. 1842 Heinenan Ave, Columbia Sc.
S.W. corner Trust Lot, After restoration
J&H, Ards - H Jones photo July 1992 - JJ

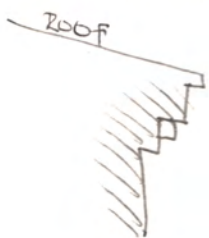


JJ

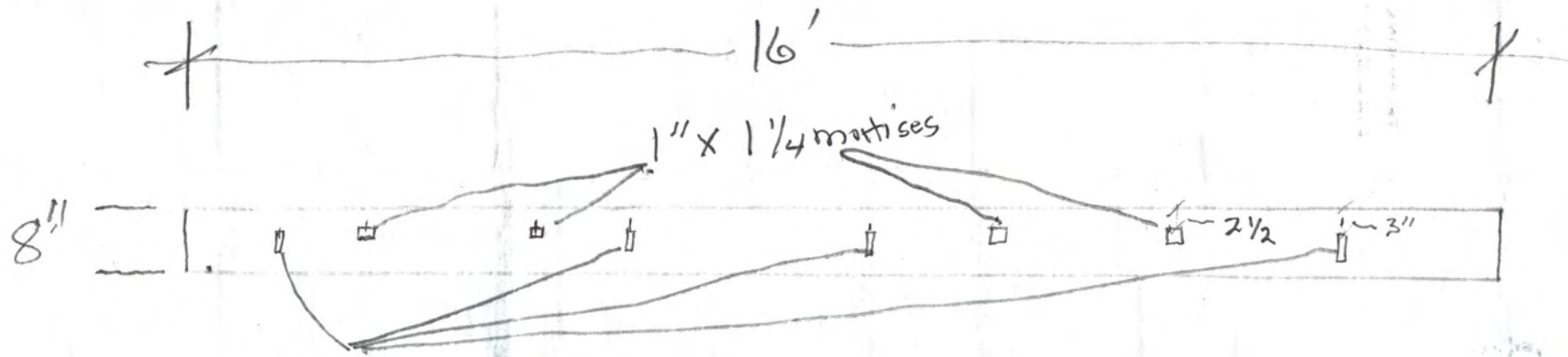


Note - discovered during constr. that the house
never had a parapet. See constr. - process color photos

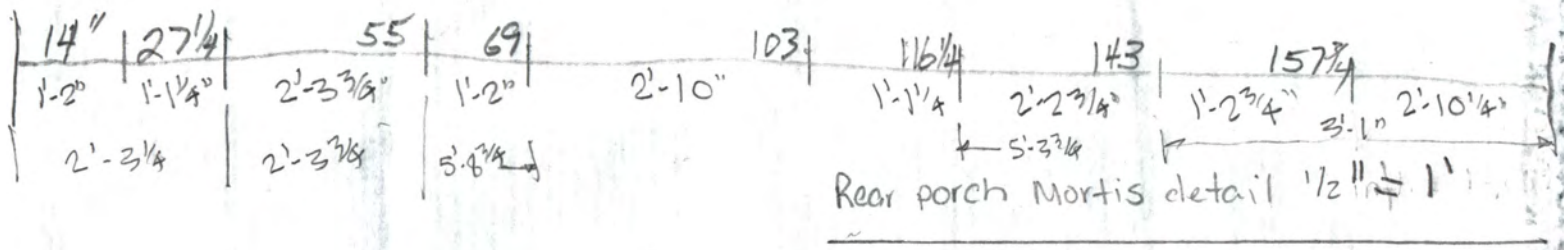
Was:



Mills have decided to proceed w/ parapet, which is
typical for this type house in Savannah but not accurate
for this house = esthetics over hist. accuracy. HJ



$\frac{1}{2}'' \times 1\frac{1}{2}''$ mortises



fl. beams at back porch

1842 Heipeman 1/2, Savannah
 by Turner Court. (R. Anderson)
 sold 3 Sept '91 HS