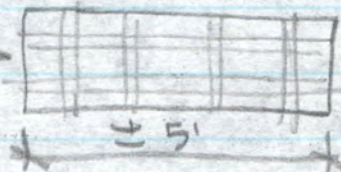


Ralph Anderson - 17 Jan '91 LANE INFILL (7)

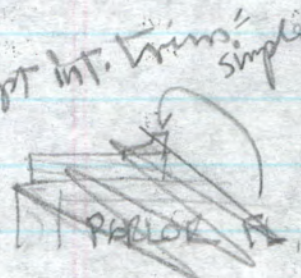
1. Review BA. needs by 31 Jan. IN SAVANNAH
5th plan + ext. elevs.

2. Back porch cols = $\pm 6"$ sq solid chamfered
Front " " = singles stock moulds
Elim. ALL special moulds
IAMY Roof gutters
Rect. attic window



Front door transoms & trim = no change except int. trim = simple

Door trim = ALL like at bsmt. BR + panels



No wall corices

Stucco in lieu of brick on 2x4 studs

2x4 studs + $3/4"$ ply. sheath } Solid at level 1

4' at corners at lev. 2, 3
w/ vinyl sheath between

Elim. blinds at Veranda

" lints at all wind.

Elim. west porch

Force = sq top bldg., like ML's has

WALK = brick.

Keep brick fl.

No bsmt changes

No int. changes except trim.

Keep fancy moulds at level 2

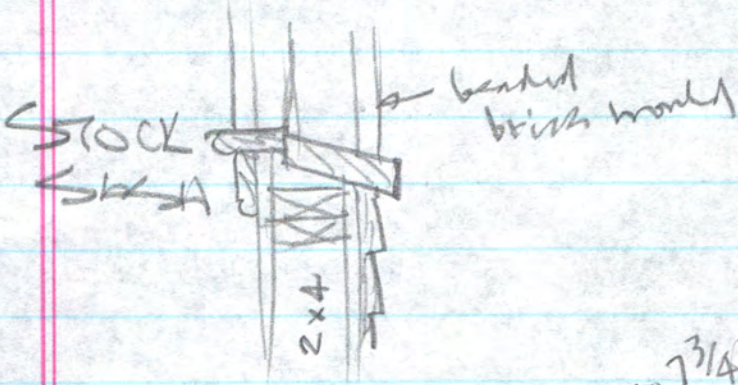
Keep heart pine fl. (submerge) $5\frac{1}{2} \times 6"$ x $3/4"$.

Clay tile = 1x8 timbered cypress.



Stock side of stock 4 pul down
single of fly

Hardware = no change
Elim. trussies at Din. to left



front steps = $7\frac{1}{2}'' \pm^{+0}$ $7\frac{3}{4}''$ max (10" runs)

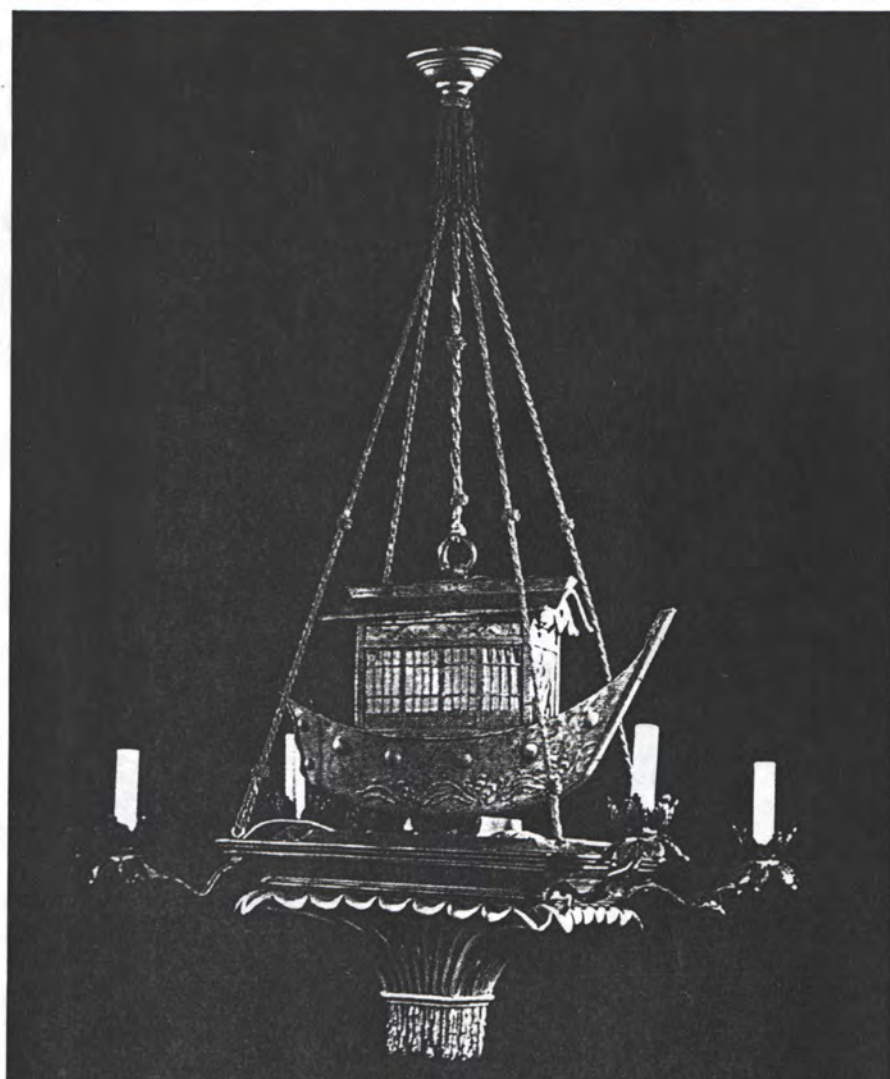
Stair = no change
Stock cabinets



Fried H. select. plan

PRESERVATION

RIGHT AND FAR RIGHT: A former single-story auto-repair garage was transformed into a three-story residence by architect Harvie Jones, FAIA, of Huntsville, Alabama. "We used modern moldings and components so the date of the house will be evident," says Jones.



Chinese bronze junk on gilded and carved wood base. England, circa 1880. Height 46", Width 28"

MARVIN ALEXANDER, INC.
315 E. 62nd St., New York, N.Y. 10021 • 212-838-2320
chandeliers/lamps/sconces/candelabra/decorative accessories

Nic Musolino is viewed as less than conventional but as meeting the design standards for new construction. Placed on a lane behind the 1870 Italianate house, the back building follows the scale and alignment of adjoining buildings but deviates in the facade design and the use of plywood and galvanized tin as primary materials.

"The design evolved," Snyder says, "after we read the guidelines very carefully, paying special attention to those sections describing scale, mass, cornice lines, and materials. We felt we were applying them in an unusual way."

Reiter processes roughly 14 applications a month for projects in the two historic districts. A third review district, the Isle of Hope, is being considered, but the guidelines have yet to be written.

Even though the Isle of Hope is an early to mid-19th-century river resort community, the three most important requirements for guidelines will be the same as those for Savannah's urban districts.

"They will be based on the distinguishing qualities of the areas and," says Reiter, "knowing the little things that give it character, they will be user-friendly, and they will, of course, have wiggle room." ♦

"Southern Accents" May - July / Aug 1995

OR
Del
Atlanta, GA
eschells I
404-87
-875-81
Baltimore,
Wylie
410-35
-358-39
Boston, MA
Decorative
617-95
-924-41
Charlotte,
United Su
704-5
-4-588-3
Chicago, IL
Kov Mfi
312-6
-312-633-1
Columbu
Chelsea H
614-4
-614-464-1
Dallas, TX
A. F. Schr
Company
214-
-214-748-
Delray
Bosch, H
407-
-407-272-
Hartford
RL Fishe
203-
-203-951
Houston
Arco Fa
713-6
-713-6
Lenexa
Sebring
913-881
-913-881
Mempl
J & L F
901-45
-901-45
Miami
Lord
800-43
-800-43
Newa
Delaw
302-7
-302-7
San F
Sidne
419-3
-419-3
Seatt
Arco
206-7
-206-7
Van I
Lee's
818-
-818-

JONES & HERRIN

Architecture/Interior Design

August 9, 1991

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, Ga. 31401

Re: Infill House
Pulaski Square
Savannah, Georgia
Project No. 90024

Dear Mills:

I think your ideas of deleting the west verandah and terrace will cause minimal detracton and I see no problem with it. A sketch is attached.

There are many other ways to reduce costs, mainly involving deleting Asher Benjamin and other accurate Greek Revival details and moulds. This is the method used in the north unit of the Hathersham Street double house; every mould, door etc. is "stock" modern but is compatible in general scale and shape with the original c.1810 detailing. These ways can generally be divided into "second-best" and "drastic".

"Second-Best" Cost-Reduction Items:

1. Use similar-size "stock" moulds at the roof cornices etc. in lieu of the Asher-Benjamin shapes.
2. Use tidewater cypress clapboard in lieu of redwood if the cypress is kiln-dried and relatively knot-free. Cypress is a coarse-grained wood and may not hold paint as well as redwood. Ralph Anderson can perhaps get us some experience-data on this. He has a source for tidewater cypress.
3. Use 1x8" "Georgia Pacific Prime Trim" manufactured clapboards and 1x and 5/4 trim in lieu of redwood. Cost is about 1/4 of redwood. Rot-resistance is slightly better than redwood, per manufacturer's data.
4. Use the plain roof-frieze on all 4 sides in lieu of the Greek - fret frieze.
5. Use concrete walks in lieu of brick. If the brick is retained, set it on sand and gravel (will shift some).
6. Delete the false wood sash-lintels, since many clapboard houses did not have them anyhow.
7. Delete the dentil-course at the portico and use similar-size "stock" moulds.
8. Delete the turned newel at the entry stair and use a rectangular capped-newel.

9. Delete the Asher-Benjamin moulds at the entry door and transom (interior and exterior) and use simpler stock shapes in the same proportions.
10. Delete the gable fan-light and use a smaller stock circular or half-circle window.
11. Delete all interior wall-cornices and use wide wallpaper friezes (or painted friezes) since many 1850's houses had no interior wall-cornices anyhow.
12. Use "stock" 4-panel x 7 foot doors in lieu of the Asher Benjamin details.
13. Delete Asher Benjamin moulded door-facing trim in lieu of unmoulded trim (as at level 1 and 3).
14. Use "stock" modern locks cheaper than the Baldwin locks (which are already not like 1850's). Delete the one "Ball & Ball" lock at the entry door.
15. Wood floors to be modern narrow oak in lieu of wide "Caribbean pine" or salvage heart pine.
16. Delete brick floor at level one in lieu of carpet on concrete.
17. Delete blinds at all doors and windows that open onto the north verandah and terrace.
18. Perhaps make the blinds from k.d. tidewater cypress if the cost, stability and paint-holding factors are favorable per Ralph's investigations.
19. Use "stock" sashes (true divided-light type) in lieu of the Greek Revival mould shapes and rail-and- stile widths.
20. Use "stock" stair balustrade parts in lieu of the Greek Revival types. These stock parts of necessity would be "Colonial" since that is "stock".
21. Use 3/4 inch by 3-1/2 inch kiln-dried pressure -treated porch floors in lieu of correctly-sized 5/4 x 6 flooring. Paint finish.
22. Use two gas-log (no wood-burning) fireplaces at the level 2 floor only. Delete fireplaces at levels 1 and 3 (four fireplaces). Delete 4 mantels accordingly.
23. At level 2, delete the Asher Benjamin elaborate mantels and use the simple (but authentic) c.1840 George Steele mantels detailed at 4/A15.
24. Delete picture-lights at fireplaces.
25. Delete the west verandah and terrace per your suggestion.

"Dramatic" cost-reduction items. All are undesirable:

1. Use carpeted floors (on plywood at levels 2 and 3) throughout.
2. Use 5 inch exposure by 3/8 inch thick pre-primed fiberboard clapboards.
3. Use 6 foot 8 inch doors, with 6 panels ("stock Colonial") which are considerably cheaper than "stock" 7 foot, 4-panel doors.
4. Use "14 year" roof shingles in lieu of the more durable and attractive thick "30 year" shingles.
5. Delete sash-blinds and hinges.
6. Delete sound-absorption board layer between levels 1 and 2.
7. Delete brick arches at chimney tops (except two at gas-log fireplace flues to remain).
8. Use 3-1/2 inch studs in lieu of 5-1/2 inch studs. Probably strong enough, but flimsy-looking at door and window reveals.

Please let Ralph and me know which of the above items you would like to price.

Thanks!



Harvie P. Jones, FAIA
HPJ/am

pc: file
HJ

JONES & HERRIN

Architecture/Interior Design

June 11, 1991

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, Ga. 31401

Re: Infill House
Pulaski Square
Savannah, Georgia
Project No. 90024

Dear Mills:

The changes we discussed on 10 June seem to work out reasonably satisfactorily except for the change in the verandah stair, as you can see from the attached plan, and some questions on the door changes as noted.

The ell stair at the verandah leaves clear the space in front of the dining room verandah doors and windows, and also leaves clear the corresponding doors and windows at the ground level. The straight stair blocks a dining room and den door, both physically and psychologically, and fits awkwardly with the north verandah and terrace.

I believe the ell stair is the better choice. Before I proceed, let me know your decision.

I've checked the code and it will be necessary to get an exception on the door at the head of the level 1-2 stairs, unless the Savannah Building Official rules otherwise.

I'm proceeding with the other changes you mentioned:

1. Requested (by letter of 10 June) John Rieter to work with Mechanical Engineer to try to keep HVAC as quite as practicable.
2. Bedroom one closet to be a gas log fireplace, with the tenant to furnish a wardrobe in lieu of the closet.
3. Revise bath 1 to allow centered window, size "E". Tub on east wall, lavatory on north wall, water closet on south wall under the window. See the attached plan. Note that the tub furring will lap over the east window trim.
4. Lattice under steps of patio only. Open under portico floor. Soil under floor. Removable lattice panel at east end of steps.
5. "Den" fireplace to be wood-burning instead of gas logs.

6. Door 112 shifted about 8 inches west so door 110 can open into the dining room and lie against the north wall of the dining room.

Please think about this some more. In my opinion, door 108 will almost never be opened and if so the door swings would not be a problem. It would look neater if the kitchen door 110 does not open into the den.

I think the same is true on level two; the hall door will almost never be opened and should therefore not cause a problem.

7. Door 105 to be centered on its partition.
8. Steepen level 1 and 2 steps to move the level 1 newel about 15 inches north. Risers to be 7.71 inches, runs to be 10 inches.
9. Enclose the level 1 to 2 steps with partition and sliding door at level 2, if an exception can be obtained from the Building Official.
10. Doors 300, 305 and 306 to be 3 feet wide, which eliminates the linen cabinet in both baths.

If we make doors 300 and 306 three feet wide, there will only be 6-1/2 feet of wall space (vs. 7-1/2 feet as drawn) for a double bed and side tables. This is not enough, unless you are willing for very small side tables to lap onto the door facing trim. I suggest we widen door 305 in the hall and leave the others. Let me know.

11. You will let me know if the level 1 door widths are to be changed. Except for door 101, this is easily done.

If you are willing to use a standard small lavatory at "Bath 1", door 101 can be increased to about 30 inches.

I'm happy to learn that Mrs. Lane is looking at the 1805 double house and vacant lot. At this rate, she (and you) will have a major impact on preservation in Savannah. I am delighted to assist you in your efforts.

Thanks!



Harvie P. Jones, FAIA
HPJ/am

pc: file
HJ

JONES & HERRIN

Architecture/Interior Design

Harvie P. Jones, F.A.I.A

Mills —

If you don't like
the rail - breaks on
the "M" resembles
stair, we can use
a "sweep" rail of stringer



ok?
Herrin

cf, HJ

104 Jefferson Street
Huntsville, Alabama 35801
Telephone 205/539-0764
Fax 205/534-2289

JONES & HERRIN

Architecture/Interior Design

June 11, 1991

John Rieter, Architect
39 Washington Avenue
Savannah, GA. 31405

Re: Beehive Press Foundation
Pulaski Square Infill House
Savannah, Georgia
Project No. 90024

Dear John:

Mills is considering several plan changes which will affect plumbing, electrical and mechanical designs. It would be best to hold off until these changes are resolved.

Respectfully,



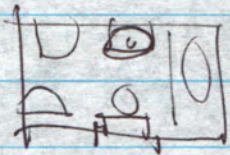
Harvie P. Jones, FAIA
HPJ/am

pc: Mills Lane
HJ
file

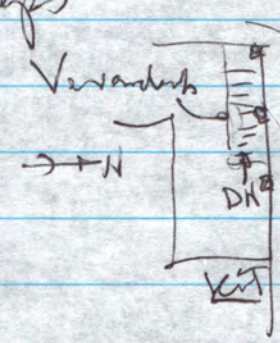
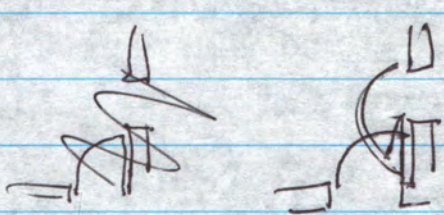
Mills Laska Tel.

Re Infirm House, June 10 '91 Am

1. Quiet A.C. - tell Pieter (write address)
2. Wood from FP at Den 1.
3. Revise 1st fl. tub for stud windows
4. No lattice at stoop (at step only)
5. "Green" under lattice (" " ")
6. FP at B) w/ eye logs (wardrobe)
7. Center door 105 on wall
8. Shift door 112 west



9. Steepen 1st fl. steps
10. Straight stair at Veranda
- 11.



Ask ML
to reconsider
in 11 June letter



Code check.
(or chik. door)

13. 305/306 - 3' dress, no lin.
14. ~~Sh. 7~~

Warren 57-

SAVANNAH MEETING WITH MILLS LANE/HARVIE JONES

DECISION ITEMS - PULASKI SQUARE INFILL HOUSE
PROJECT NO. 90024

INFILL HOUSE

1. Type of wood flooring?
Caribbean Pine? *←*
Salvaged heart pine?
Poplar?
5/4 or 3/4?
2. Level 2 space by kitchen
Utility closet?
Add to kitchen? (ducts are above this space and in S.E. corner).
3. Roof pitch to stay at 5-1/2:12 (A. Benjamin)? *6:12*
4. Discuss height of front door (just clears room-cornice now).
5. Deeper frieze at main roof 2"? (can easily do).
6. Put fans over W.C.'s rather than over showers?

*Notes April 27 1991
Mills Lane & H Jones
in Savannah*

See plan

*single ht. lamp + fan
in center of cell*

BRICK HOUSE C.1840'S

(Hibernian House)

1. History information?
Shown on c.1890 Birds' Eye View?
Date of roof revision, approx.?
Date and history name of house?
Address?
Orientation?
Photos of other houses that may have been similar to this before it was remodeled?
Measured floor plans and elevations? (by whom?)
Contractor? (Turner?), Architect (Rieter?)
Photos (by Harvie Jones).

"SHIPS OF THE SEA" MUSEUM

1. Discuss entry with Mills (Sat.?)

*Mon. 2pm
+ photo of museum*

BULL STREET

1. Photos, obs. and notes (H.J.).
2. Discuss with Mills
3. Discuss with Stephanie Chruchill of Historical Savannah Foundation (Sunday 10:30 A.M. at hotel.)
4. Decide extent and nature of work by Harvie Jones. *(consult, on-call)*
5. Decide schedule. *(N/A for HJ)*

*John Rieter will do
all detail work*

JOHN R. REITER, AIA
ARCHITECT
39 WASHINGTON AVE.
SAVANNAH, GEORGIA
31405 (912) 232-4403



*Law
Infill
Code 90024
Decisions
w/ city*

February 22, 1991

Ms. Mari Cote
Director of Inspections
City of Savannah
P. O. Box 1027
Savannah, Georgia 31402

Re: Beehive Press Foundation
Pulaski Square Infill House
North West corner of Barnard and Harris Streets
Savannah, Georgia

Dear Mari:

The following is a recap of my understanding of our meeting on 2.22.1991 regarding the clarification of Building Code requirements as they relate to the above referenced project and specific questions raised by the architect, Harvie Jones, Jones and Herrin, Architecture/Interior Design, in his letter dated 2.13.91

Items of Discussion:

Question No. 1: "The ground floor exterior load bearing wall construction would be 8" concrete block and brick veneer."

Comment: This construction assembly would comply with the code requirement for a one (1) hour fire rating.

Question No. 2: "Floors 2 and 3 etc."

Comment: An acceptable load bearing wall construction assembly, in compliance with the code requirement for a one (1) hour rated fire rating, would be essentially as stated above with specific reference equal to the Gypsum Association (GA-600-88) Fire Resistance Design Manual, Twelfth Edition, similar to File Number WP 8105 (Exterior Walls-1 hour). Assembly description attached.

The use of non-rated redwood clapboard siding, exterior wood porch assembly, and architectural trim would be allowed with the condition that the owner submit a statement of intent in the form of a restrictive covenant that would preclude the subdivision of the western portion of the property for future building development.

Code Reference: Waived.

709.1 - Architectural Trim

709.1.1 - All architectural trim, such as cornices and other exterior architectural elements, attached to the exterior walls of buildings located in the Fire District shall be constructed of approved noncombustible materials or fire retardant treated wood.

Code Reference: Waived.

811.6 - Wood

811.6.7.1 - Wood veneers of not less than 1 inch nominal thickness, 7/16 inch exterior hard board siding or 3/8 inch exterior type plywood or particle board may be used in or out of the Fire District on exterior walls when all the following conditions are met:

Waived: 2. The veneer does not exceed two stories in height, measured from grade, except where fire retardant treated for exterior use, in accordance with 201, it may be four stories in height.

Question No's 3 and 4:

"A small etc."

"An open etc."

Comments: The above conditions are acceptable provided that the residential occupancy is designated as single family. A letter of intent by the owner verifying this occupancy shall be submitted to the Department of Inspections.

Question No. 5:

"Rather than etc."

Comments: The proposed use of exposed wood mould bricks with firebrick lining behind is acceptable provided the thickness of back and sides shall not be less than 12 inches.

*over wood
firebrick*

N/A

N/A

Code Reference:

804.3 - Masonry Fireplaces

N/A
804.3.1 - Fireplaces shall be constructed of solid masonry or of reinforced concrete with back and sides of the thickness specified in this paragraph, except as provided in 804.1. Where a lining of firebrick at least two (2) inches thick or other approved lining is provided, the total thickness of back and sides, including the lining, shall be not less than eight (8) inches. Where no such lining is provided, the thickness of back and sides shall be not less than twelve (12) inches.

Please advise if any additional clarification is required. Thank you again for taking the time to review this project at the preliminary phase.

Respectfully,



John R. Reiter, AIA

cc: Mills Lane
Harvie Jones

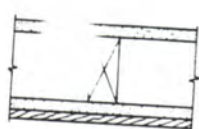
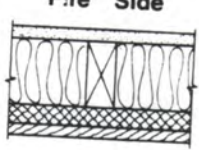
Attachments:

Letter dated 2.13.91
Exterior Wall Assembly

SHAFT WALLS

Fire Rating	Sound Rating STC	GA File No.	ASSEMBLY DESCRIPTION	SKETCH AND DESIGN	
				Fire	Sound
3 HR	40 to 44	WP 7510	<p>Gypsum Wallboard, Metal H Studs Two layers of 1" x 24" gypsum board panels laminated together with beads of mineral adhesive 2" o.c. installed vertically between floor and ceiling 20 gage J runners with 25 gage steel H members between panels. Panels attached at midpoint to 2 1/2" leg of J runners with 2 3/8" Type S-12 drywall screws. H studs formed from 20 or 25 gage 2" x 1" channels placed back to back and spot welded 24" o.c. Base layer 5/8" gypsum wallboard or veneer base applied parallel to one side of panels, with 1" Type S drywall screws 12" o.c. to H studs. Rigid furring channels horizontally attached 24" o.c. to H studs with 1" Type S drywall screws. Face layer 5/8" gypsum wallboard or veneer base attached at right angles to furring channels with 1" Type S drywall screws 12" o.c. Stagger joints 24" o.c. each layer and side. (NLB)</p>	<p style="text-align: center;">Fire Side</p>  <p>Thickness: 4 1/8" Limiting Height: Subject to design Approx. Weight: 14 psf Fire Test: OSU T-4423, 3-21-68 Sound Test: Estimated</p>	

EXTERIOR WALLS

1 HR	✓	WP 8105	<p>Gypsum Wallboard, Gypsum Sheathing, Wood Studs Interior side: One layer 5/8" type X gypsum wallboard or water resistant backer board or veneer base applied parallel with or at right angles to 2 x 4 wood studs, 24" o.c. with 6d coated nails 1 7/8" long, 0.0915" shank, 1/4" heads, 7" o.c. Joints of square edge or bevel edge wallboard may be left exposed. Exterior side: One layer 5/8" type X gypsum sheathing, 48" wide, applied parallel to studs with galv roofing nails, 1 3/4" long, 0.120" shank, 7/16" or 1/2" heads, 7" o.c. in field, 4" o.c. perimeter. Wallboard and sheathing nailed to top and bottom plates at 7" o.c. Exterior cladding to be attached through sheathing to studs. (LOAD-BEARING)</p>	 <p>Thickness: 4 3/4" Approx. Weight: 7 psf Fire Test: See WP 3510 Insulation: See page 6, Section 10.1.</p>	
		WP 8124 (g, w)	<p>Gypsum Wallboard, Polyethylene Film, Wood Studs, Glass Fiber, Foam Plastic Boards, Plywood Siding Interior side; 5/8" type X gypsum wallboard applied over 6 mil polyethylene film and parallel to 2 x 4 wood studs 16" o.c. with 6d smooth bright nails 2" long, 0.115" shank, 0.265" head, 8" o.c. Unfaced 3 5/8" glass fiber 0.97 pcf friction fit in stud space. Exterior side; 1" proprietary aluminum foil faced, glass reinforced isocyanurate foam plastic sheathing applied parallel to studs with 11 ga galvanized roofing nails, 1 1/2" long, 0.122" shank, 0.428" head, 12" o.c. in field, 8" o.c. around perimeter. 5/8" plywood siding panels applied parallel to studs with 10d galvanized common nails, 3" long, 0.135" shank, 0.307" head, 12" o.c. in field, 6" o.c. around perimeter. Rating based on the lesser of loading to 2327 lbs/stud or 83% of full design load. (LOAD-BEARING)</p>	<p style="text-align: center;">Fire Side</p>  <p>Thickness: 5 3/4" Approx. Weight: 6 psf Fire Test: OSU 6534, 3-12-79</p>	

* — Proprietary design — see page 1, paragraph 4

JONES & HERRIN

Architecture/Interior Design

February 13, 1991

John Rieter, Architect
39 Washington Street
Savannah, GA. 31405

Re: Beehive Press Foundation
Pulaski Square Infill House
Savannah, Georgia
Project No. 90024

Dear John:

For your use in discussions with City officials, attached are two sets of scaled but sketchy plans and elevations dated 22 January 1991. Subsequent owner changes to these are minor and do not affect code considerations.

If agreeable with the City officials, the owner desires the following items:

1. The ground floor would be 8 inch concrete block and brick veneer.
2. Floors 2 and 3 would be 2x6 studs (which could be fire-treated if needed) sheathed inside and out with 5/8 inch fire-resistant gypsum board. The exterior clapboards and trim would, for best technical results of paint-holding and dimensional stability, be clear all-heart redwood.

If this is not possible, "Koppers Dri-Con" pressure treated wood (paintable fire-resistant treatment) could be used, but with less satisfactory paint-holding and stability characteristics, for all exterior wood such as clapboards and trim.

A last resort, esthetically and historically inappropriate, is to use brick veneer, and "Dri-Con" treated porches, trim etc. We'd like to avoid this if possible.

3. A small ground-floor kitchen is desired in addition to the main second-floor kitchen, located next to the ground-floor den.
4. An open stair is desired from the ground floor to the second floor.
5. Rather than expose the usual ugly yellow fire-bricks in the fireboxes, we would prefer to use red-brown woodmould bricks for an appropriate historical appearance. A layer of firebricks can be installed behind the woodmould bricks for safety.

The two fireplaces on the bedroom floor would be set up for gas logs only.

If firebricks are required to be exposed we will stain them a charcoal gray.

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

pc: Mills Lane
file

attachment: 2 sets prints

JONES & HERRIN

Architecture/Interior Design

February 26, 1991

Ralph Anderson
J.T. Turner Construction Co.
5105 Paulsen street
box 10046
Savannah, GA. 31412

Re: Beehive Press Foundation
Pulaski Square Infill House
Savannah, Georgia
Project No. 90024

Dear Ralph:

1. Please estimate the cost of the attached wood wall-cornice versus the similar plaster section sketch attached. See plan for extent.
2. Per our telephone conversation 26 Feb., please investigate existing c.1840-60 clapboard houses in Savannah:
 - a. Thickness of clapboard (1/2" is usual here, constant thickness).
 - b. O.A. width of clapboard (6" is usual here.)
 - c. Average exposure of clapboard (+/- 5" is usual, here, but is not uniform.)
 - d. Variation of exposure on a given building (1 to 2 inch variation is usual here.)

Most 19th century clapboard buildings have a somewhat casual spacing of clapboards and are almost never exactly uniform in exposure. What do you find there?

3. We'd like 5/4 x 6 T & G flooring in an appropriate wood. Please investigate cost and availability of:
 - a. Poplar.
 - b. Salvage heart-pine.
 - c. Honduras pine.

The Poplar is soft, the Salvage pine is costly. The Honduras pine sounds promising. Please send a small sample and brochure.

Thanks for your interest and help!

Harvie P. Jones, FAIA
HPJ/am

pc: Mills Lane
file
HJ

Called 26 Feb 91

Turner

HANDOUTS
PIND?

- 1. Poplar fl. 5/4 x 6? Clear or ready 50?
- 2. Hist. Claybid (1840-50)
1/2" x 6" (5" exprs.?)
Variation in exposure?
- 3. Plaster Corrie \$ vs. wood? (Lamp)

John Reiter → Called 26 Feb '91

1. Claybid OK? 5/4" G.B. TYPE "X" = OK. (+ interest. redw. clay.)

2. No. sets for review? PRELIM. - he has enough CD's - plans & plans only - 9 (2 firm sets full for permit)

send blank plans & sketches to Reiter

3. HVAC _____ (review basic layout.)
 Elect. _____
 Plumb _____

ATTIC ACCESS size?

3' x 6' o.c. outlets
from door

4. M.L. - (1 meter row ^{OK}, perhaps 2 later. OK?)

1. Comp bid = o.k. (verify w/ John Baxter ± 15000)
2. One unit, ("entertain ktr" on level 1)
One meter (possibility of two in fut)
3. Sound insul. in level 2 fl.
4. Level 1 - put ^{engin} door back
5. ~~Triple door~~ - main fl. dining to verandah
Gl. single door + grnd fl.
6. Five bricks
7. Grnd fl. trim - like upper fl. (flat)
8. Plaster cornice - level 1 (not wood)
9. ~~---~~
10. Get w/ ~~Thomas Grant~~ ^{John Baxter} re HVAC, plans, elect

Tel. from
M. Lums
21 Feb '91
re INALL
HST

ML - in SW.

~~Mar. 18-20~~
 Apr 25-30
 Ju. Thurs. Apr 25
 Ret. Sun. Apr 28

Magnolia Hall
 Natchez
 Miss - Al. book

JONES & HERRIN

Architecture/Interior Design

February 11, 1991

Mills Lane
70 West 69th Street
New York, NY 10023

Re: Beehive Press Foundation
Pulaski Square Infill House
Savannah, Georgia
Project No. 90024

Dear Mills:

1. I assume we do not want window screens or storm sashes.
2. Do you want the windows to be operable? If so, a problem is the spring-holdopens. I have a source for these (Caldwell Mfg. Co. in Rochester, N.Y.) but am not confident they would last more than 20 years (vinyl casing).

If we use the 19th century "push up" type sashes, we would have to use a turn-latch similar to the attached common 19th century detail to support the sash in the opened position. Since the sash slides freely, someone could drop it on their hand, in which case everyone would probably be sued.

3. Will Turner Construction do this house? If so, I can call his millwork supplier to see if they have sources for better spring-holdopens.

Thanks!



Harvie P. Jones, FAIA
HPJ/am

pc: file

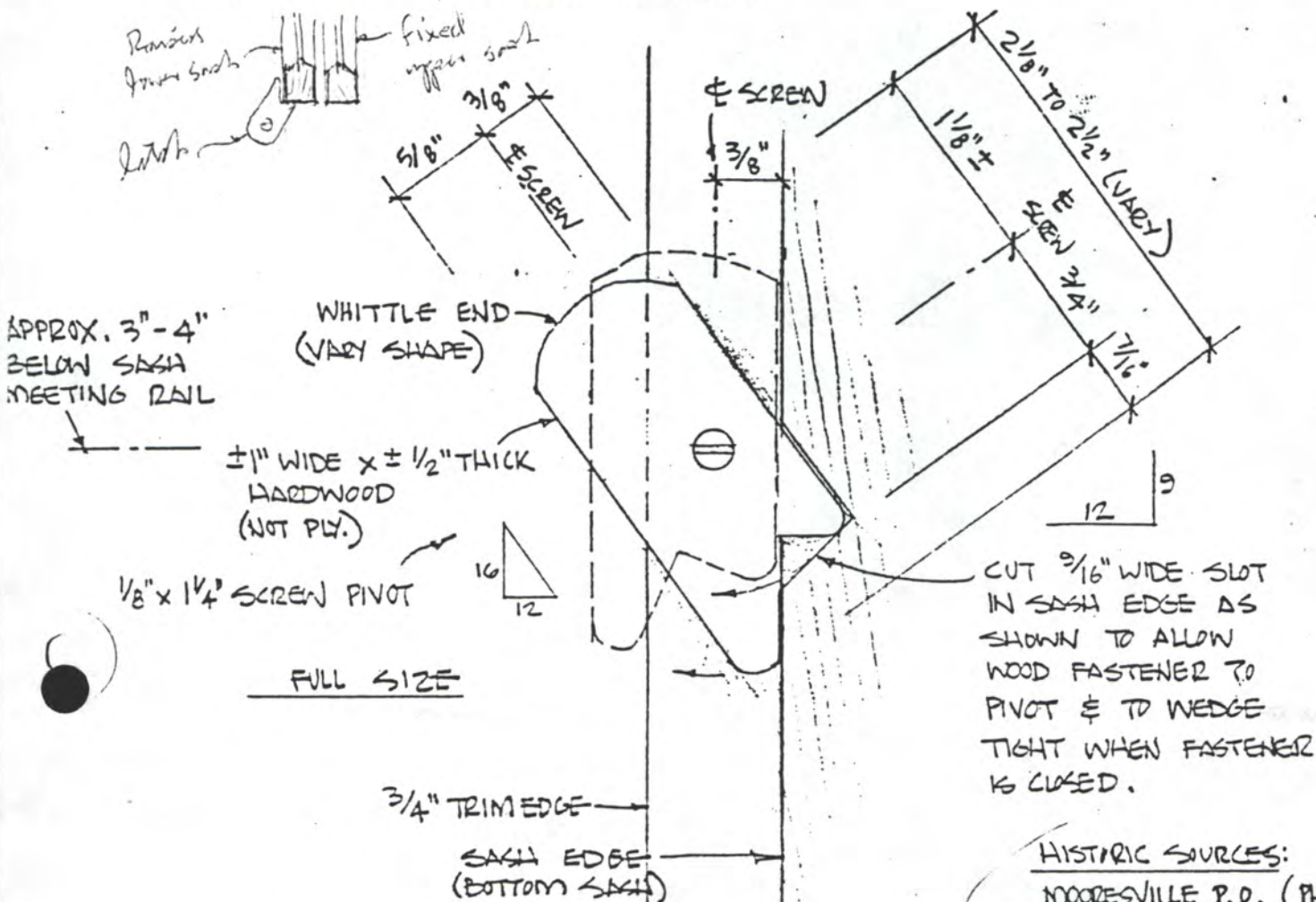
WINDOW LATCHES - HARDWARE SCHEDULE SUPPLEMENTARY DETAIL

CONSTITUTION HALL PARK, PROJECT 47-P-24(A)

HUNTSVILLE, AL. 22 SEPT. '77

JONES & HERRIN, ARCHITECTS, A.I.A.

NOTE: DELETE METAL SASH LATCHES & SUBSTITUTE THE FOLLOWING FOR BEST HISTORICAL ACCURACY:



1. SEE PHOTO 59 FOR EXAMPLE.
2. MAKE 1 WORKING EXAMPLE FOR ARCH. APPROVAL BEFORE MAKING ALL. PROVIDE 2 PER SASH AS SCHEDULED
3. PROVIDE 2 1/2" NAIL, STRING & HOLE" SASH LATCHES PER SASH PER PHOTO 59 WHERE SCHEDULED.

USE 2" CUT NAIL, HEAVY COTTON STRING, DRILLED HOLE. THE STRING TO CUT NAIL IN JAMB, PER PHOTO 59.

BLDG.	WOOD LATCHES	NAIL & STRING LATCHES
CONST. HALL	○	
CLAY BLDG.		○
EDMN LAW OFF.	○	
EDMN (2 STY.)	○	
EDMN REAR WING		○
EDMN LIB. WING	○	

HISTORIC SOURCES:
 MOORESVILLE P.O. (PHOTO 59)
 BOLLIDAY HOUSE (AUBURN)
 from other
 1820-1850 houses

JONES & HERRIN

Architecture/Interior Design

February 11, 1991

Mills Lane
70 West 69th Street
New York, NY 10023

Re: Beehive Press Foundation
Pulaski Square Infill House
Savannah, Georgia
Project No. 90024

Dear Mills:

The house contains 3,040 s.f. of heated, finished area, not counting the unfinished attic. The area of the portico, verandah and terrace is 850 s.f. Custom houses of good proportions, material and details (w/o landscaping and fences) generally run \$100-\$125 p.s.f. for heated areas. Porticos and verandahs, due to their high ratio of complex details to floor area, can run \$35-\$50 p.s.f. Therefore this house could be in the range of \$335,000 to \$425,000.

If Turner is to build this house, we should get a package together of the drawings and notes at-hand and get a rough estimate from him. Let me know if I should do this.

Thanks!

Harvie P. Jones, FAIA
HPJ/am

pc: file
HJ

final cost was in the mid - \$400's

JONES & HERRIN

Architecture/Interior Design

Rec'd 5 Feb '91

January 24, 1991

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, Ga. 31401

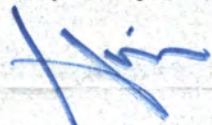
Re: Beehive Press Foundation
Infill House
W. Harris and Barnard Streets
Savannah, Georgia
Project No. 90024

Dear Mills:

I have inquired of Russellville Cut Stone Co. about the cost (in limestone) of the Asher Benjamin design window lintels and sills. As I expected, the cost is quite competitive with heart redwood, which requires fairly complex blocking, flashing, and a steel lintel. The cost per window (stone lintel plus sill) is \$340, plus 5% tax and freight, which equals about \$388 per window. There are 20 windows that would require stone lintels and sills, and another 10 that would require only a sill (perhaps \$80 ea.)

The stone lintels would be used only if the exterior is to be brick. With clapboard walls, we would use redwood in the same design.

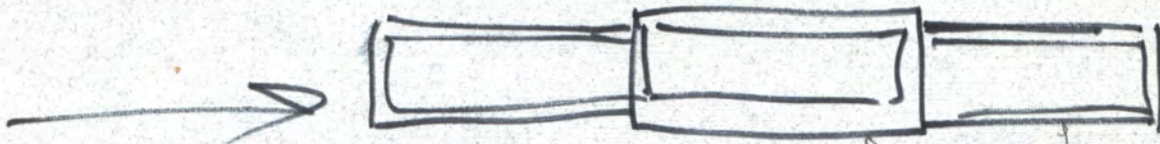
Respectfully,



Harvie P. Jones, FAIA
HPJ/am

pc: file
HJ

*Let's PRAY
for weatherboard
exterior.*



*Simplified Benjamin w/o
corner scrolls.*

flat core line

Rec'd 4 Feb '91 HW



THE BEEHIVE FOUNDATION
321 BARNARD STREET
SAVANNAH, GEORGIA 31401
912 · 236 · 4870

January 30th 1991

Dear Harvie:

To respond to your good letter of the 16th and its accompanying studies,

- 1. Better to keep the closet in the chimney on the ground-story bedroom - two louvered doors.
- 2. Yes, keep the stairway open. Do not have a scroll newel on the ground story, just a simple post.
- 3. After seeing your study, I think the Asher Benjamin roof pitch is too low. It needs to be higher for visual effect, especially when seen from the street level up close. So please return to the 30 degrees shown in your drawings of 26 July 1990. However, use the demilune instead of the rectangular window in the gable ends (front and rear) - and make it slightly oversized.
- 4. I see no objection of lowering the bedroom ceiling slightly - perhaps to 10'-6". Does lowering the ceiling make construction more difficult? In this case, do the cheapest thing.
- Use good stock materials for the baseboards.
- 6. Perhaps repeating (or contradicting) my earlier letter of instructions, copy the complete Benjamin mantels with colonnettes only on the parlor floor. Use simpler flat pilasters in the other fireplaces.
- 7. Fabricate wooden cornices simulating plaster in the rooms and hall of first story.

An additional question: When you raise the pitch of the roof, do you also have to raise the pitch of the front portico? Can the roof of the house and the roof of the portico be different pitches? My own feeling is that the portico roof should be the Benjamin pitch, and the main roof the 30 degrees. You advise me on this.

No
yes

Another question: Will be elevated brick basement be stuccoed or not. I'd prefer not. No shutters on the ground story.

We need to give some special consideration to the Barnard Street facade. Because of the plan, this elevation will have few windows and those oddly placed.

8. I failed to comment on Benjamin's Plate 31, whose Greek scrolls will be partially obscured by the window shutters. Try eliminating the Greek scrolls and generally simplifying this design, so that you have a strong, simple line with a rectangular panel in the center.

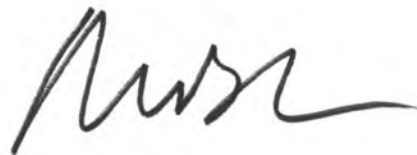
On Columbia Square (Habersham Street), we are inquiring about some other properties: a large brick house of the 1840's (We'd propose to remove its third story, an addition, and restucco the exterior and - trying something new for Savannah - penciling the joints) and another frame house of the 1810 period (across the street from my mother's houses, this one was butchered in its first "restoration" twenty years ago and we can set a real example for doing a better

job).

On Pulaski Square, we failed to get the nasty modern blue house and the vacant lot beside it. The owners of the blue house refused my last offer and ended up selling it for \$262,000 to another buyer. It's a horrible house, a disgrace and embarrassment to failed historic zoning, but maybe I will have another chance someday. Savannah will never be perfect; it's too big, too poor and alive.

I am tremendously grateful to you for your work on these projects. Generous Fate led me to your office five years ago, and as far as I am concerned you are the ne plus ultra of restoration architects in the region. I hope that together we will be able to work wonders in Savannah during the next twenty years.

Your admirer,

A handwritten signature in black ink, appearing to be 'Russ', written in a cursive style.

JONES & HERRIN

Architecture/Interior Design

January 28, 1991

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, Ga. 31401

Re: Beehive Press Foundation
Infill House
W. Harris and Barnard Streets
Savannah, Georgia
Project No. 90024

Dear Mills:

1. If your Building Officials are like ours, they would probably consider this to be a two-family house because it has two kitchens, and thus would require a one-hour fire separation (no open stair) between the ground floor and the main floor.

On the final plans, I can label the ground floor rear room a "recreation room", which may help. By copy of this letter I am asking John Reiter to give you his opinion on local policy.

Please let me know the resolution of this, since it will significantly affect the final drawings.

2. Attached dated January 28 is a sketch of a possible variation on the ground floor plan that I believe works a little better. Let me know your choice.

3. Do you want to use reproduction "Savannah" bricks vs standard-size "woodmoulds"? This makes a difference in both cost & detailing.

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

pc: John Reiter
file
HJ

(sent by sep note)

JONES & HERRIN

Architecture/Interior Design

January 24, 1991

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, Ga. 31401

Re: Beehive Press Foundation
Infill House
W. Harris and Barnard Streets
Savannah, Georgia
Project No. 90024

Dear Mills:

I have inquired of Russellville Cut Stone Co. about the cost (in limestone) of the Asher Benjamin design window lintels and sills. As I expected, the cost is quite competitive with heart redwood, which requires fairly complex blocking, flashing, and a steel lintel. The cost per window (stone lintel plus sill) is \$340, plus 5% tax and freight, which equals about \$388 per window. There are 20 windows that would require stone lintels and sills, and another 10 that would require only a sill (perhaps \$80 ea.)

The stone lintels would be used only if the exterior is to be brick. With clapboard walls, we would use redwood in the same design.

Respectfully,



Harvie P. Jones, FAIA
HPJ/am

pc: file
HJ

JONES & HERRIN

Architecture/Interior Design

January 17, 1991

John Reiter, Architect
39 Washington Street
Savannah, Ga. 31405


Re: Beehive Press Foundation
Infill House
W. Harris and Barnard Streets
Savannah, Georgia
Project No. 90024

Dear John:

Mills has asked that I begin details on the subject house, so it is important to quickly resolve whether the exterior is to be clapboard or brick to meet Fire-District requirements. They might accept "type X" sheathing on both sides of the studs, plus fire-retardant treated studs. The clapboards themselves would need to be untreated redwood to achieve a decent appearance and good technical results. We've used fire-retardant pine clapboards in the type of treatment that can be painted, but it's not as satisfactory as redwood. I'd prefer to use brick in that event.

There will be two wood-burning fireplaces (parlor & dining) and two gas-log fireplaces (bedrooms). Please check with the city to see if we can use Brickerstaff Woodmould face-brick in the fireplaces; or short of that, a layer of on-edge firebricks behind the woodmould bricks. I'm trying to avoid the ugly yellow firebricks, of course. We've been able to do this on some projects, and it works if the workmen don't build roaring fires during construction. If none of this is allowed, we'll stain the yellow firebricks. Be sure to differentiate between the gas-log situation and the wood-burning fireplaces.

Thanks!


Harvie P. Jones, FAIA
HPJ/am

pc: Mills Lane
file
HJ

JONES & HERRIN

Architecture/Interior Design

January 16, 1991

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, Ga. 31401

Re: Beehive Press Foundation
Infill House
W. Harris and Barnard Streets
Savannah, Georgia
Project No. 90024

Dear Mills:

Per your letter of January 8, I'll begin detailed work on the infill house at Pulaski Square. This will of necessity be limited until we know of the exterior material (brick, or clapboard) since that difference will affect almost every drawing.

The Asher Benjamin details will obviously cost more than some other ways, but I think we should attempt to do the best job we can. We can cut back if it later becomes necessary.

At the ground floor, we can make a bookcase where the fireplace would be, and thus support the chimney above. I already show a closet at the ground-floor bedroom "chimney."

I'll leave the stairway open, for 1-family occupancy, per your letter. There is already a separate mechanical system for the ground floor, since this functions better in any case.

The Asher Benjamin portico roof is about 18 degrees pitch, whereas I show 30 degrees on the sketch. We will therefore need to use the demilune window, rather than the rectangular one from the cover of your Georgia book. I think the demilune will look better. I will adjust the eave height to fit the frieze on Benjamin's plate 35.

There will not be "stand-erect" headroom at the top of the attic stair. We must also furr-down the ceiling at the bedroom floor stair. See the attached section, dated 15 January 1991.

The 18 degree roof pitch will not allow stand-up space in the attic except in a small space at the center. Ducts will further cut into the attic space. With this low roof pitch it appears that the attic will only be good for storage. Attached is a sketch of the attic section with the 18 degree roof.

I like the idea of the elaborate eaves-cornice being only at the street elevations, since this sort of thing is so typical of 19th century houses. Please be aware, however, that the garden-side cornice will be just as easily viewed from the square at the Barnard Street side. I think we should keep the same proportions and general profile on the non-street sides, but eliminate on these two sides the meander on the frieze, and the moulded soffit.

Attached is a sketch of the verandah column and cornice which is a melding of Benjamin's plate 30 and plate 35.

On the hardware, I assume we will use Ball & Ball (Greek Revival style vertically-proportioned rimlock shapes) on the Parlor floor and compatible modern locks elsewhere. Let me know if you prefer otherwise. This is what we did at the Habersham Street north house.

You did not comment on the baseboard designs. Shall I use the designs and heights on the attached sketch, or do you want a more authentic (and more costly) design? *See Mrs. J. m. 30 letter*

The Benjamin mantel has a carved stone surround and a stone lining similar to those at the Habersham Street house. This is costly. I'll assume a plaster surround and brick firebox unless you inform me. The surround must be increased from Benjamin's 5 inch widths to 6 inches to meet current codes. The Doric colonnettes at the mantels can easily be made but I think they will cost a few hundred dollars apiece (4 colonnettes are needed for the two fireplaces.) *8"*

I will assume no interior wall-cornices.

I will assume galvanized gutters if I don't hear otherwise. The secret to their longevity is to paint them inside as well as outside, and keep them thus painted.

Respectfully,

[Handwritten signature]
Harvie P. Jones, FAIA
HPJ/am

pc: file

321 BARNARD STREET
SAVANNAH, GEORGIA 31401

January 8th 1991

Dear Harvie:

I beg your pardon for having become a lousy correspondent. John Reiter in Savannah has not yet conferred with the city building inspector about construction of the in-fill house on Pulaski Square. We will build this basic design, preferably in frame with weatherboarded exterior or alternately with brick veneer. John or I will report to you when some determination has been made by the authorities. You already know that the corner of the block will be restored, so that we can have a high-stoop house on the corner of the property line.

Though I am not in a particular hurry, I am happy for you to begin work on particulars of the design, if that will help keep you busy. I'm assuming that you can draw details before committing yourself to brick or frame construction. I'd like you to please use Asher Benjamin's 1830 Practical House Carpenter as your model for details of this new-old house. The front door should follow Plate 27 precisely; the portico would adapt Plate 30 by using the Tuscan columns without the in antis Ionic columns and narrowing the portico (as per my little paste-up version). I would like the option of making the window cases on the first and second stories like Plate 31 (but you may tell me this will be too expensive; we could at least follow the precise portions and refinement of the Benjamin design). I am particularly eager for you to copy the Greek meander eaves cornice at the bottom

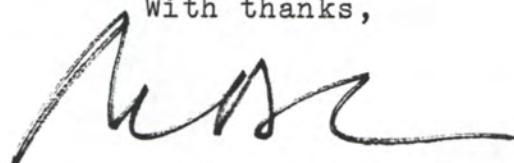
of Plate 35; it would have to be designed so that the construction would not fall apart without constant repainting and repair but it could be terrific. Interior doors on the parlor and second stories should follow Plate 39. Doorcases and interior window cases on the parlor floor should follow Plate 48; those on the bedroom and basement should follow the same proportions but be reduced to completely flat surfaces without any fluting or carving, absolutely plain. The chimneypieces on the parlor floor should copy Plate 51; those in the bedrooms should use the same exact proportions but have a plain architrave and substitute flat pilasters for the fluted columns. Our stair will not make a turn, but I'd like to copy the simple elegance of Plate 62. Benjamin does not provide suggestions for step ends in this volume, so I'd suggest plainer the better. As Jefferson wrote of his designs for the pavilions at the University of Virginia, I want this little house, though new, to be a perfect example of a 19th-century textbook "for the use of the architectural lecturer."

You may wish to raise the eaves another six inches to provide plenty of space above the second-story windows for the eaves cornice; this would probably give the bedrooms the same ceiling height as the parlor floors, both about twelve feet. You should probably take a clue for the pitch of your gables on the roof and portico from that provided in Benjamin's Plate 30. For the large rectangular end window in the gable, you may wish to substitute a demilune window (maybe even a

bit larger) like that on a house on page 157 of my North Carolina architecture book. As you suggest, we will have fireplaces in the second-story bedrooms but they will be built only to accommodate gas logs; the fireplaces on the parlor floor will be for wood-burning. Let's eliminate the fireplaces altogether on the basement level and you should try to reduce the depth of the base of the chimney as much as possible at that level (Am I asking the impossible?). The attic should be unfinished but provision should be made for AC ducts to be extended into the top floor at a later time, or the ducts themselves put into place now, though cut off indefinitely from the existing system. You will need to make a careful study of how the stair leads up from the bedroom story to the attic and show these to me before your final drawings. Plan on pedestal sinks in the bathrooms; no drawings for cabinets necessary there. Incidentally, the elaborate Greek eaves cornice should, I think, only run on the front and two sides of the house, not the back.

Do not spend time on the gardens. Though I am happy with the latest arrangement, there is a possibility that I may wish to build a carriage house - but this is an unlikely possibility.

With thanks,

A handwritten signature in black ink, appearing to be 'Mills Lane', written in a cursive style.

Mills Lane

JONES & HERRIN

Architecture/Interior Design

Rec'd
Jan. 14 '91 WJ
from ML

November 15, 1990

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, Ga. 31401

These are
M.L.'s
choices
Use in
C.D.'s

Re: Beehive Press Foundation
Infill House
W. Harris and Barnard Streets
Savannah, Georgia
Project No. 90024

Dear Mills:

John Reiter has sent to me a copy of the city-approved curb relocation plan, which allows us to build the stoop onto the sidewalk per the Savannah custom. Should I begin working drawings? Following are decisions needed:

1. Shall the house be designed as one or two living units? If two, the stair from the ground level to the second level must be enclosed with a one-hour rated firewall and door, or must be eliminated. The two units must be separated by one-hour rated materials.
2. This house is in the "Fire District", which dictates that the exterior walls must have a one-hour rating. This means we must use brick veneer. I believe this design will look alright with brick. If you prefer wood, we would have to request a "variance" from the city and wait to see if it is granted (typically a month's process.)
3. On the design elements such as doors, windows, blinds, mantels and stair parts, all current "stock" parts are proportioned for "ranch-colonial" subdivision houses. Greek Revival needs larger-scale elements and different moulds.

A. **Doors:** Best = Main floor: Semi-stock 2-panel doors, 7 feet x 3 feet.

Ground floor & top floor: Semi-stock 4-panel doors, 2'-8" (7'-0" at top floor).

Cheapest = stock 6-panel doors, 6'-8" h. x 2'-8" w. (wrong design and too small).

B. **Windows:** Best = True-muntins, custom construction, large panes, Greek Revival mould profile.

Cheapest = "Snap-in" muntin grids, small "panes."

One unit - separate
through with separate
heavy gate sys. frame & elec.
meters

Members of the American Institute of Architects
104 Jefferson Street Huntsville, Alabama 35801
Telephone 205/539-0764

C. **Mantels:** Best = Custom fab. based on simple Greek Revival examples.

Cheapest = stock, simple "colonial" (too small) mantels.

In this case, the custom mantel won't be too much more costly because the Greek Revival mantels are simple in shapes. I suggest we detail plain custom "Greek Revival" mantels.

D. **Floors:** Best = Wide (5 to 6 inches) salvaged heart pine.

Next Best = Wide poplar (but it is soft).

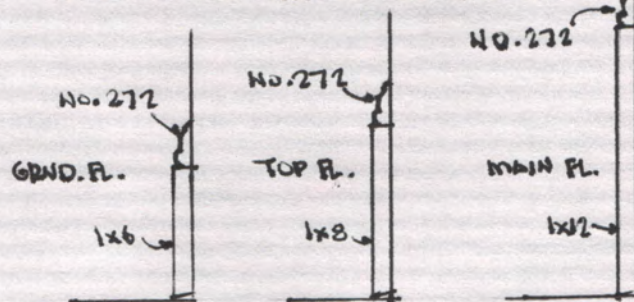
Next Best = Modern narrow oak.

Cheapest = Carpet on plywood.

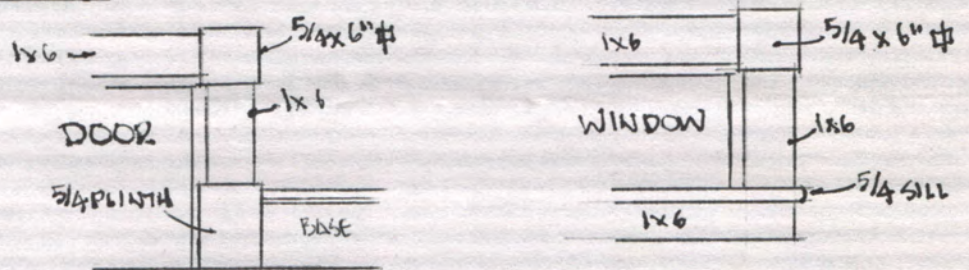
E. **Walls & Cellings** I think we can use gypsum board, painted.

F. **Trim:**

Baseboards:



Door & Window Facings:



Let me know if you'd like to use fluted trim in the parlor and dining room.

Wall-Cornices: None. At least in our area, these are only in the grandest rooms of the grandest houses. Apparently wide wallpaper friezes were used in lieu of cornices. Do you want to use wallpaper friezes or cornices?

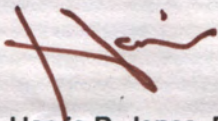
4. **Hardware:** Modern oil-rubbed brass mortised cylinder locks with oval-section knobs. Standard modern primed-and-painted (not brass) butt-hinges.

5. **Light Fixtures:**
 Stoop & verandah = inconspicuous recessed round "can" lights in the soffits. No "coach lights." ✓
 Interior = generally recessed "can" lights. do you want chandeliers in the two main rooms? If so, it's best for you to select them to suit your desires & budget. *only in hall, baths + kitchen - not principal rooms.*
6. **Bathroom Finishes & Fixtures:** I'd suggest frankly modern, with ceramic tile (if budget permits) floor and wainscot, white fixtures. *"linoleum" floor*
7. **Kitchen Finishes & Fixtures:** Vinyl-sheet floors, simple modern painted wood cabinets similar to those detailed for the Habersham Street kitchen. ✓
8. **Roof:** GAF Tiberline" Weathered Wood Blend" heavy-textured 30-year composition shingles (like Habersham Street.)
9. **Gutters & Downspouts:** Copper or galvanized? Drains under walk, like at Habersham Street. *We'll discuss*
10. **City Sidewalk:** Concrete or brick? We must rebuild at least that part torn up in moving the curb. The new curb needs to be concrete rather than granite. You can still get granite curbs (I recently saw some new ones in Boston) but they are ~~dear.~~ *OK*
11. **Private Walks:** Concrete or brick?
12. **Fences:** I assume painted wood (?). *YES*
13. **Porch Floors:** Best = 5/4 x 6 T & G salvaged heart pine.
 Next Best = 5/4 x 6 T & G well cured pressure treated modern pine with the minimum possible of small, tight knots.
 Cheapest = standard 3/4" T & G narrow modern pressure treated pine.
14. **Porch Soffits:** 1x8, 1x10, 1x12 square-butt joint painted wood (no vee-joints).
15. **Exterior Wood Trim Exposed to Rain:** All-heart clear redwood for durability, stability, and paint-holding ability. Can be "finger-joint" if all heart grade.

We will need some custom moulds for the exterior cornices, to be in the right scale and shape, but not many and they are very simple in profile. The tympanum window and the window-blinds must be custom, and must be made of heart redwood to last (white pine typically rots in 7 to 10 years.)

Please let me know your desires on these and any other items. I'm looking forward to beginning the house.

Thanks!



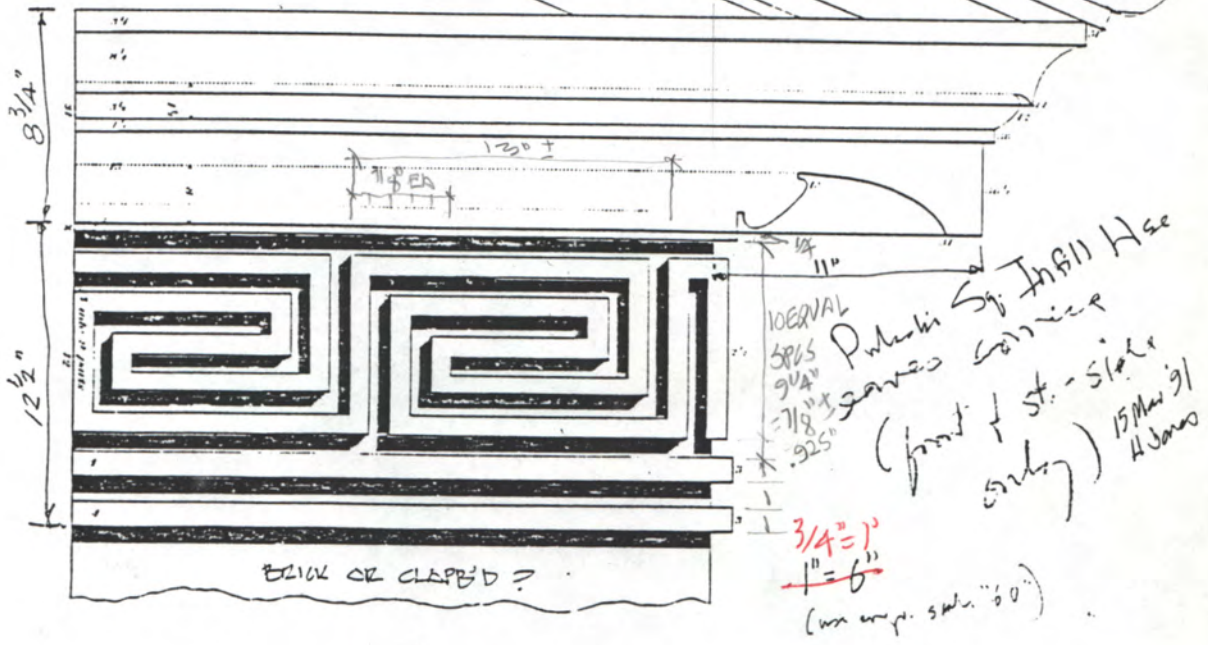
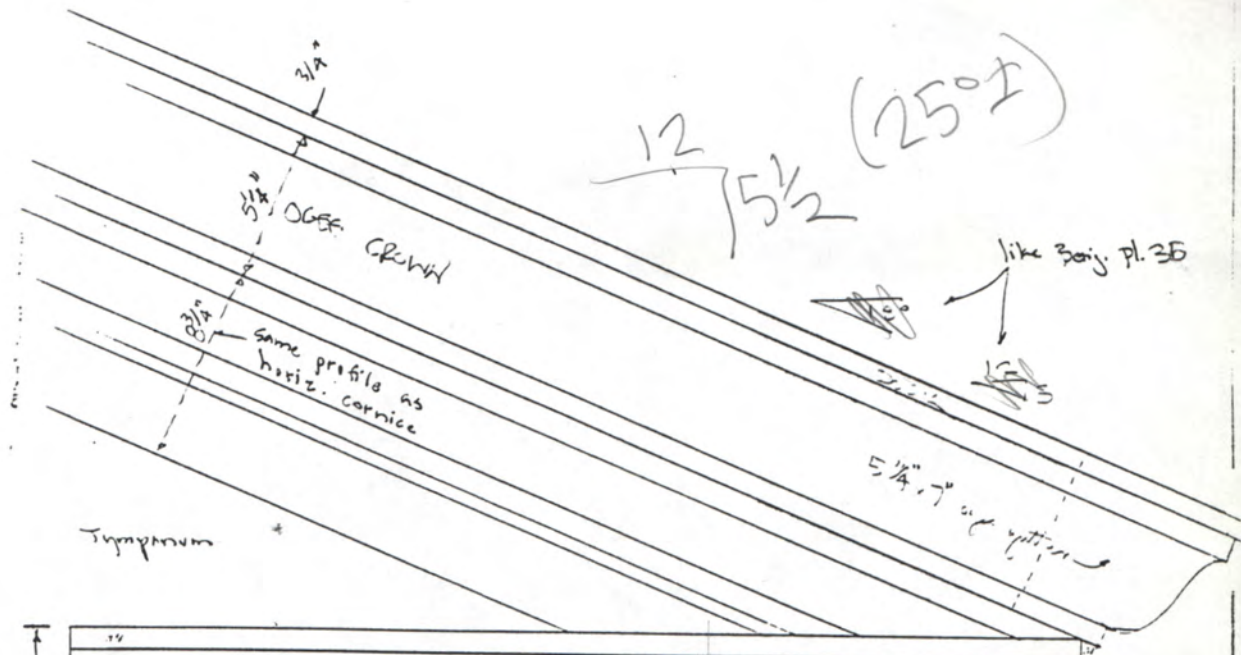
Harvie P. Jones, FAIA
HPJ/am

pc: John Reiter, Architect
file
HJ

attachments

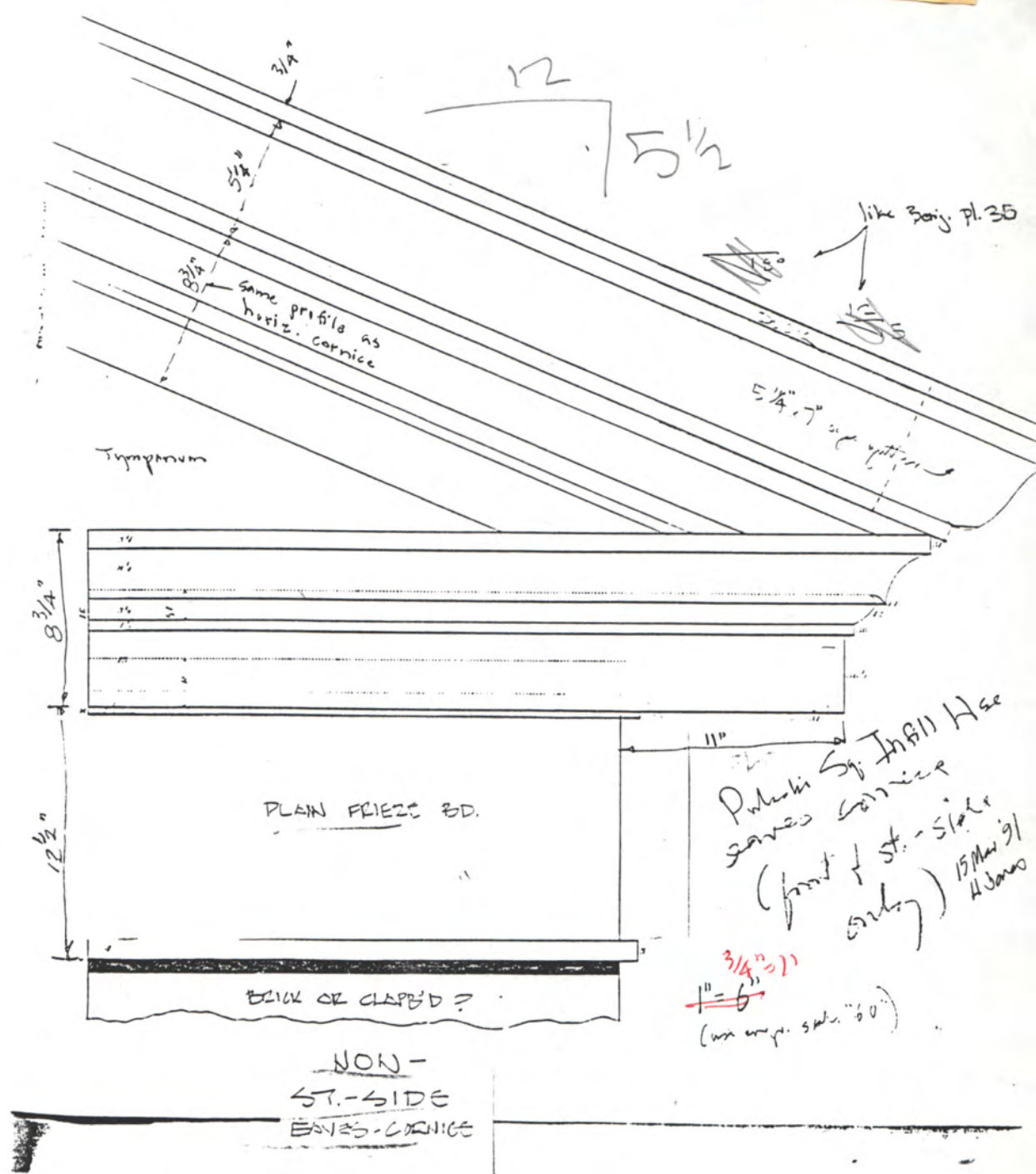
77² Redmont

FRONT CORNICE



ST.-SIDE
ENTRANCE CORNICE

REPAIR
CORNICE



same profile as horiz. cornice

Tympanum

PLAIN FRIeze Bd.

BLOCK OR CLAPB'D?

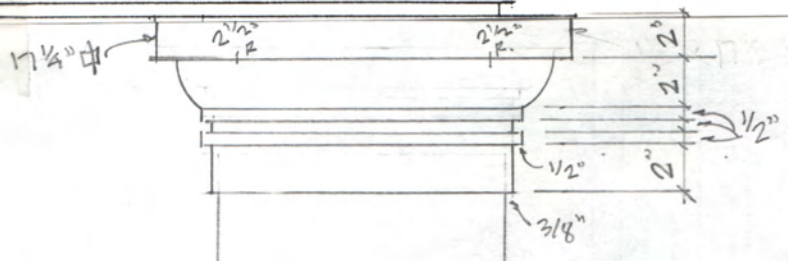
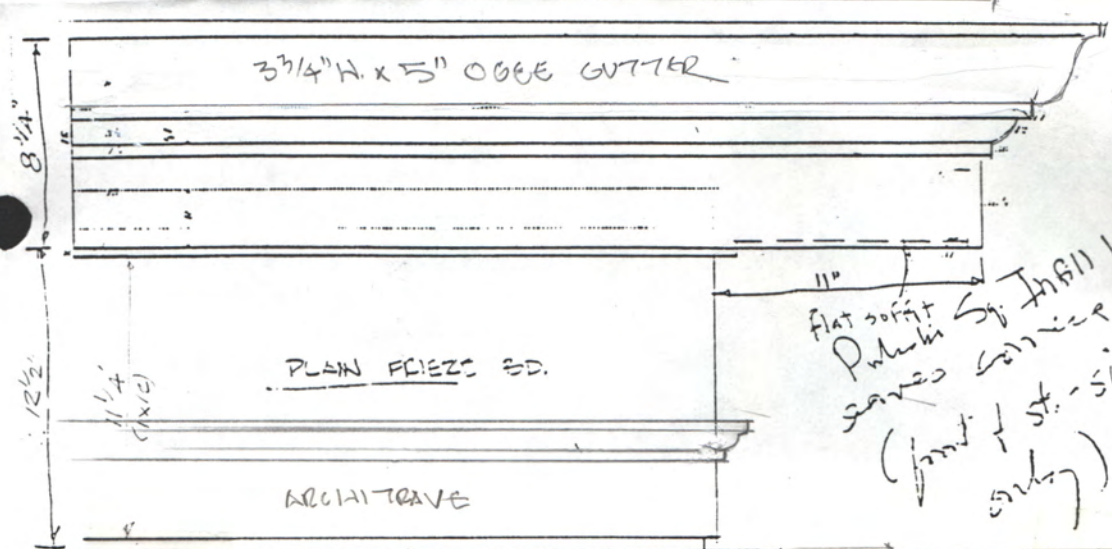
Pulaski Sq. Infill Also gave cornice (front of st. - side only) 15 Mar 91 H. Jones

3/4" = 1/2"
1" = 6"
(can use p. sub. 60)

NON-ST-SIDE ENDS-CORNICE

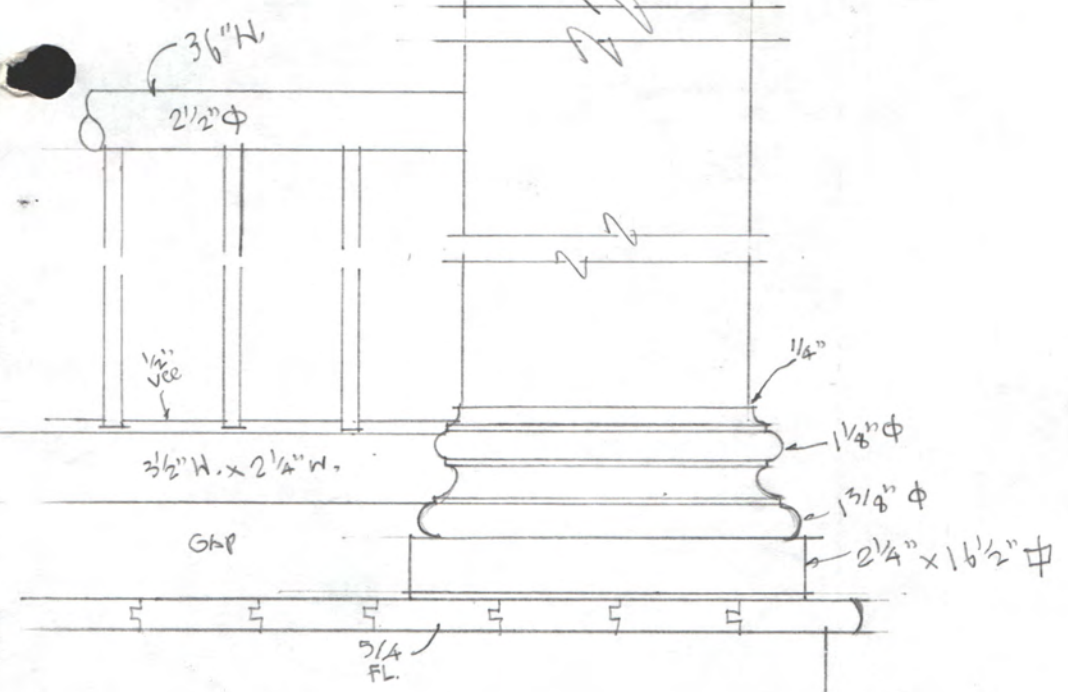
Sim. TO
B&W. PL. 30
w/ flat soffit

3:12
3:12
HIPPED ROOF



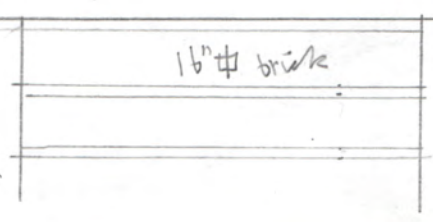
VERANDA

12" # AT ENTRY } N.T.S.
11" # AT VERANDA

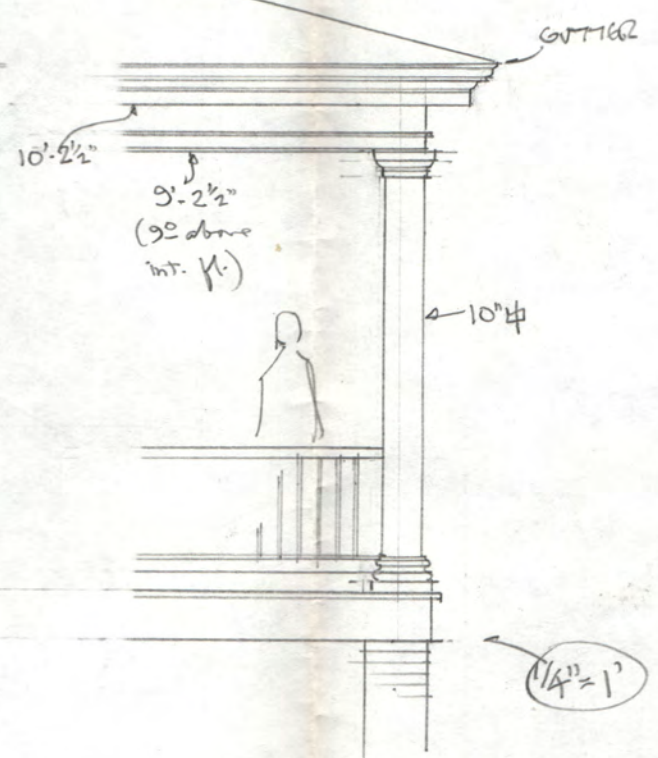


1x12

1 1/2" = 1'



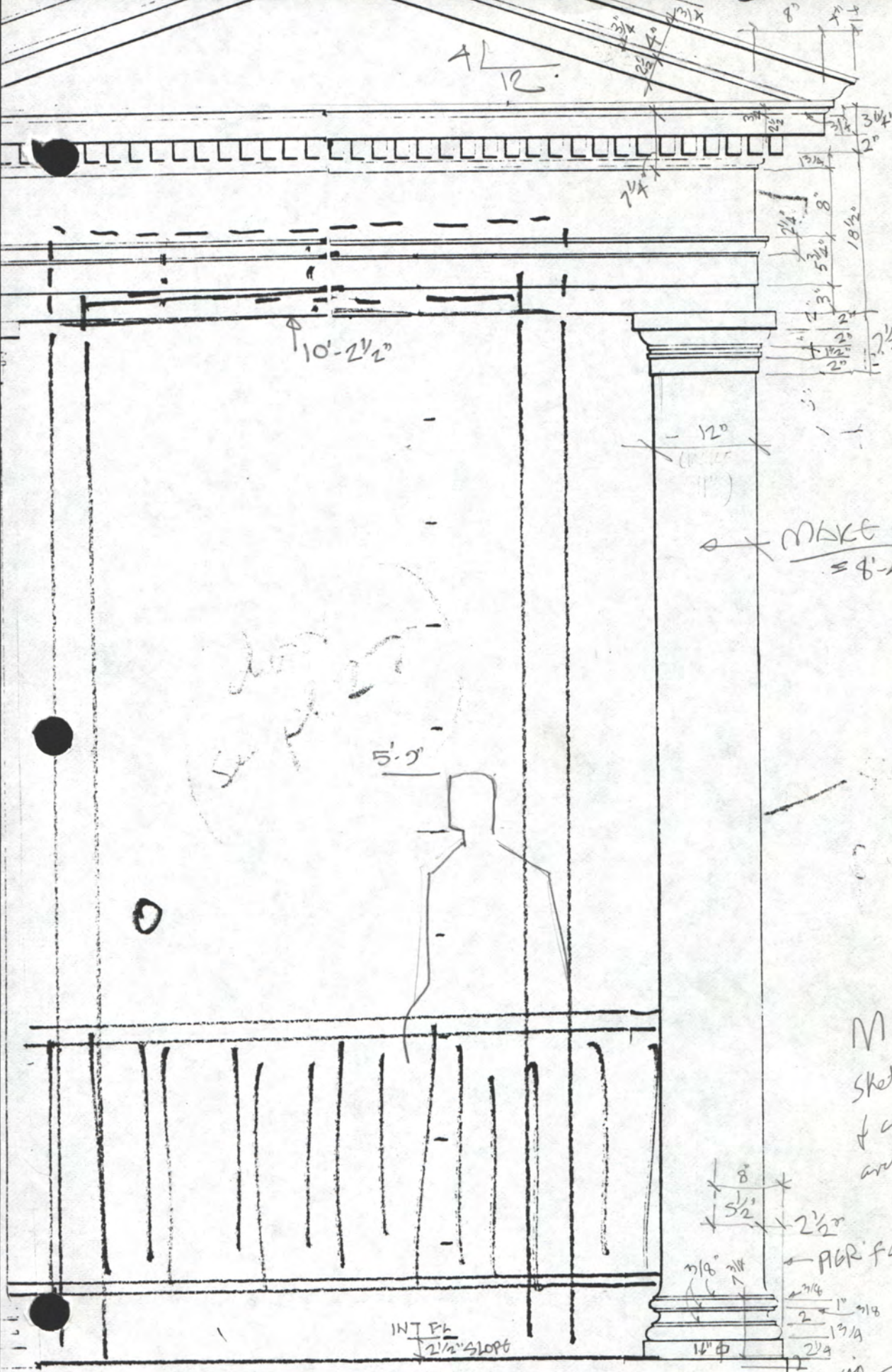
16" # brick



Mims Lane Infill Hse
on Pulaski Sq.
15 Jan. '91 HJ

1467 banking

4/12



MAKE 8'-0" DIA.
= 8'-4" AT PIERS

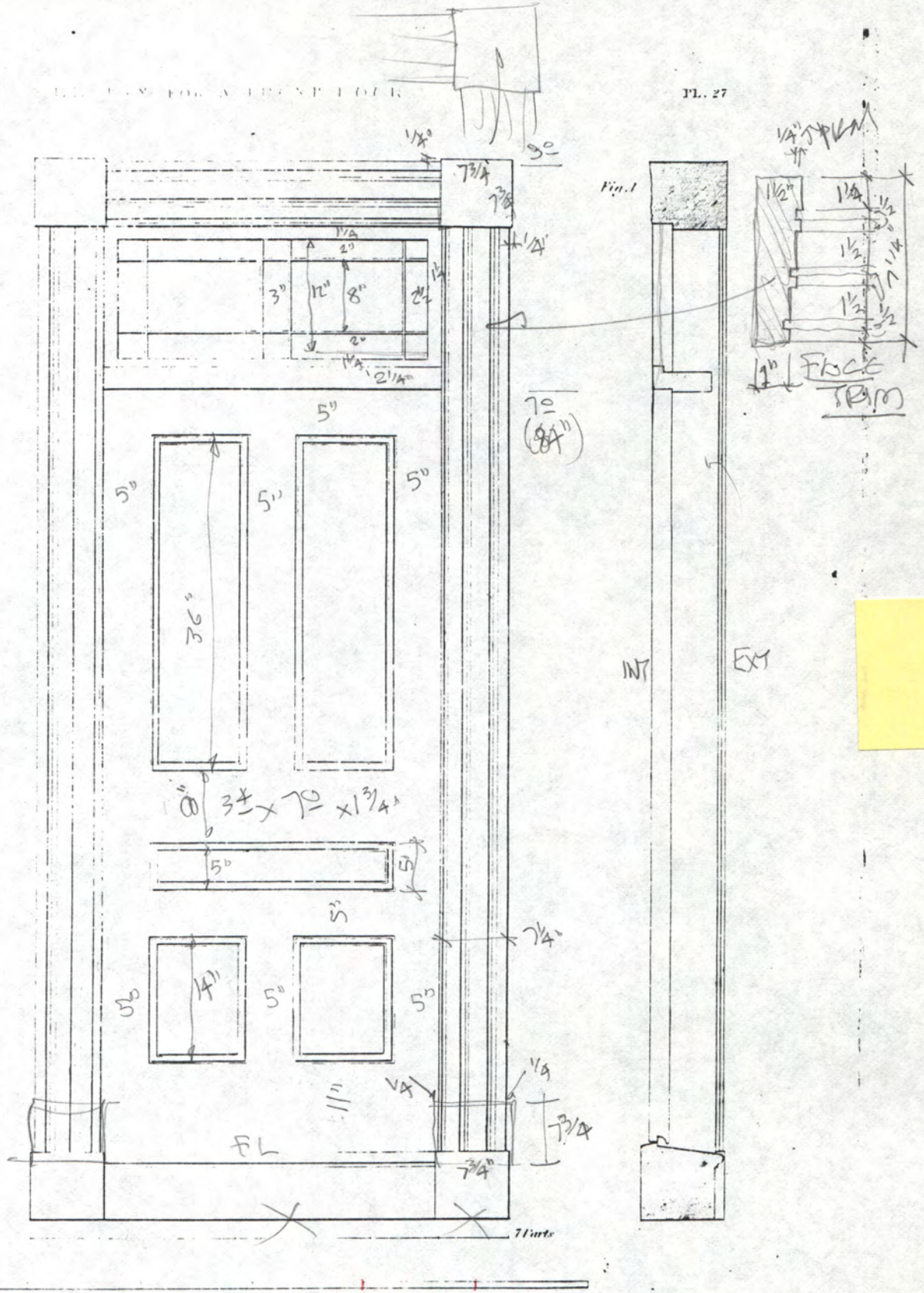
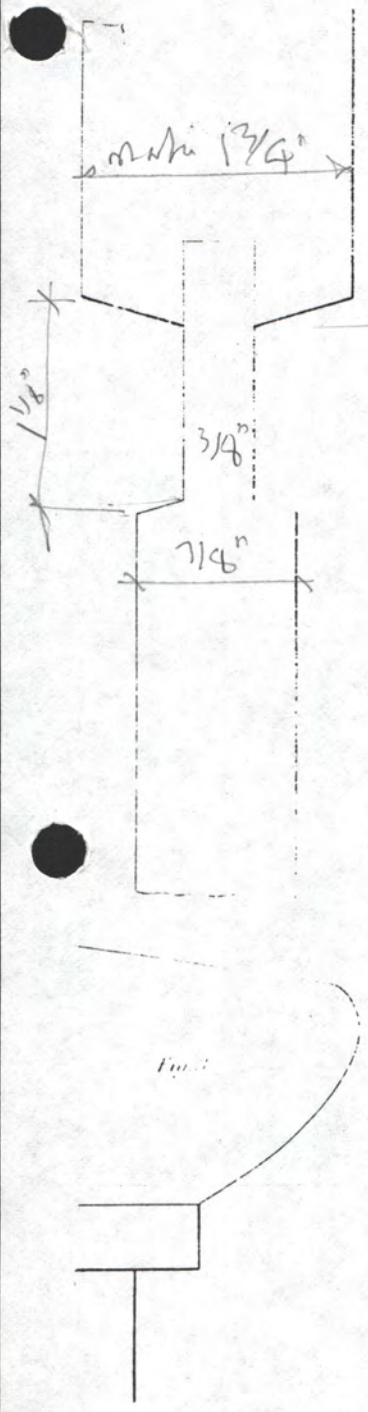
M L's
Sketch of part
of copy of
arch. handbook
details

PART 1

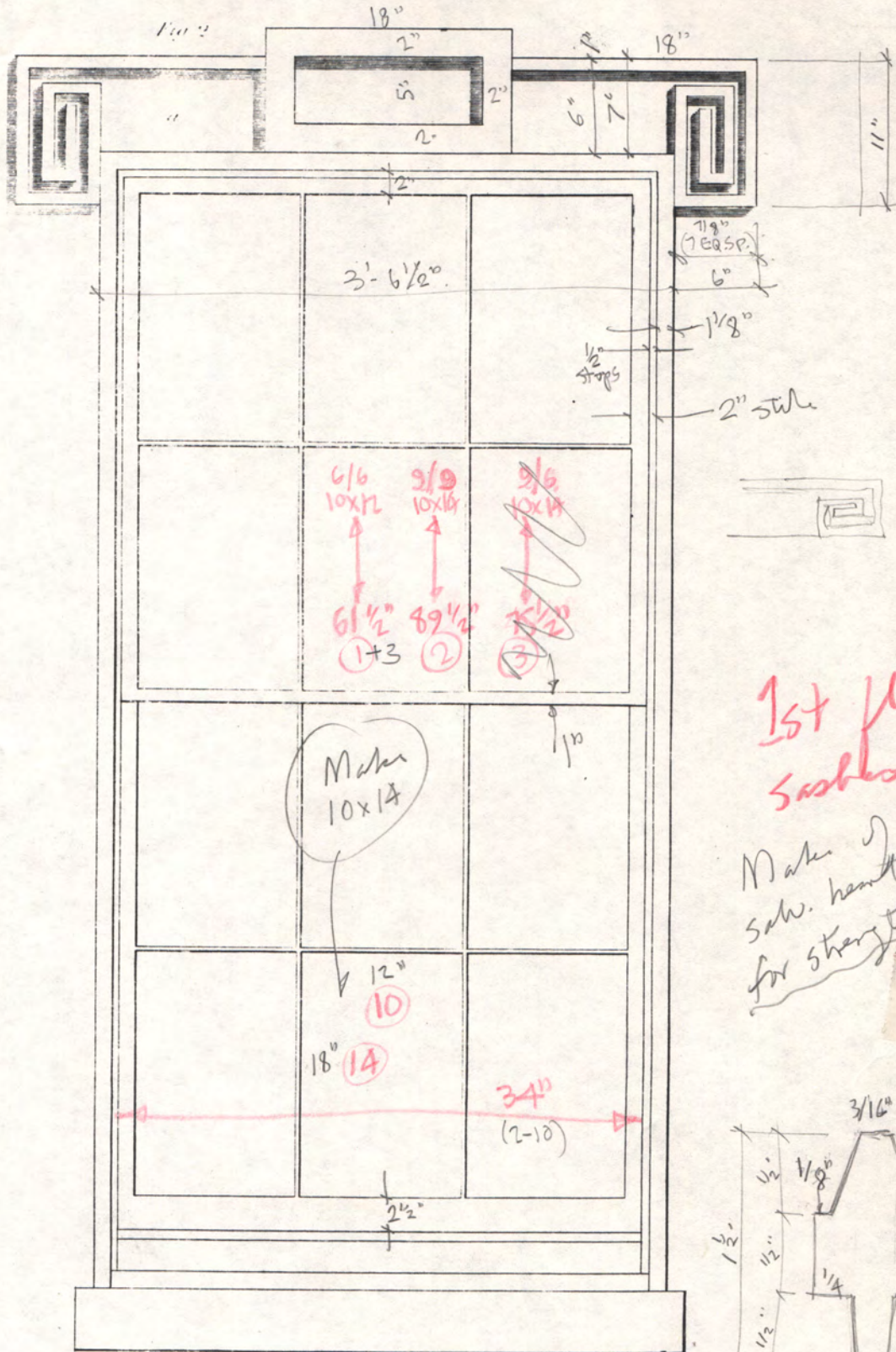
INT FL
2 1/2" SLOPE

3/4" = 1'

to pier

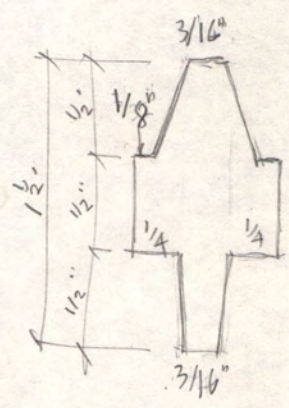


$3\frac{1}{4}'' = 1'$
 front door



1st μ
Sash
Make of
Sash. hand. pine
for strength

WINDOW



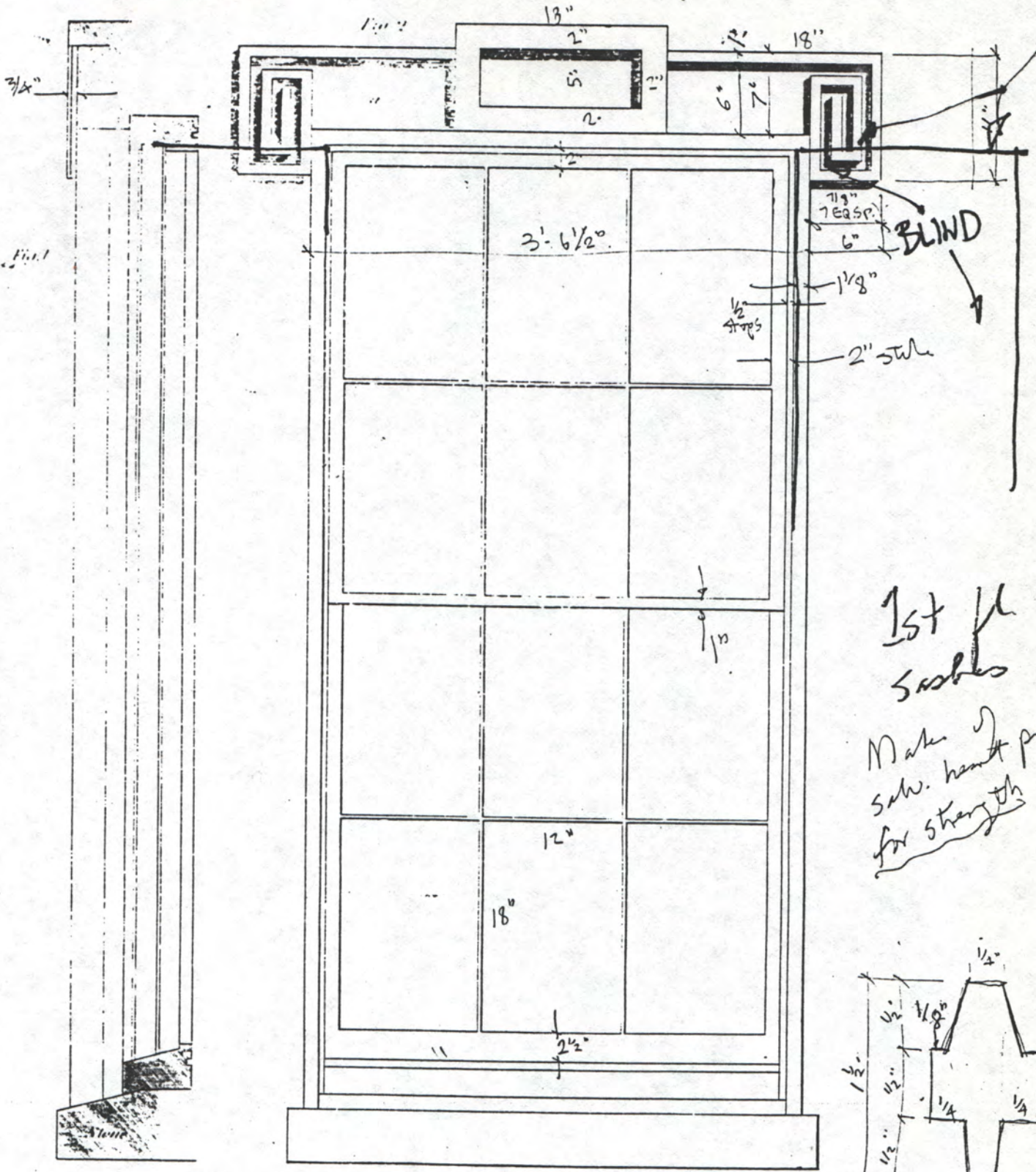
1" = 1'

0162

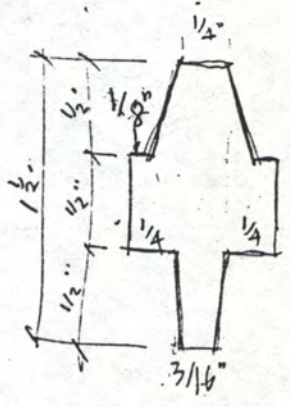
Mills - The blinds will partially cover the lintel ends. OK?
AS 16 Jan. '91

DESIGN FOR WINDOW

PL. 31.



1st fl
 Sashes
 Make of
 sub. hard pine
 for strength



1/4 Inch Scale

1" = 1'

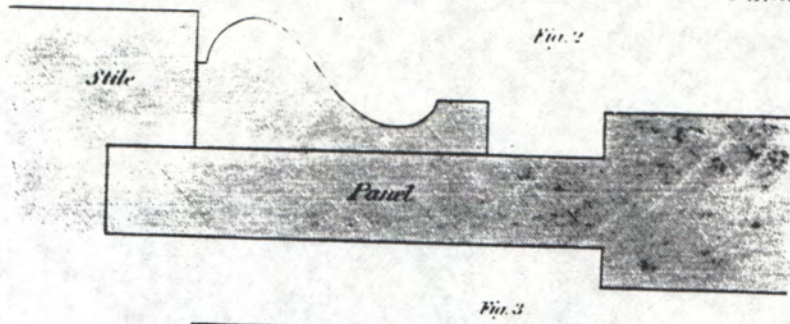
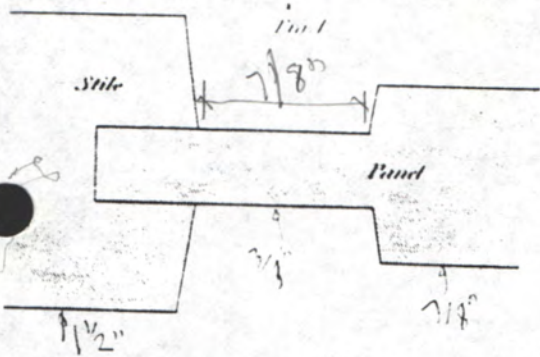
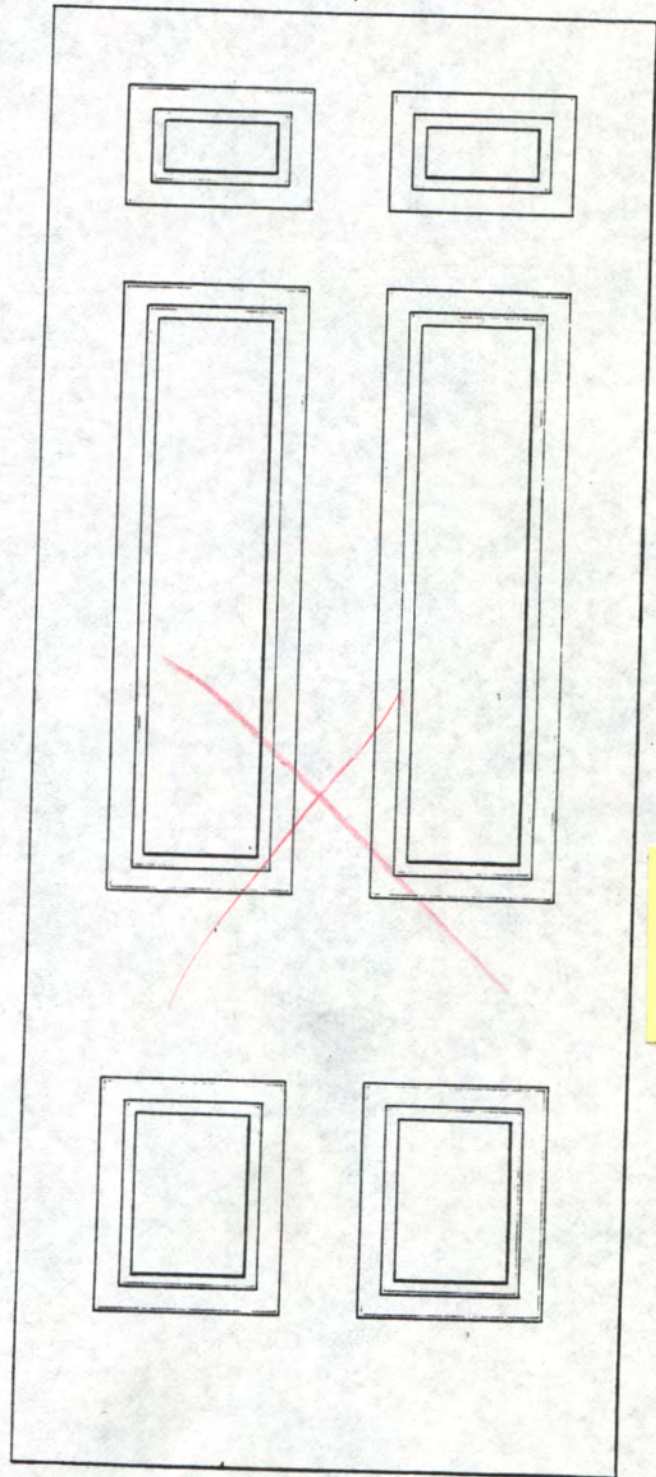
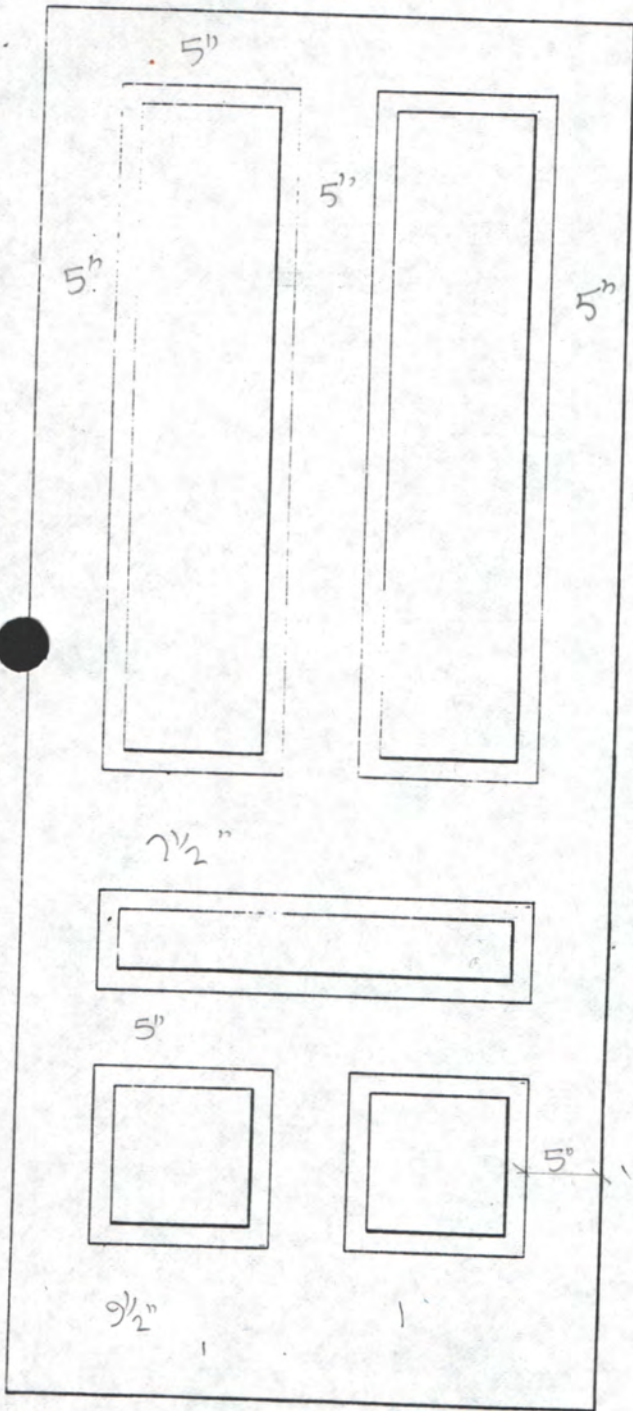


Fig. 3



INT. DOOR + HARD.

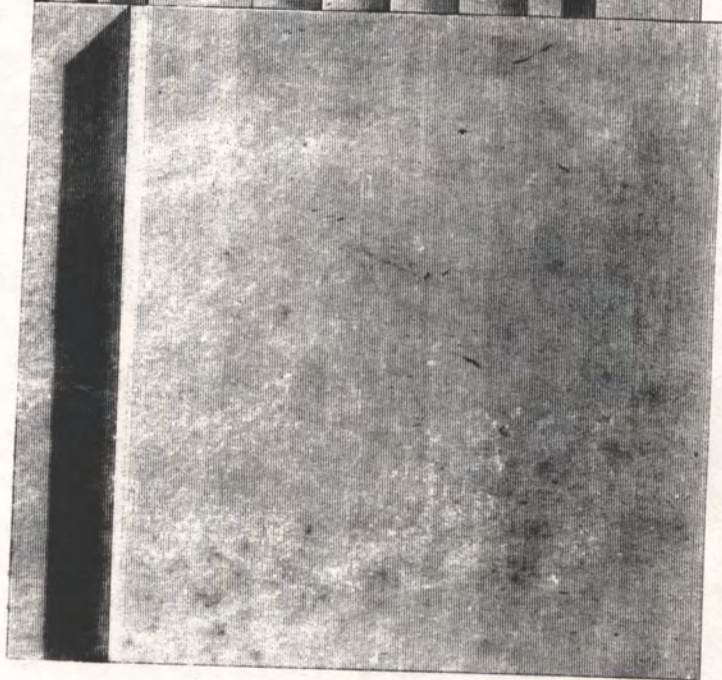
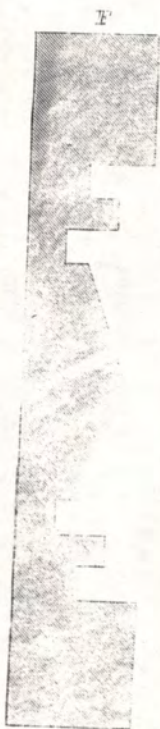
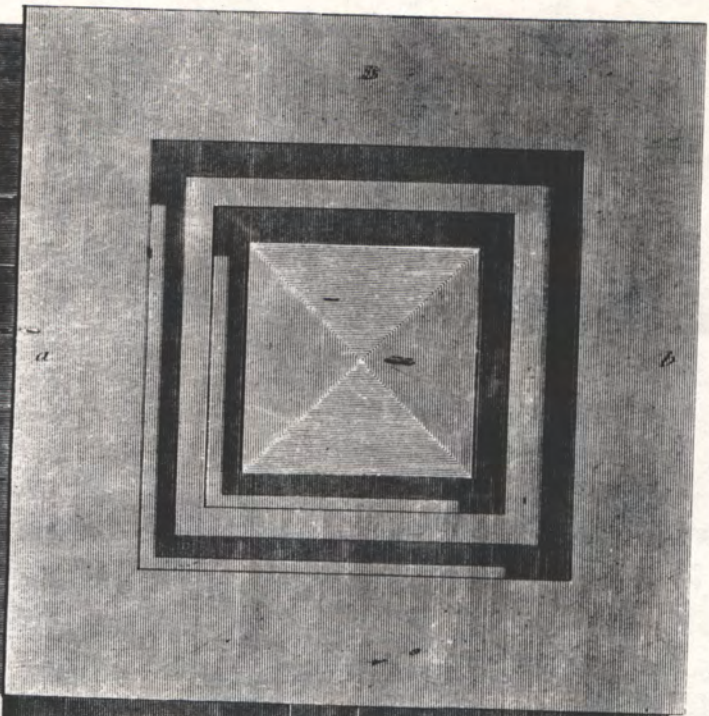
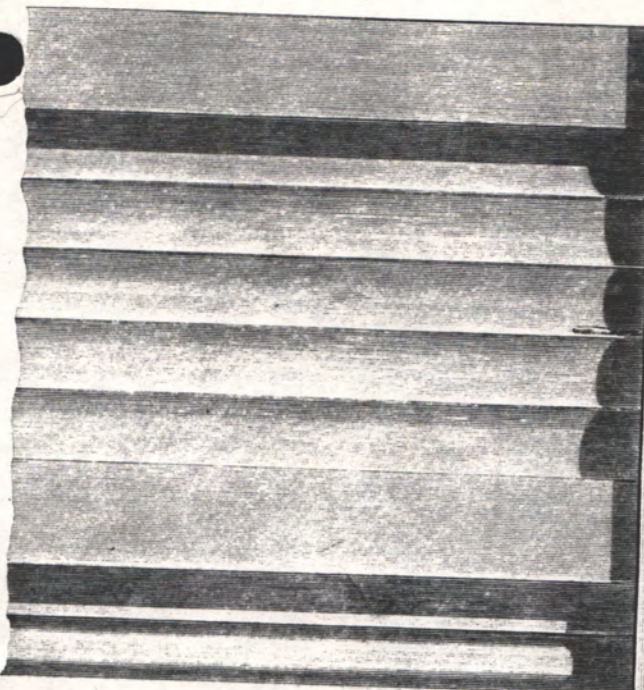
MAKE 3x7"

Sixth - 1 inch to a foot.

1" = 7' on ±

Doors & Windows at Parker Ed.
Same at B.R. pl. except no relief carving

PL. 36

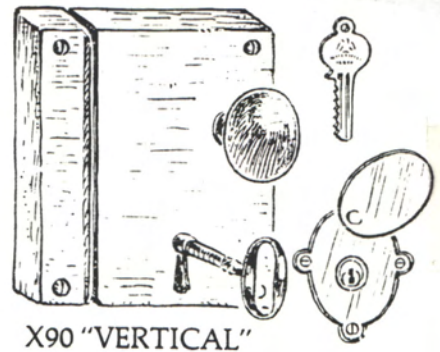


Entry only (K&S)

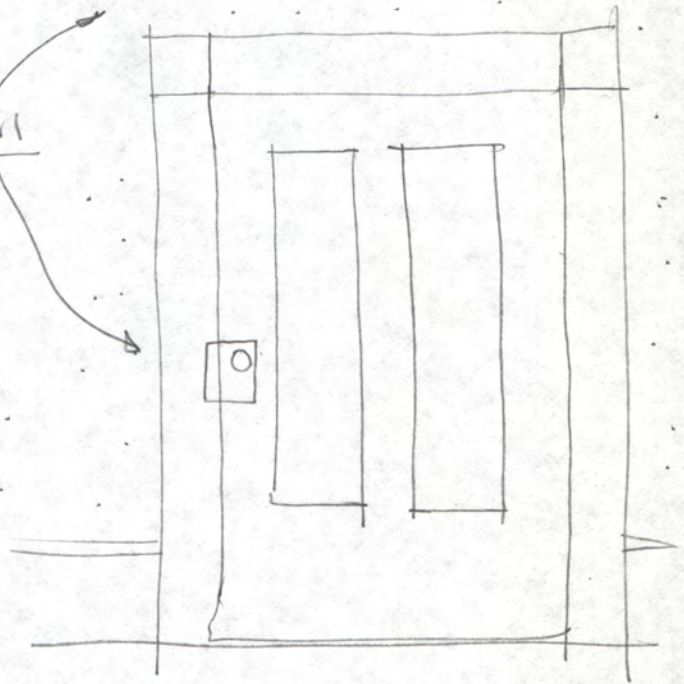
IRON, VERTICAL (B&L & B&L)

Cat. No.

X90-023	4	x 6"	Iron, vert.
X90-024	4-1/2	x 8"	Iron, vert. ENTRY ONLY
X90-025	6	x 9"	Iron, vert.

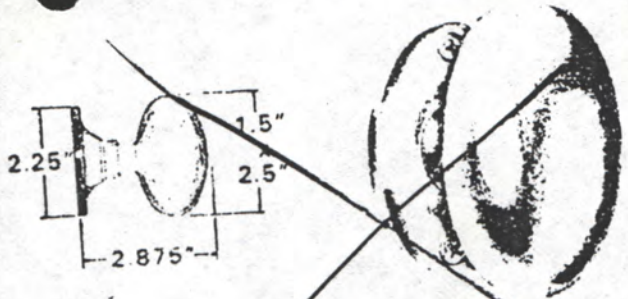


Typical Greek-Renaissance
era rimlock,
vertical in proportion
to fit doors w/o a
lock-rail



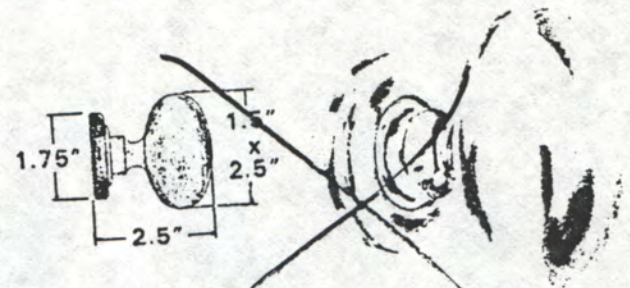
Forged Brass Knob Designs

f
3
REVISION
NOV. 89



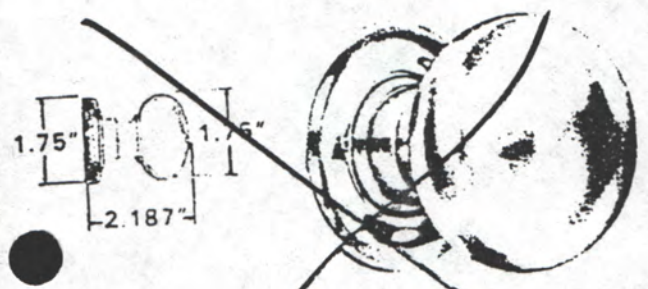
No. 5024*

ROSES SUPPLIED: No. 5014
WEIGHT OF ONE PAIR: 2.5 lbs. (1.13kg)



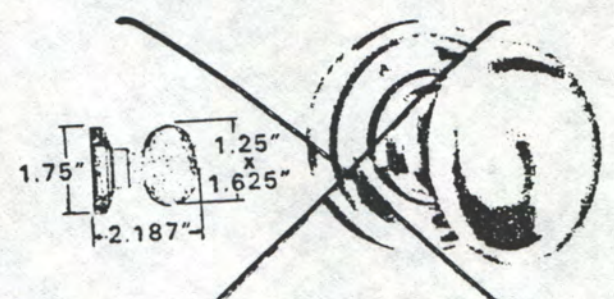
No. 5025

ROSES SUPPLIED: No. 5002
WEIGHT OF ONE PAIR: 2.5 lbs. (1.13kg)



No. 5030

ROSES SUPPLIED: No. 5002
WEIGHT OF ONE PAIR: 1.8 lbs. (.82kg)



No. 5049

ROSES SUPPLIED: No. 5002
WEIGHT OF ONE PAIR: 1.2 lbs. (.54kg)

RESERVED
FOR FUTURE ADDITIONS

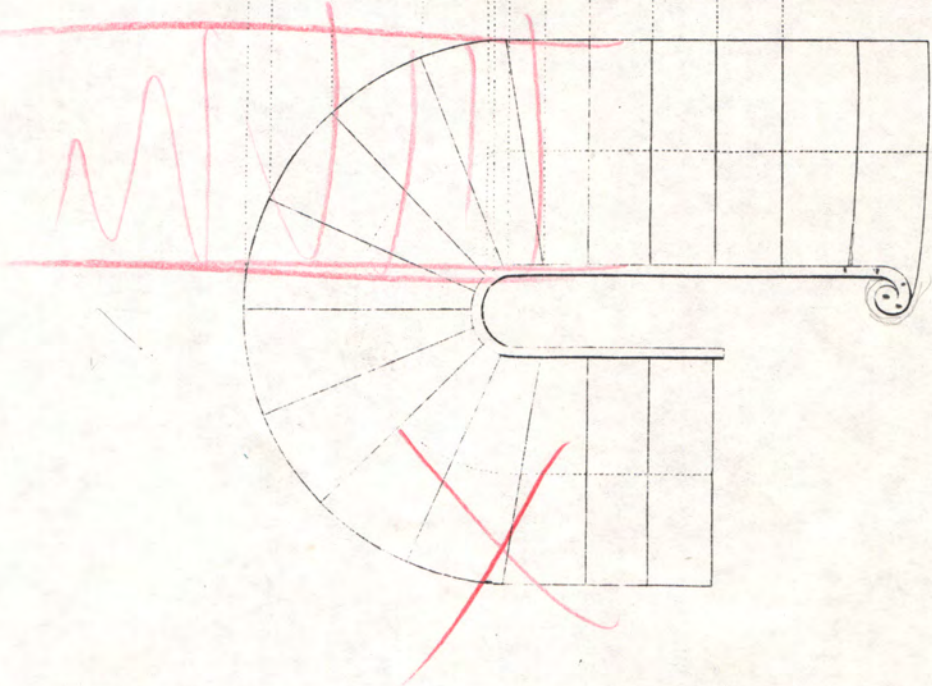
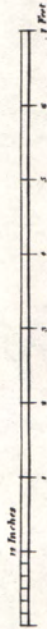
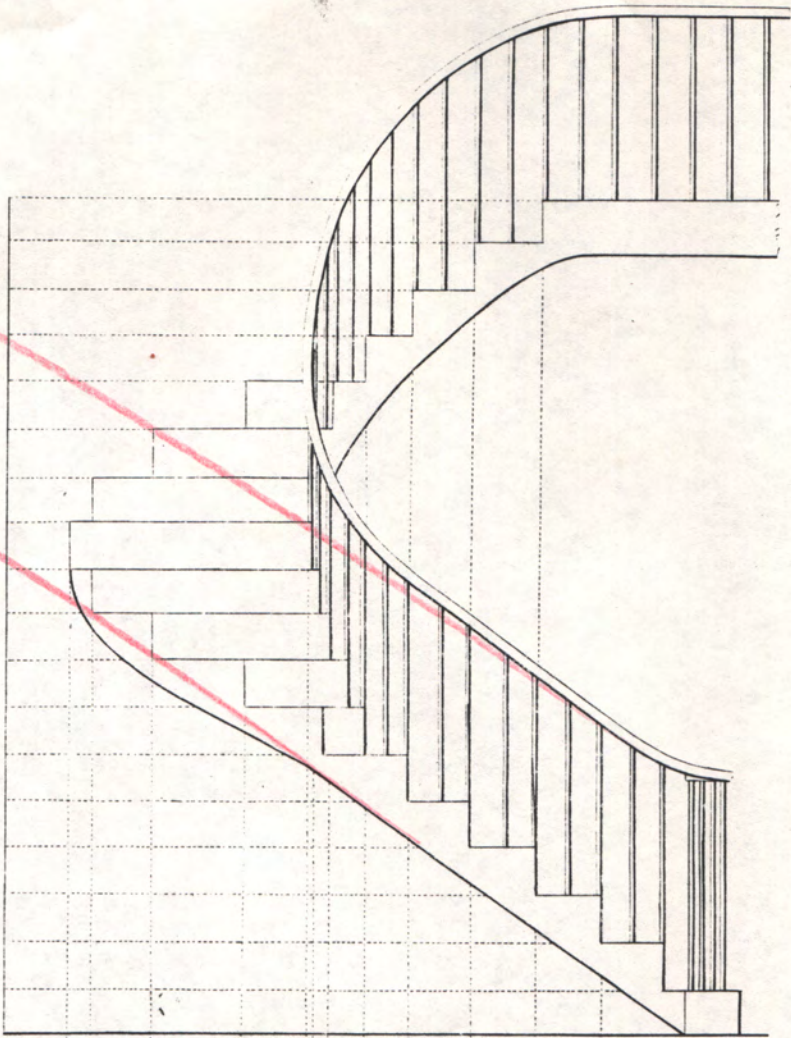
LANE Uses

No. 5070

ROSES SUPPLIED: No. 5037
WEIGHT OF ONE PAIR: 1.5 lbs. (.68kg)

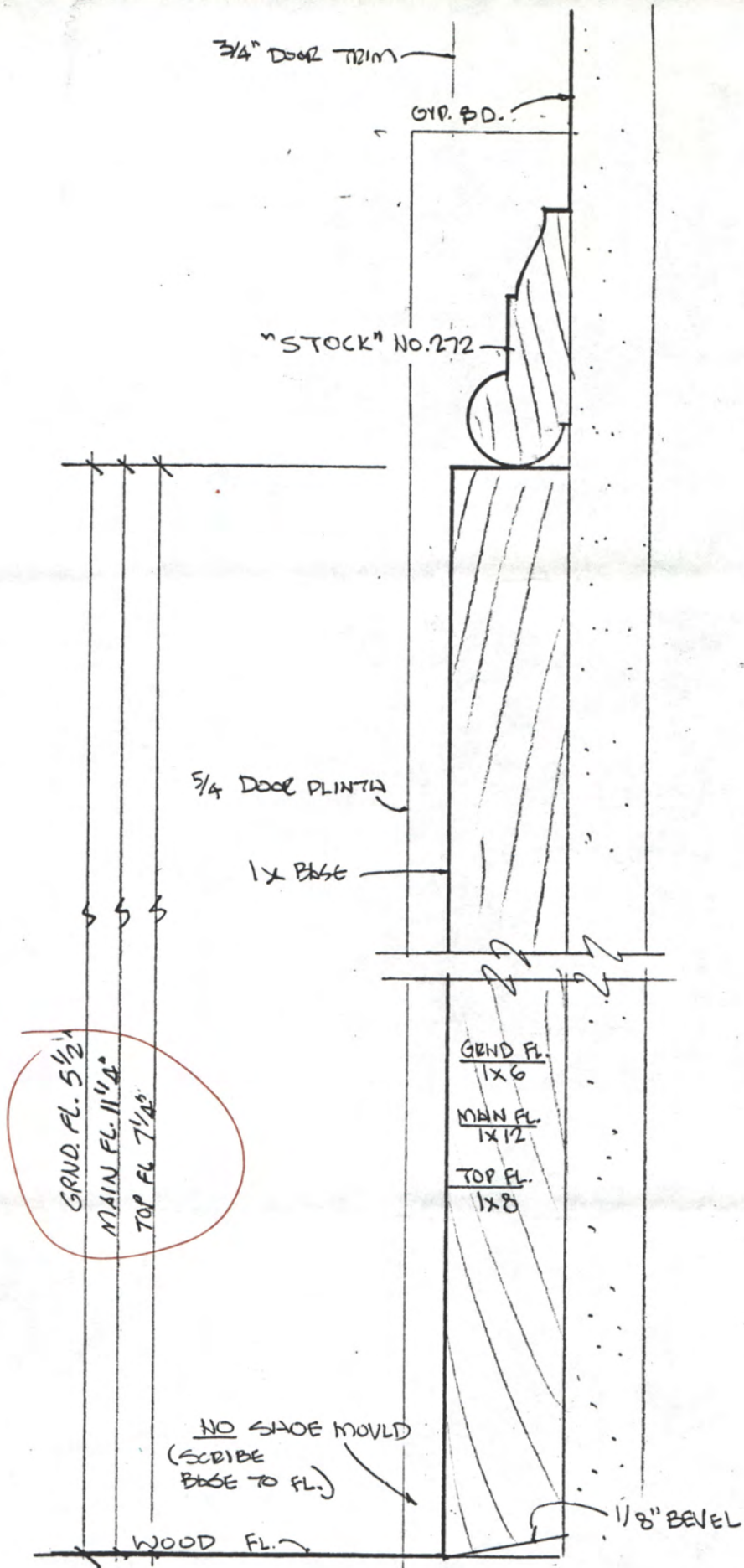
*RM. Mem Baldwin 5070 lock
(knob is 1 3/4" φ vs. 1 1/4" φ 1910.
No iron box rimlock.)*

OPERATING TRIM consists of one pair of knobs with roses, spindle and fasteners.
DUMMY TRIM consists of one knob with rose, dummy spindle, and No. 5098 plate.
FULL DUMMY TRIM consists of operating trim and No. 5098 plate.
* DUMMY FULL DUMMY TRIM furnished with: No. 5099 plate.



Stair
(except straight)

STAIR



3/4" DOOR TRIM

GRP. B.D.

"STOCK" No. 272

5/4 DOOR PLINTIA

1x BASE

GRND. FL. 5 1/2"
 MAIN FL. 11 1/4"
 TOP FL. 7 1/2"

GRND FL.
 1x6
 MAIN FL.
 1x12
 TOP FL.
 1x8

NO SHOE MOULD
 (SCRIBE
 EDGE TO FL.)

WOOD FL.

1/8" BEVEL

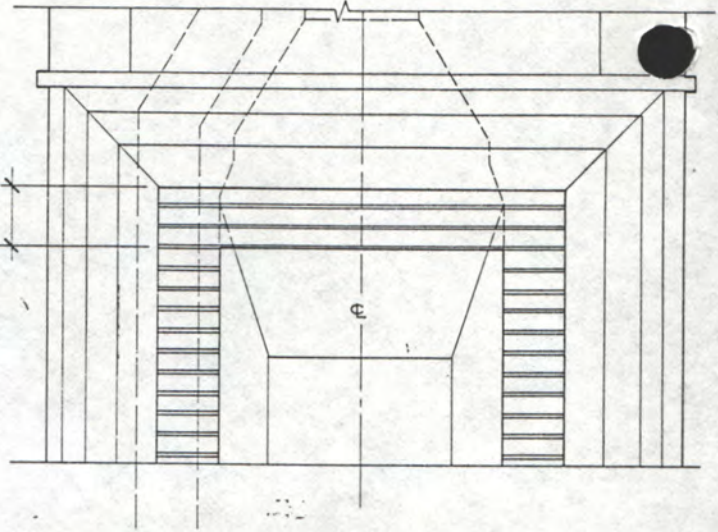
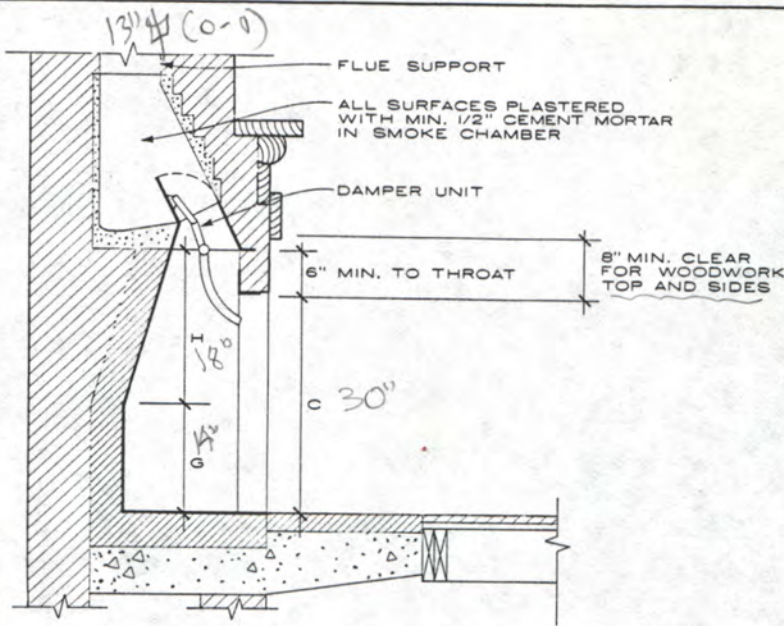
SUGGESTED PAGE SKETCH

M. LANE INFILL H&B 14 NOV. '90 HJ

SCALE - FULL SIZE

ML

Low Joplin Ark

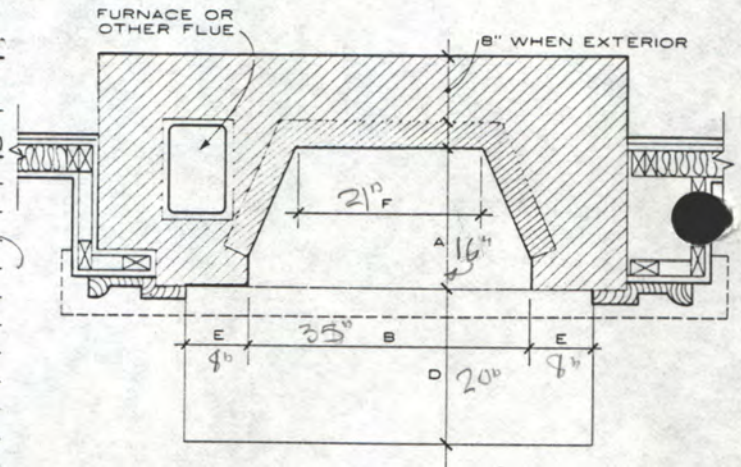


SECTION

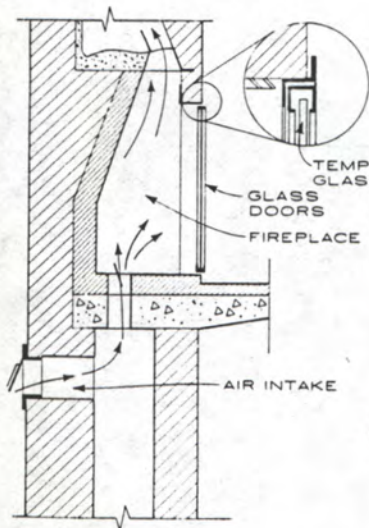
ELEVATION

RECOMMENDED DIMENSIONS FOR WOOD BURNING FIREPLACES, HEARTH, AND FLUE (IN.)

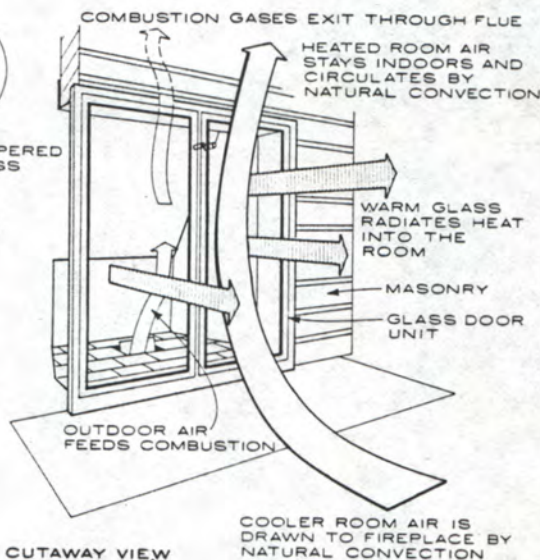
FIREPLACE OPENING		DEPTH A	BACK- WALL WIDTH (MIN.) F	VERTICAL BACKWALL HEIGHT G	INCLINED BACKWALL HEIGHT H	FLUE LINING	
WIDTH B	HEIGHT C					RECTANGULAR (OUTSIDE)	ROUND (INSIDE)
24	24	16-18	14	14	16	8 1/2 x 13	10
28	24	16-18	14	14	16	8 1/2 x 13	10
30	28-30	16-18	16	14	18	8 1/2 x 13	10
36	28-30	16-18	22	14	18	8 1/2 x 13	12
42	28-30	16-18	28	14	18	13 x 13	12
48	32	18-20	32	14	24	13 x 13	15
54	36	18-20	36	14	28	13 x 18	15
60	36	18-20	44	14	28	13 x 18	15
54	40	20-22	36	17	29	18 x 18	18
60	40	20-22	44	17	30	18 x 18	18
66	40	20-22	44	17	30	18 x 18	18
72	40	22-28	51	17	30	18 x 18	18



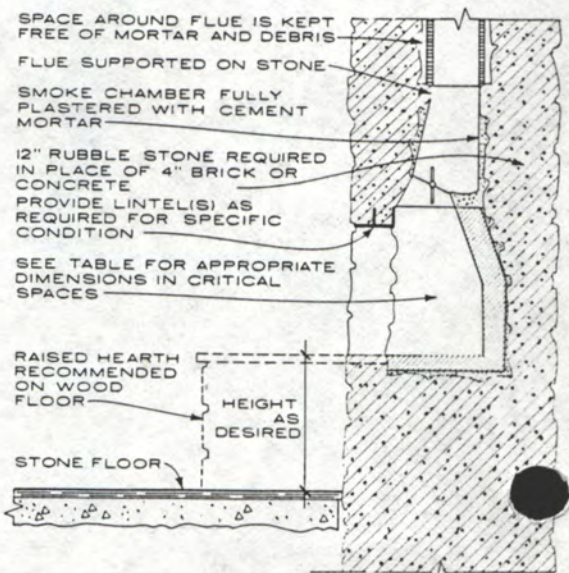
PLAN



SECTION



CUTAWAY VIEW



RAISED FIREPLACE IN MASSIVE STONE WALL - SECTION

TRADITIONAL MASONRY FIREPLACE WITH ENERGY CONSERVATION MODIFICATIONS

Darrel Rippeteau, Architect; Washington, D.C.

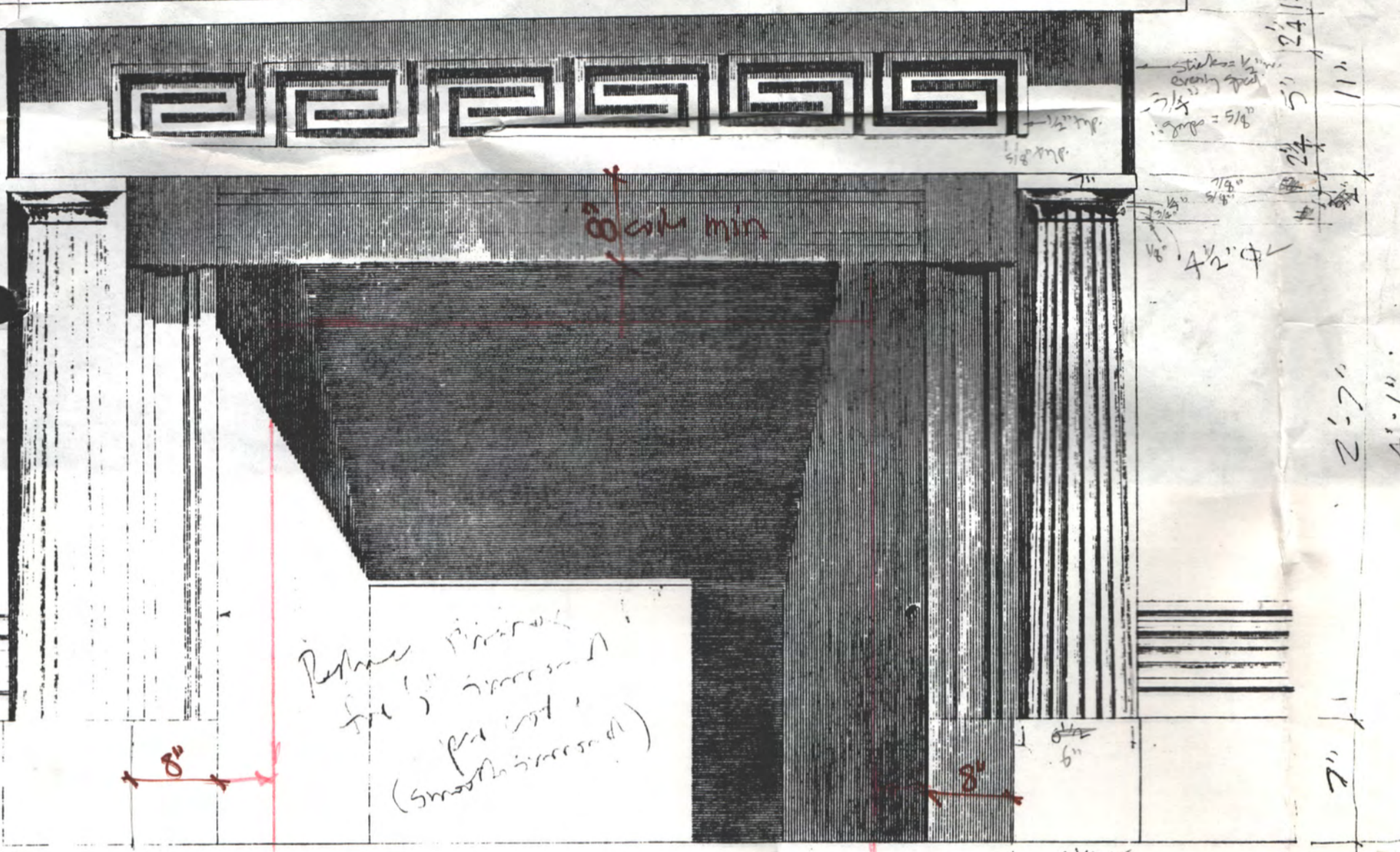
Wall finish

38-14/16
10 11/16

Section of facing full size

5'-3 1/4"

5/8" 8/4 1 5/2 3/4 3"



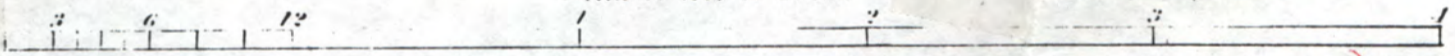
Stainless = 1/2" evenly spaced
 3/4" = 5/8"
 2 1/2"
 1 1/2"
 2 1/2"
 4 1/2" φ

2'-7"
 4'-10"
 7"

Reference material for 1/2" stainless (smooth stainless)

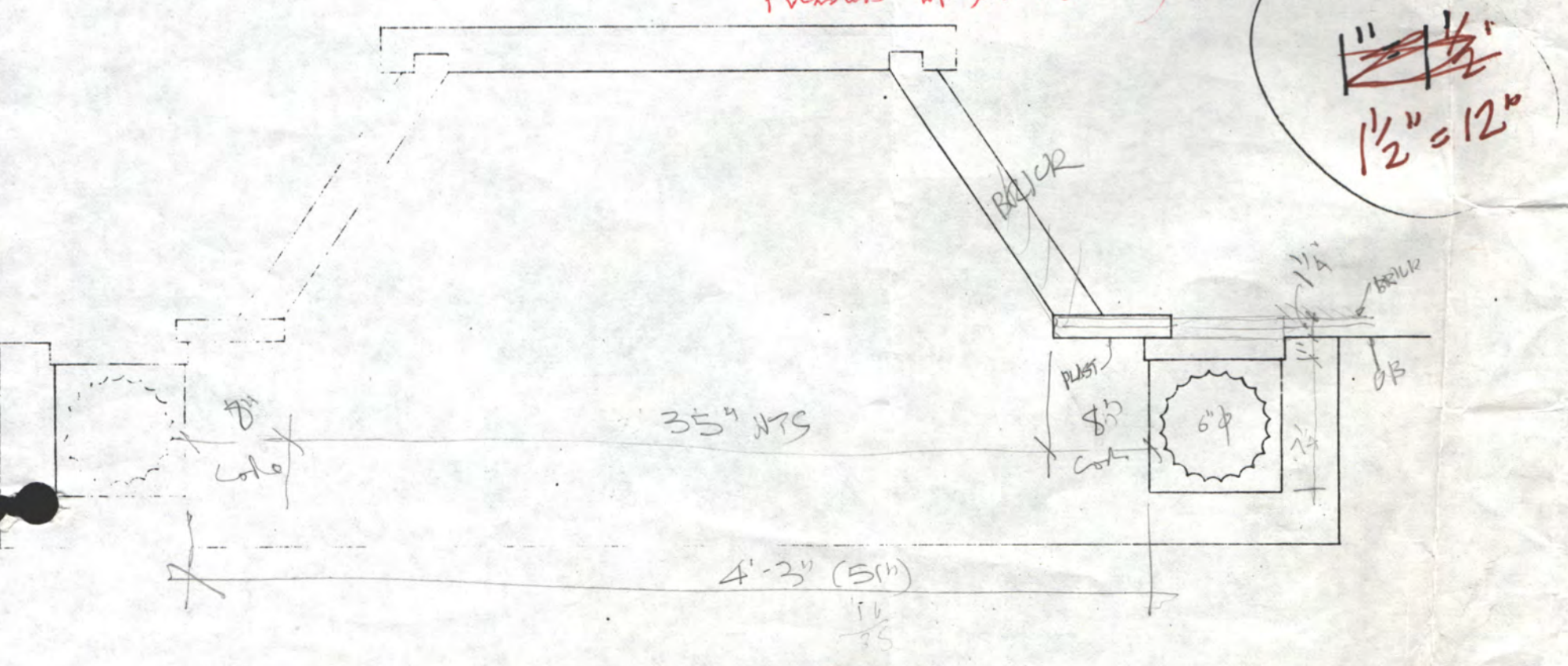
5'-5 1/4" o.b.

Scale of feet & inches



Colonnets only at level 2
 Pilasters at level 3

1" 1/2" = 12"



35" NTS

4'-3" (51")

16/35

JONES & HERRIN

Architecture/Interior Design

November 15, 1990

Mills Lane
The Beehive Press
321 Barnard Street
Savannah, Ga. 31401

Re: Beehive Press Foundation
Infill House
W. Harris and Barnard Streets
Savannah, Georgia
Project No. 90024

Dear Mills:

John Reiter has sent to me a copy of the city-approved curb relocation plan, which allows us to build the stoop onto the sidewalk per the Savannah custom. Should I begin working drawings? Following are decisions needed:

1. Shall the house be designed as one or two living units? If two, the stair from the ground level to the second level must be enclosed with a one-hour rated firewall and door, or must be eliminated. The two units must be separated by one-hour rated materials.
2. This house is in the "Fire District", which dictates that the exterior walls must have a one-hour rating. This means we must use brick veneer. I believe this design will look alright with brick. If you prefer wood, we would have to request a "variance" from the city and wait to see if it is granted (typically a month's process.)
3. On the design elements such as doors, windows, blinds, mantels and stair parts, all current "stock" parts are proportioned for "ranch-colonial" subdivision houses. Greek Revival needs larger-scale elements and different moulds.

A. **Doors:** Best = Main floor: Semi-stock 2-panel doors, 7 feet x 3 feet.

Ground floor & top floor: Semi-stock 4-panel doors, 2'-8" (7'-0" at top floor).

Cheapest = stock 6-panel doors, 6'-8" h. x 2'-8" w. (wrong design and too small).

B. **Windows:** Best = True-muntins, custom construction, large panes, Greek Revival mould profile.

Cheapest = "Snap-in" muntin grids, small "panes."

Members of the American Institute of Architects
104 Jefferson Street Huntsville, Alabama 35801
Telephone 205/539-0764

C. **Mantels:** Best = Custom fab. based on simple Greek Revival examples.

Cheapest = stock, simple "colonial" (too small) mantels.

In this case, the custom mantel won't be too much more costly because the Greek Revival mantels are simple in shapes. I suggest we detail plain custom "Greek Revival" mantels.

D. **Floors:** Best = Wide (5 to 6 inches) salvaged heart pine.

Next Best = Wide poplar (but it is soft).

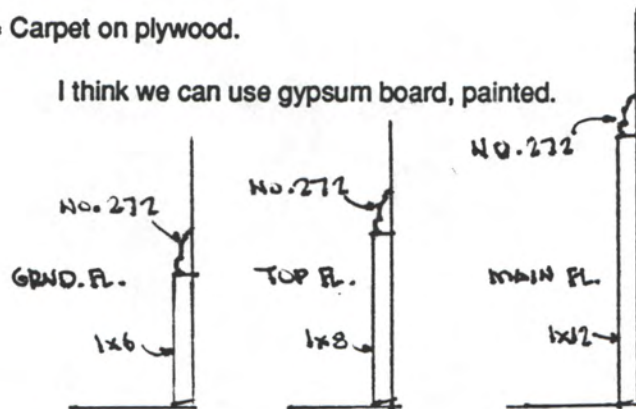
Next Best = Modern narrow oak.

Cheapest = Carpet on plywood.

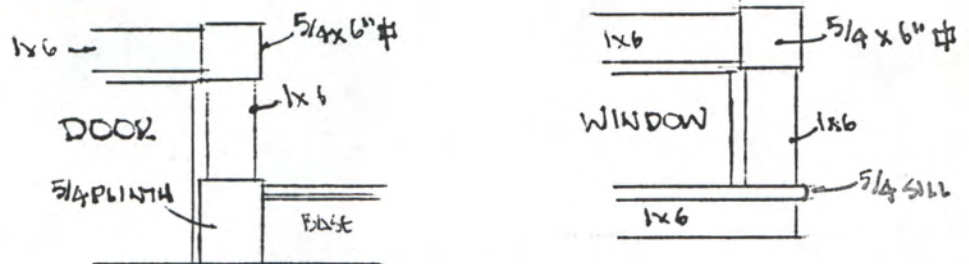
E. **Walls & Cellings** I think we can use gypsum board, painted.

F. **Trim:**

Baseboards:



Door & Window Facings:



Let me know if you'd like to use fluted trim in the parlor and dining room.

Wall-Cornices: None. At least in our area, these are only in the grandest rooms of the grandest houses. Apparently wide wallpaper friezes were used in lieu of cornices. Do you want to use wallpaper friezes or cornices?

4. **Hardware:** Modern oil-rubbed brass mortised cylinder locks with oval-section knobs. Standard modern primed-and-painted (not brass) butt-hinges.

5. **Light Fixtures:**
Stoop & verandah = inconspicuous recessed round "can" lights in the soffits. No "coach lights."

Interior = generally recessed "can" lights. do you want chandeliers in the two main rooms? If so, it's best for you to select them to suit your desires & budget.
6. **Bathroom Finishes & Fixtures:** I'd suggest frankly modern, with ceramic tile (if budget permits) floor and wainscot, white fixtures.
7. **Kitchen Finishes & Fixtures:** Vinyl-sheet floors, simple modern painted wood cabinets similar to those detailed for the Habersham Street kitchen.
8. **Roof:** GAF Tiberline" Weathered Wood Blend" heavy-textured 30-year composition shingles (like Habersham Street.)
9. **Gutters & Downspouts:** Copper or galvanized? Drains under walk, like at Habersham Street.
10. **City Sidewalk:** Concrete or brick? We must rebuild at least that part torn up in moving the curb. The new curb needs to be concrete rather than granite. You can still get granite curbs (I recently saw some new ones in Boston) but they are dear.
11. **Private Walks:** Concrete or brick?
12. **Fences:** I assume painted wood (?).
13. **Porch Floors:** Best = 5/4 x 6 T & G salvaged heart pine.

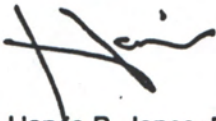
Next Best = 5/4 x 6 T & G well cured pressure treated modern pine with the minimum possible of small, tight knots.

Cheapest = standard 3/4" T & G narrow modern pressure treated pine.
14. **Porch Soffits:** 1x8, 1x10, 1x12 square-butt joint painted wood (no vee-joints).
15. **Exterior Wood Trim Exposed to Rain:** All-heart clear redwood for durability, stability, and paint-holding ability. Can be "finger-joint" if all heart grade.

We will need some custom moulds for the exterior cornices, to be in the right scale and shape, but not many and they are very simple in profile. The tympanum window and the window-blinds must be custom, and must be made of heart redwood to last (white pine typically rots in 7 to 10 years.)

Please let me know your desires on these and any other items. I'm looking forward to beginning the house.

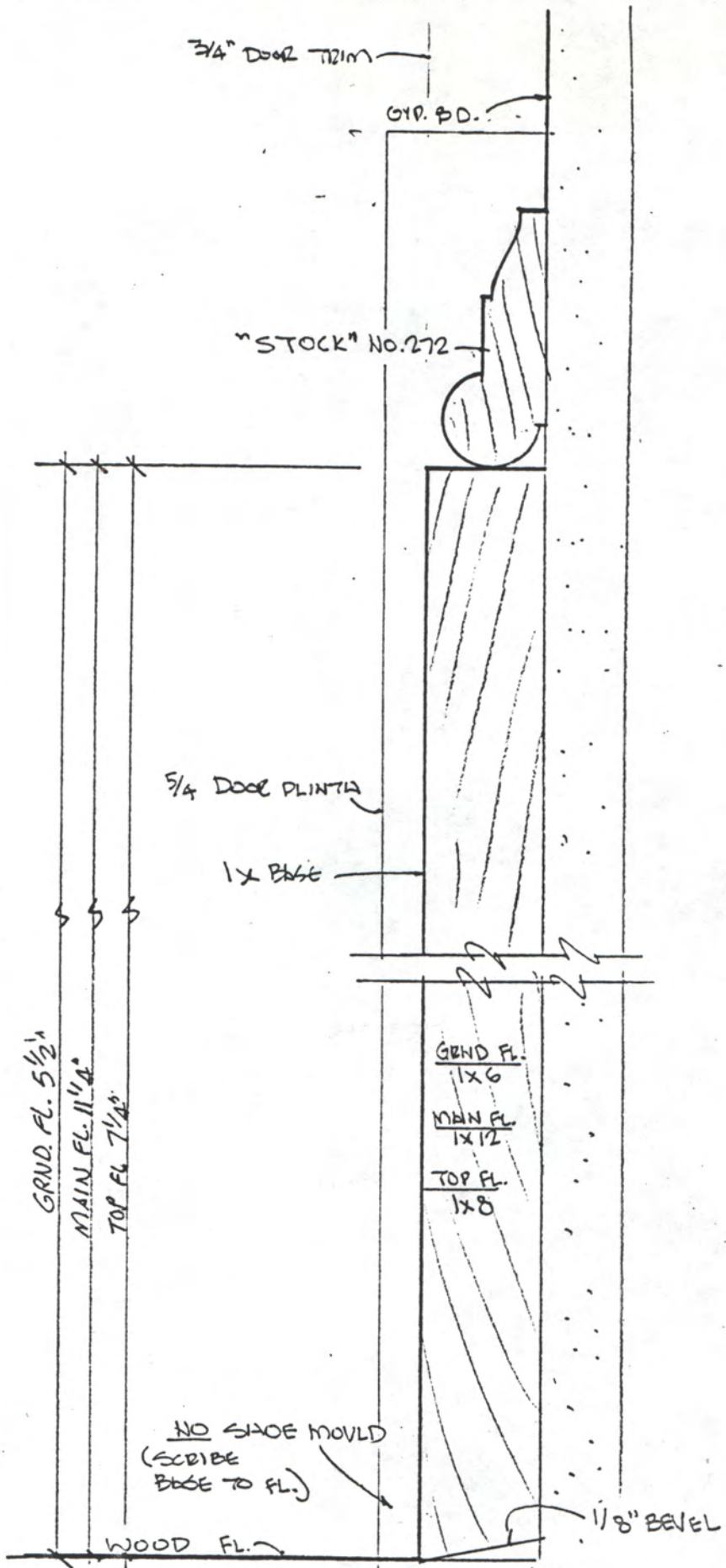
Thanks!



Harvie P. Jones, FAIA
HPJ/am

pc: John Reiter, Architect
file
HJ

attachments



3/4" DOOR TRIM

GRD. P.D.

"STOCK" NO. 272

5/4 DOOR PLINTIA

1x BASE

GRND. FL. 5 1/2"
 MAIN FL. 11 1/4"
 TOP FL. 7 1/4"

GRND FL.
 1x6

MAIN FL.
 1x12

TOP FL.
 1x8

NO SHOE MOULD
 (SCRIBE
 EDGE TO FL.)

WOOD FL.

1/8" BEVEL

SUGGESTED PAGE SKETCH

M. LANE INFILL HSE 14 NOV. '90 HJ

SCALE - FULL SIZE

HJ
 ME

70 WEST 69TH STREET
NEW YORK, NEW YORK 10023

March 22nd 1990

Dear Harvey:

Thanks so much for your visit to Savannah. You are the perfect man for the job in Savannah, and 'tis my hope that the two houses for my mother, and the new-old house for me, will just be the start of many projects in Savannah.

As for my new-old house, here are programatic thoughts. The house is to be two and one-half frame stories over a raised brick basement. The basic plan of two rooms and side hall, the proportions of the rooms and the facade treatment are to be based on the drawings you have of my house at 321 Barnard Street. Exceptions: the basement is to be level with grade, not, as at my old house, slightly excavated; and the height of the bedrooms is to be about ten inches higher, so that the eaves cornice does not rest on the top of the second-story window frames as at my old house. I have sketched a plan with parlor and dining room and kitchen on the principal story and two bedrooms and two baths on the second story; the attic will be open, or with a single partition to form a hall, otherwise unfinished; the basement will be a separate apartment with two rooms, plus a kitchen and bath. A two-tiered side porch will copy details of the original hosue on the site. The front doorcase and four mantels should copy Asher Benjamin; I would suggest you have a simplified version of a pedimented portico, also from

Benjamin, eliminating the two Ionic columns and dentils and making it as narrow as my Doric portico across the street; optional dormers could also be modeled on Benjamin. The gable roof would cover the porch as well as the body of the house. A large window should appear in the front and rear gable ends of the attic - I suggest copying a house of the period at Roswell, Georgia, which is illustrated as the frontispiece of my Georgia architecture book, except that it should be larger in scale. I particularly like the strength and scale of the eaves cornice and the treatment of the gable of this house - strong and simple.

You can begin studies for this new-old house when you have completed the next stage of work on my mother's projects - I do not want to delay her.

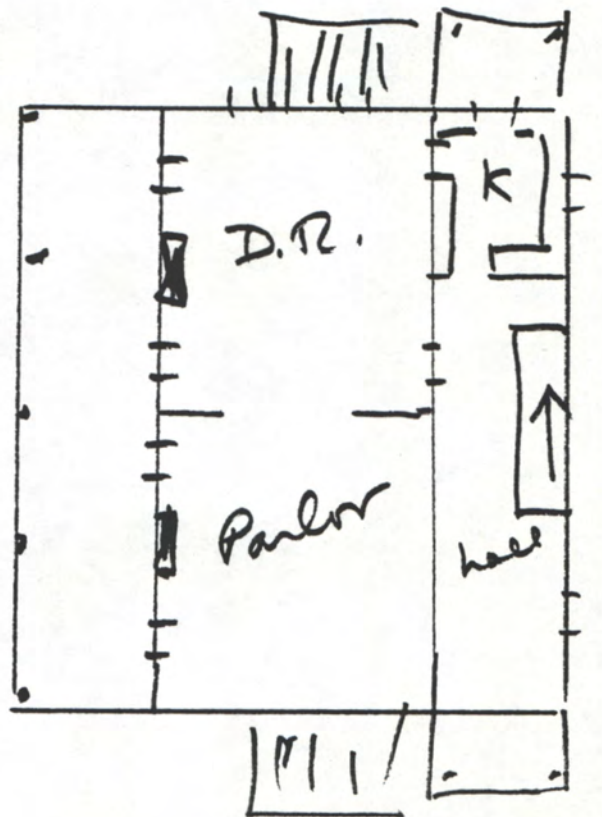
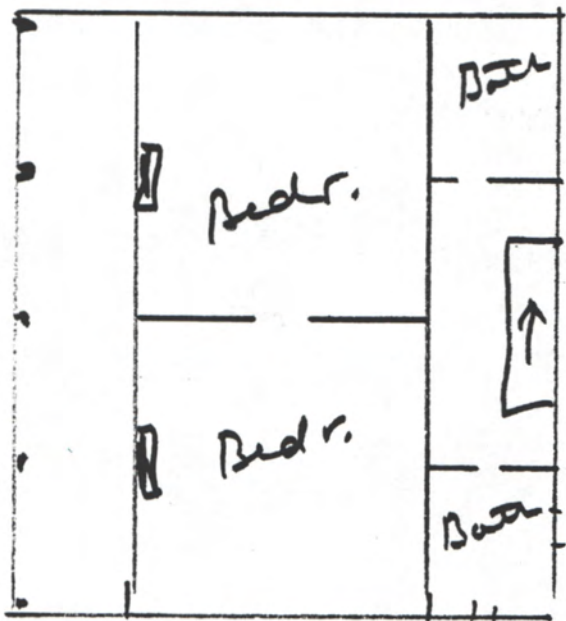
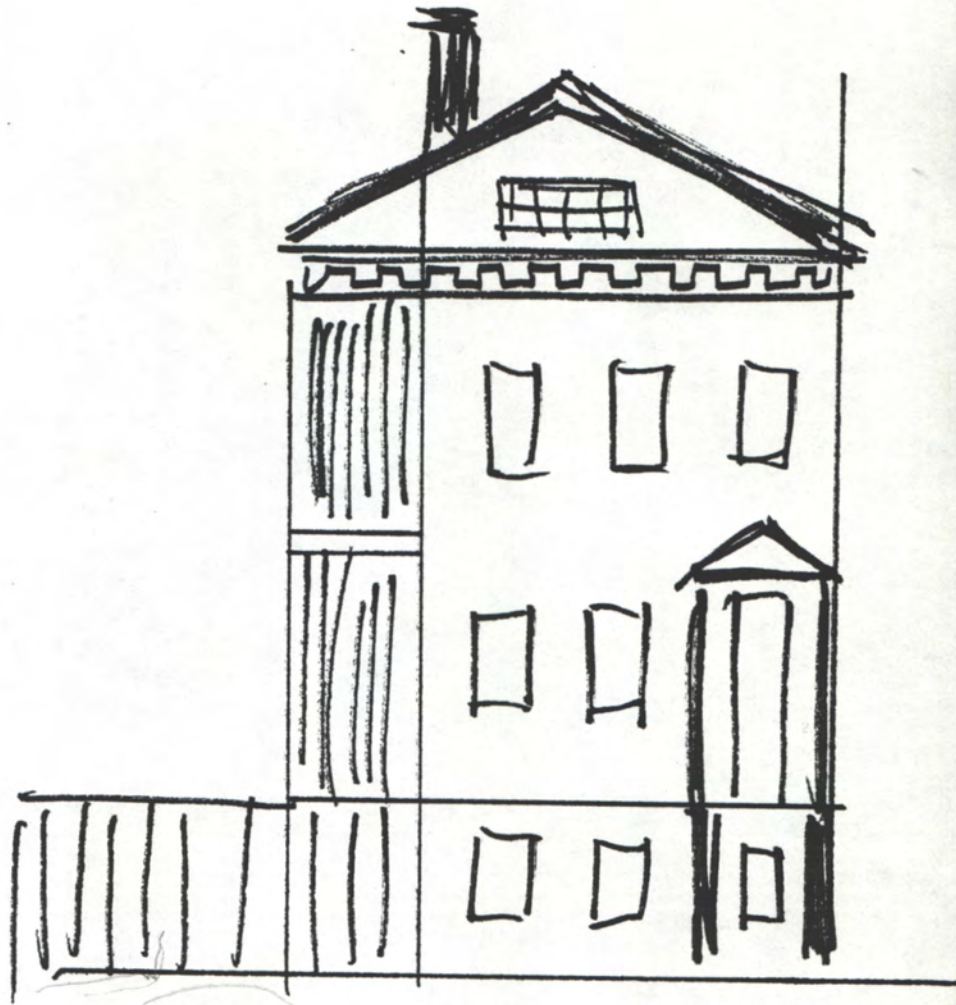
However, if you could have the drawings for my stair, front stair newel and the windows at 321 Barnard Street ready by April 12th, that would enable me to discuss construction while I am in Savannah at Easter; otherwise, I will not be able to do so till summer.

My mother has reaffirmed her desire for a two-tiered porch on the back of her double houses on Habersham Street and, for safety reasons, I think it's a good idea.

Thanks so much,



Mills Lane



THE
ARCHITECT,
-OR-
PRACTICAL HOUSE CARPENTER;

ILLUSTRATED BY

SIXTY-FOUR ENGRAVINGS,

WHICH EXHIBIT THE ORDERS OF ARCHITECTURE,

AND

OTHER ELEMENTS OF THE ART;

DESIGNED

FOR THE USE OF CARPENTERS AND BUILDERS.

By **ASHER BENJAMIN, ARCHITECT,**

AUTHOR OF THE "AMERICAN BUILDER'S COMPANION," THE "RUDIMENTS OF ARCHITECTURE," THE
"PRACTICE OF ARCHITECTURE," AND THE "BUILDER'S GUIDE."

BOSTON:
PUBLISHED BY L. COFFIN.

1844.

DESIGN FOR A FRONT DOOR

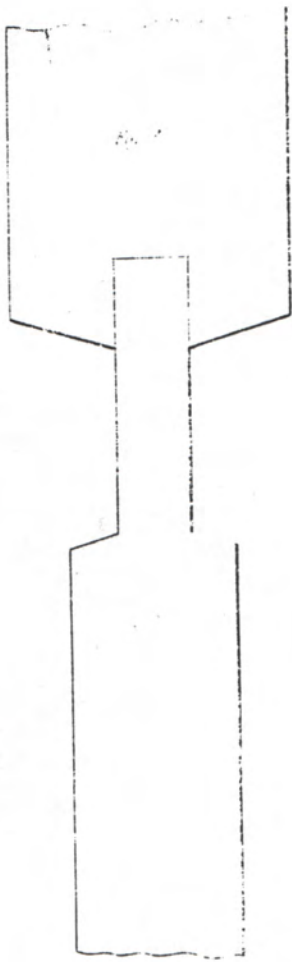


Fig. 2

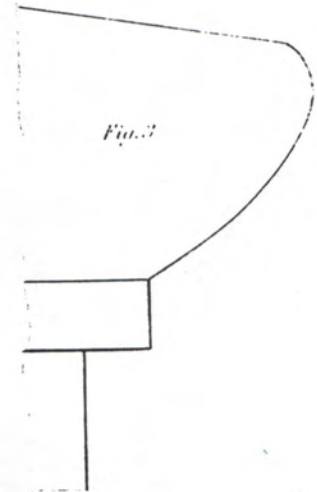


Fig. 3

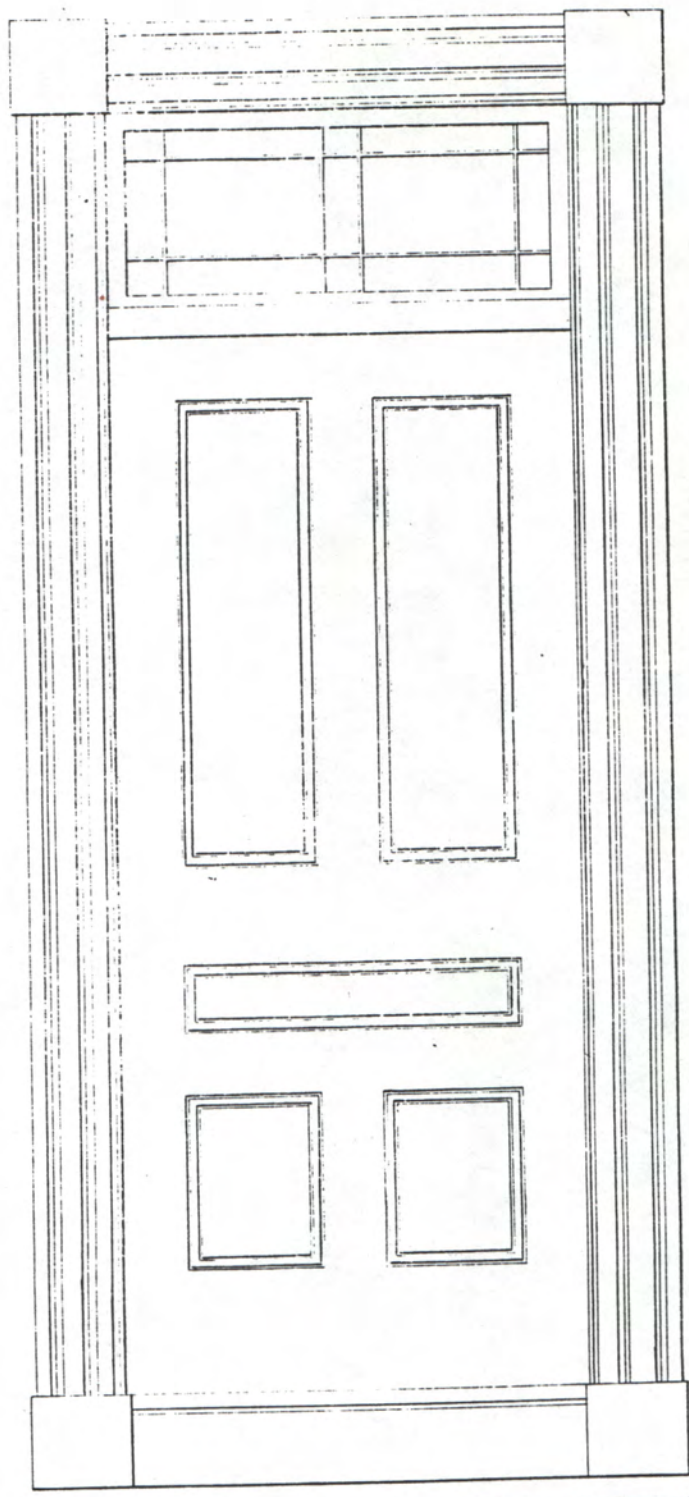


Fig. 1

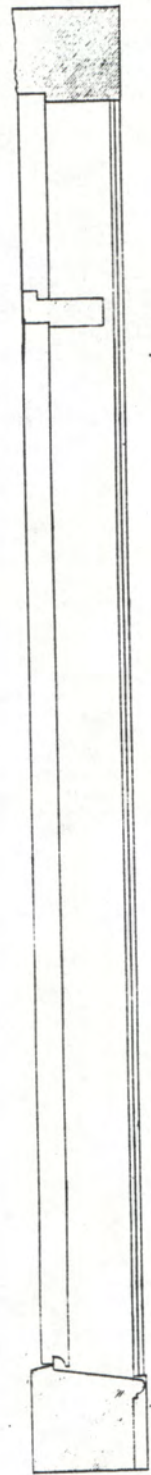
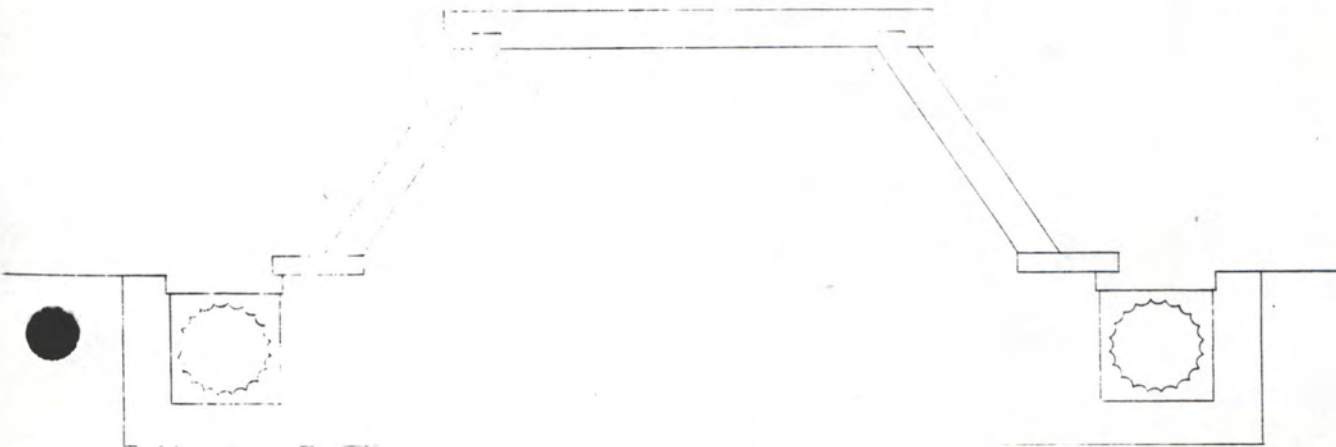
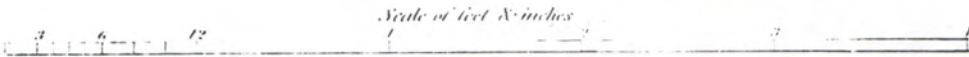
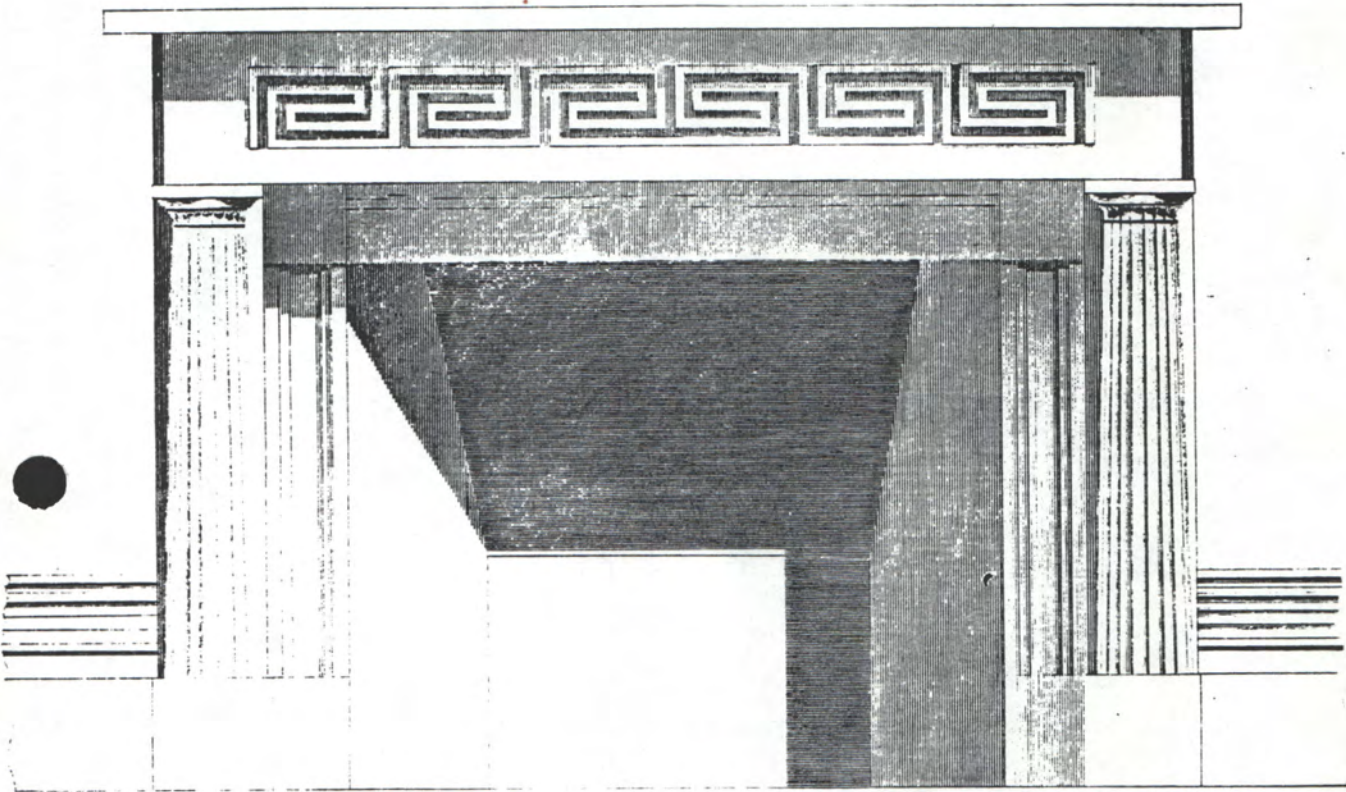
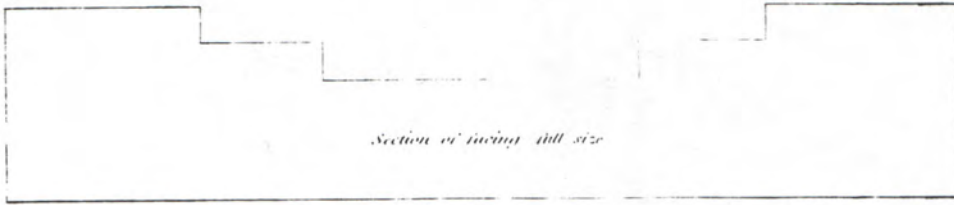


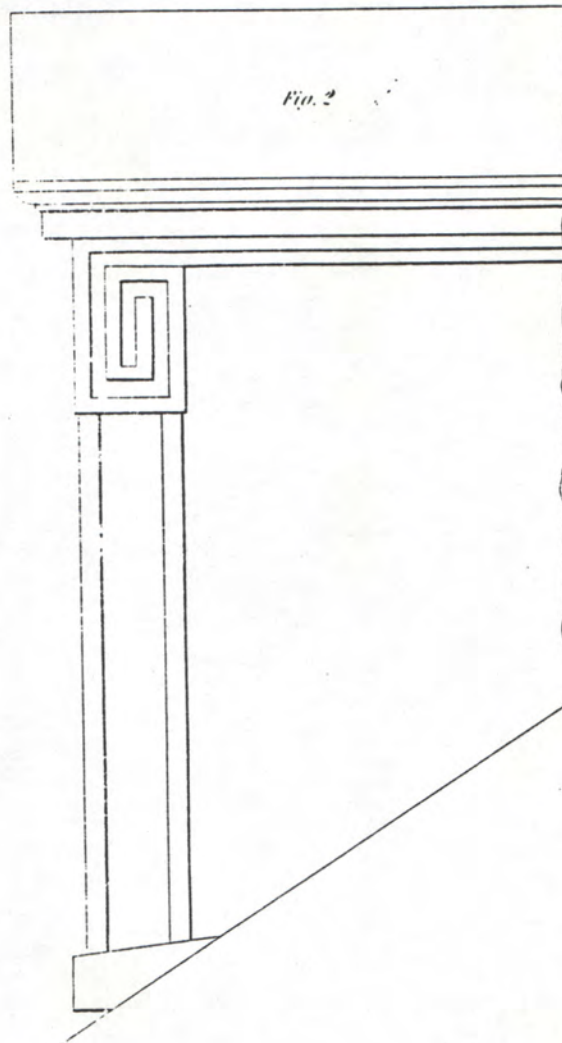
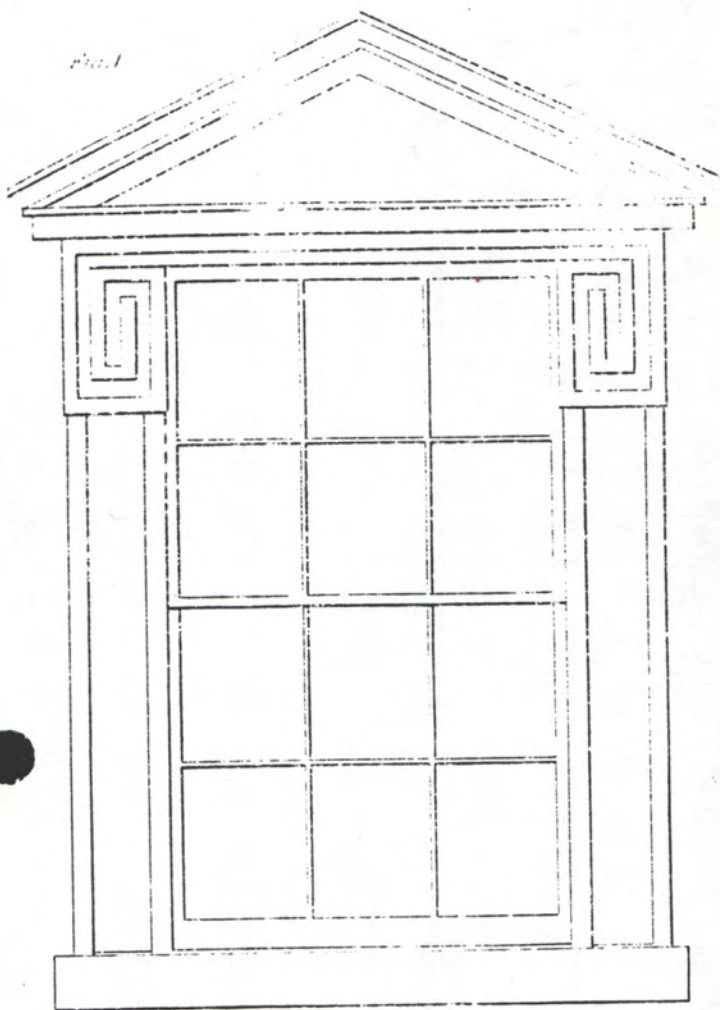
Fig. 4



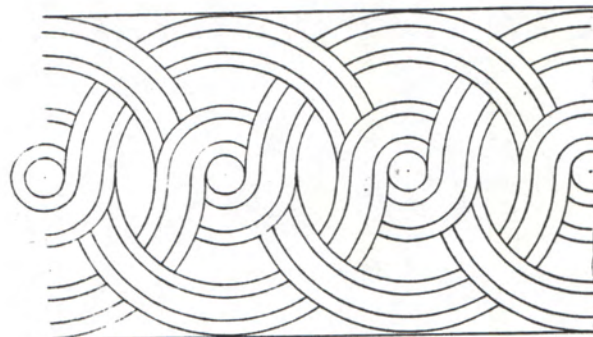
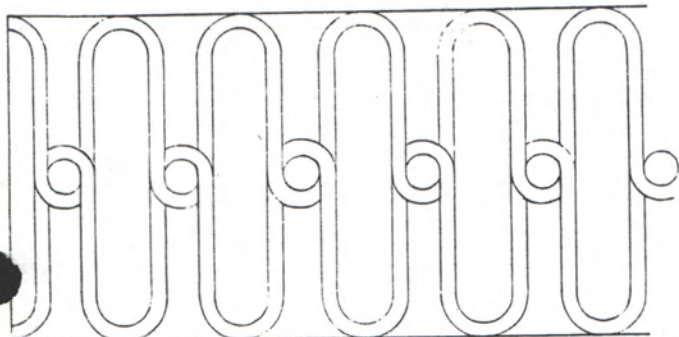
CHEMNEY PIECE

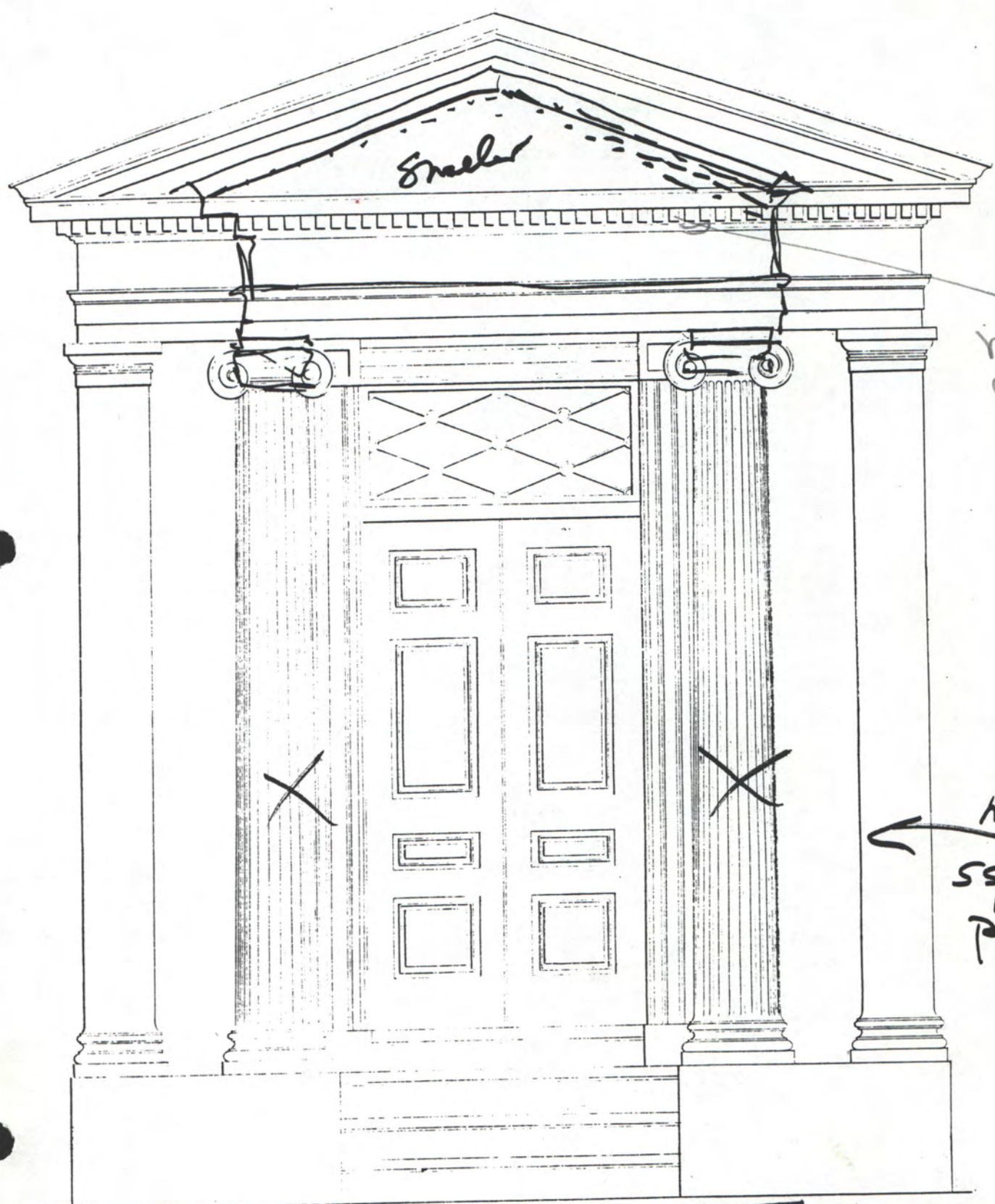
PL. 51.





Scale 1/4 inch = 8 inches

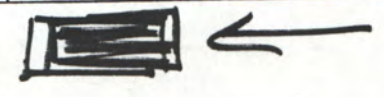




Sneller

no dentils
(ML)

make square pillars



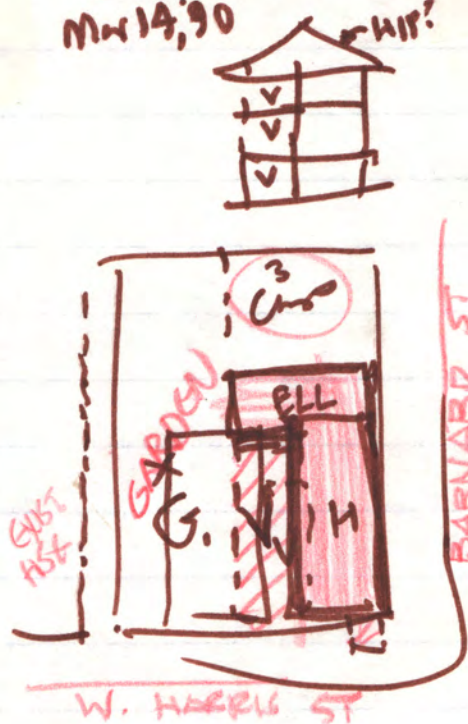


M.L.
Peters
(see
his
letter)

VOID 14 Jan '91
See M.L. letter to Edm



Mills Lane New Hse
Mar 14, 90



try big roof

PROPOSED NEW HSE

MILLS LANE
NEW HSE (INFILL - 90024)



M. L.
EXIST
HSE
For info

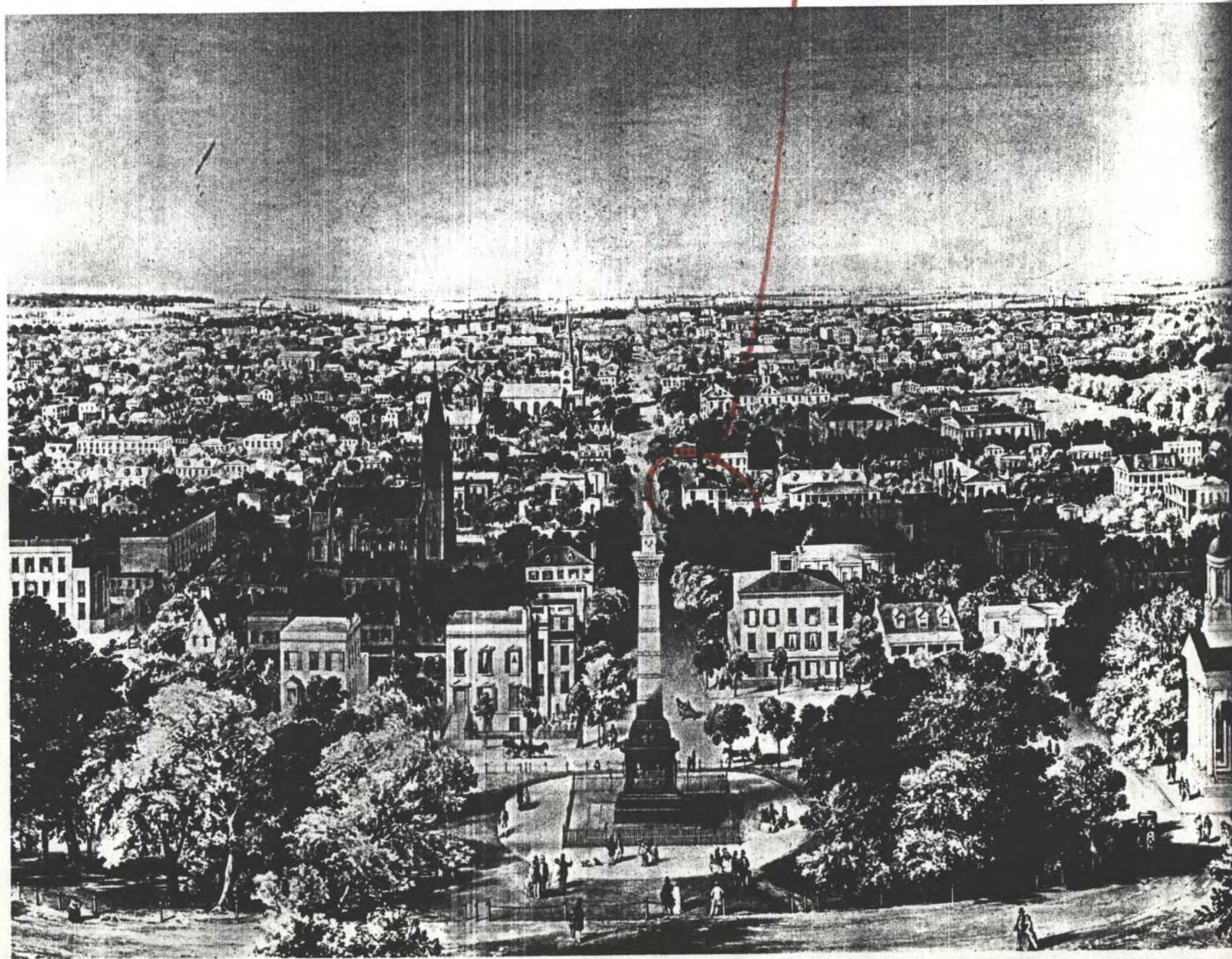
N



This was here originally at Harris & Barrard Sts, Swanton (1850's)

156

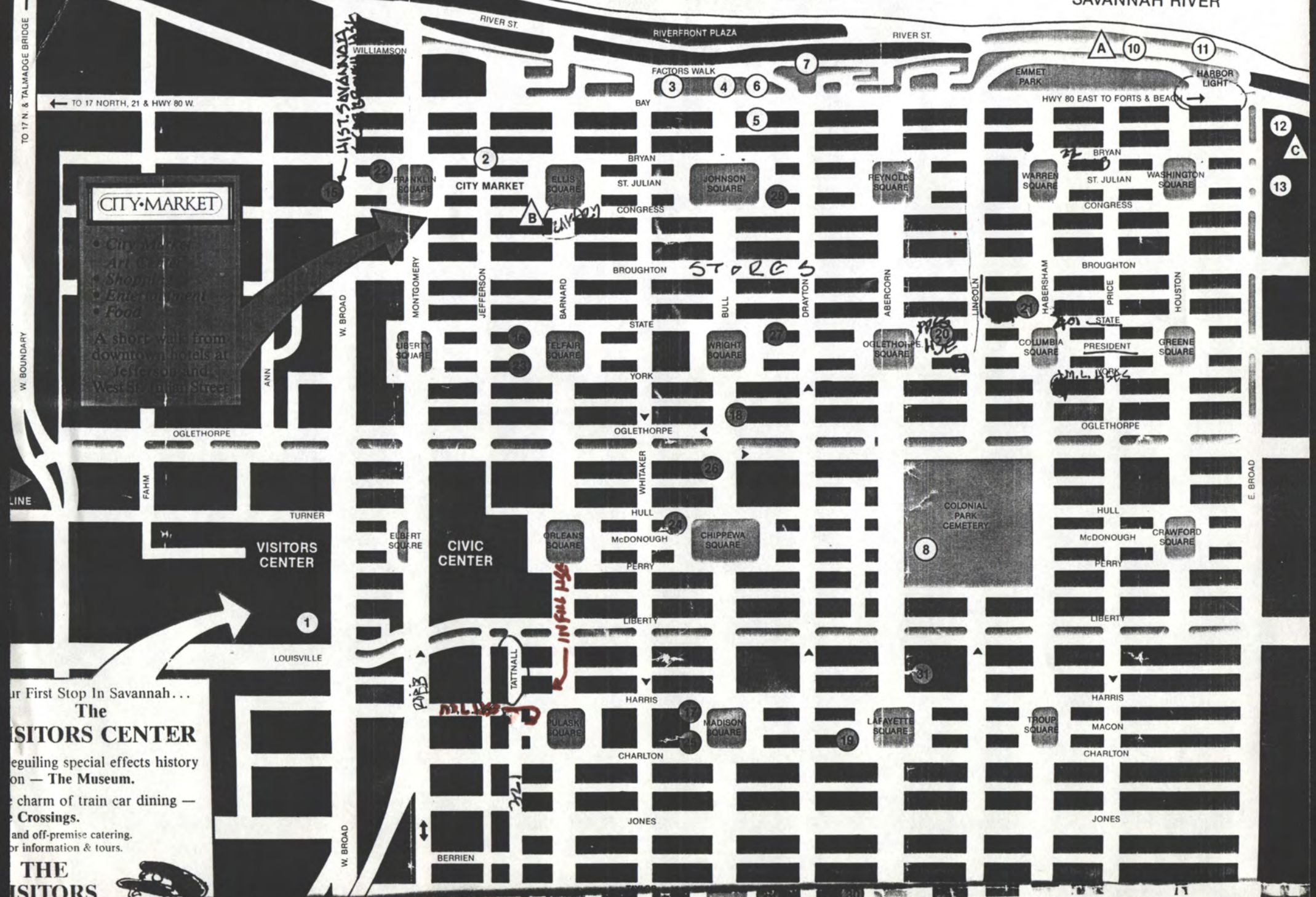
hip roof,
narrow end to Sq.



6601 - BRANDED & CONCRESS (LUNCH ONLY) GOTTILBERG'S DELI 5500 ABERCORN

Savannah Historic District

SAVANNAH RIVER



CITY MARKET

• City Market
• Artisanal
• Shopping
• Entertainment
• Food

A short walk from downtown hotels at Jefferson and West Sullivan Streets

VISITORS CENTER

ur First Stop In Savannah...
The VISITORS CENTER

regulating special effects history on — The Museum.
The charm of train car dining — Crossings.
and off-premise catering.
or information & tours.

THE VISITORS



ML's new site

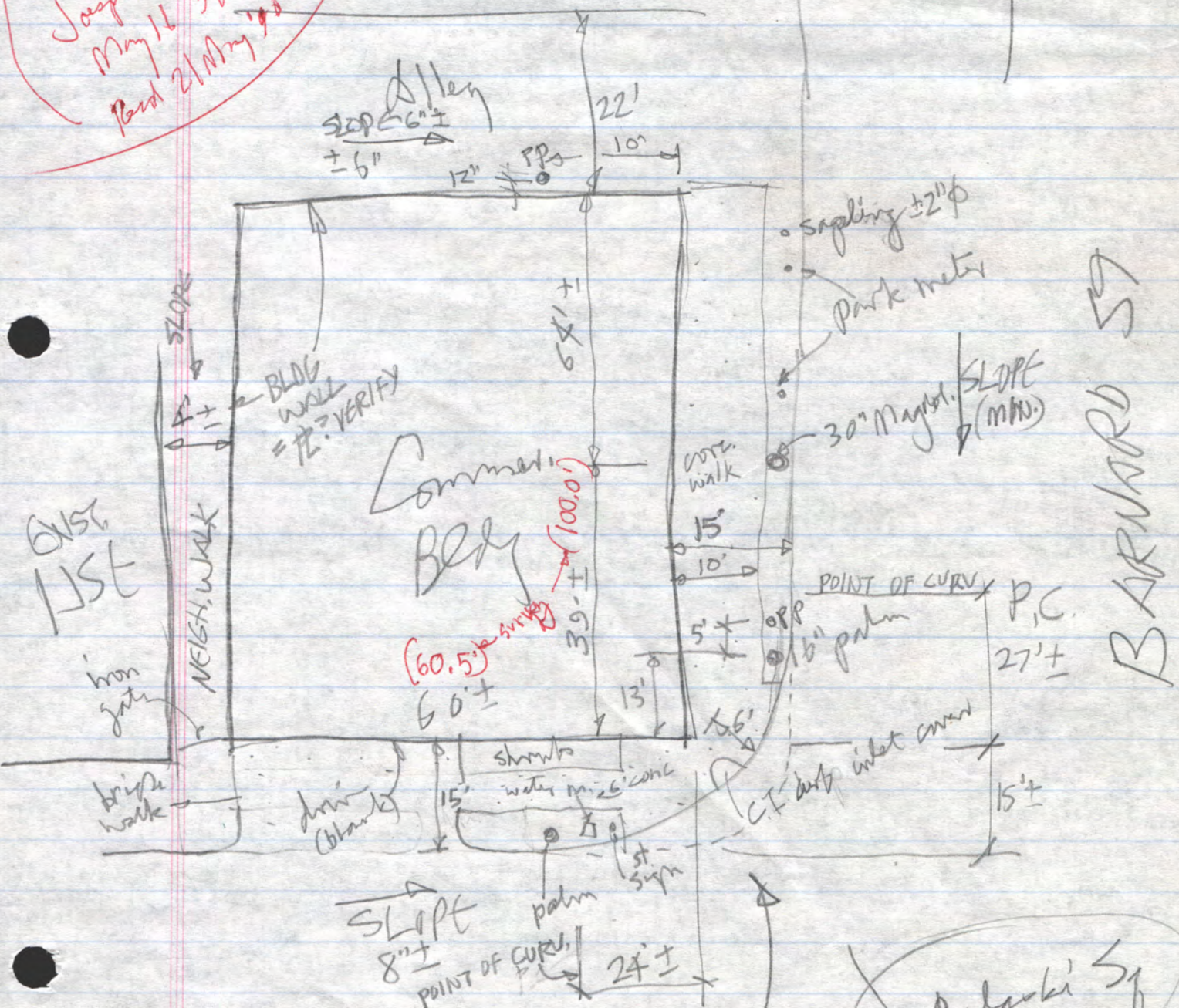
15 Mar '90

All dims STOPPED-OFF + EXCEL (VERIFY)

HSE (EXIST)

Park foot

P.S.
See tags in file
Joseph Keaton
May 16 '90
Paul 21 May '90



EXIST HSE

BARNARD ST

W. HARRIS

Pulaski St

NOTE--ORIG GRANITE CURBS = 6' R

Mar 1990 photo, Pulaski St., NW corner, Savannah, GA
Savannah site of Lane Infirmary (new) here

(1920's auto shop)
- dental shop
of built here in
approx. Greek Revival style
HP Jones



X-2



1044
N →

Mills Lane Hse
(1850's?)

to proposed hse

PULASKI SQUARE - Savannah, Ga

Mar. 1990
H. Jones
photos



N ↗

LINE
IN THE
SITE
SAVANA

New hse site →



Barnard St
 + N
 W. Harris St

↑ Mills Lane Hse

← proposed hse site →

N



← proposed hse site →

↑ N

N



W. Harris St

← proposed hse site →

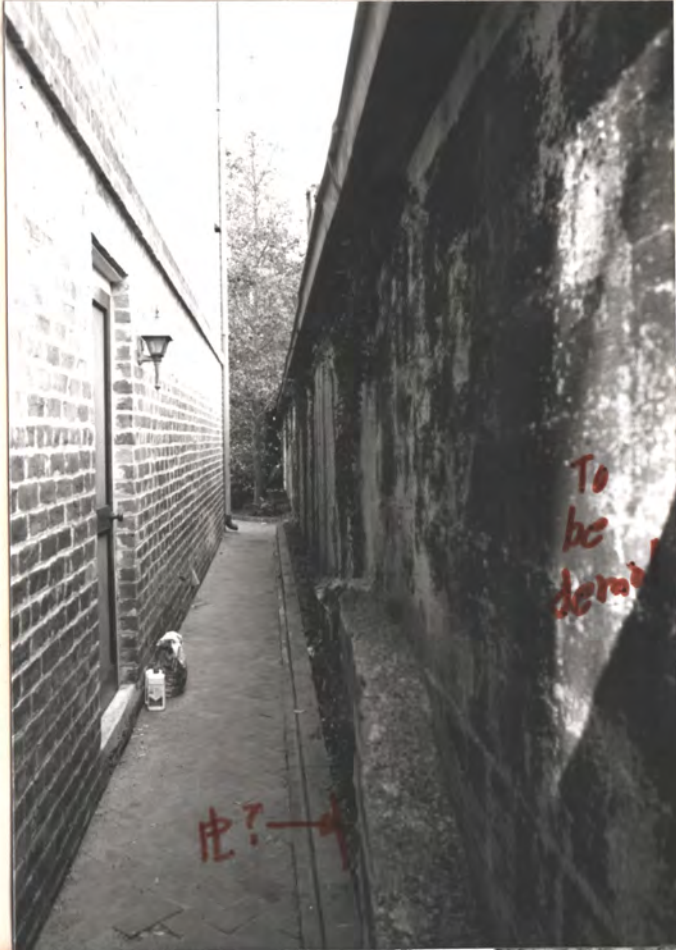
↑ N

314

Adjacent
Use to
west

2
X

BALHARD ST
↓



To be
demol

H? →

M. LINE HSE

W
WADSWELL
ST.

ORIG. CURB
6' RAD.



To be
removed

→ N

PULASKI
SW

ORIG.
CURB
LINE
(6' RAD.)

→ N



to be
removed

BALHARD
ST.

→ N



To be
remov.



BARNARD ST.

↖ N.

A
S
A

To be removed
(proposed
hse. site)



← ALLEY

↖ N

BARNARD ST.

Chim. too fat! City demanded
↓



Now in jail for Mr. Lane, N.W. corner of Parkside Sq., Savannah, Ga.
Jens J. Kernin, Arch., H. Jones Built 1992-3, but stripped of most good detail to reduce cost.

Chim. built too fat at demand of City Bldg. Inspector



Windows built were deleted.





102

There was an auto repair shop (1 story) of about 1940 on this site ↓

Used pre-fab floors = Too Fat! (save \$) ↙ ↘



Harris St.

Photos Ralph Anderson of J.T. Turner, Grand: 1993

1992-3 NEW in M house, Savannah Ga. for Mills Lane James & Dennis Arch, HD Pulaski Sq., N.W. Corner, Harris & Barnard



Most nice ext. trim
+ west porch
deleted
to reduce
cost.
Too bad.



H. 2

← Barnard St. → N

Parlor LEVEL 2 Din. Rm



Level 2
Entry

2002

2002

New infill house (1990-93) to supplement
 a mid-20th cent. conc. block auto repair shop
 shown in photo below, Swannock, Ga.

For M. Lane, Pulaski Sq.

JHN Arch
 HR Jones

"after" photos = Sept. 93
 Hamiel Jones, FAK



M. LANE
 INFILL HSB
 PULASKI SQ.



MAR. 1990 PHOTO
 PULASKI SQ
 LOOK N.W.
 1993

conc. blk. of stores auto repair
 shop - mid 20th cent.
 SITE FOR INFILL HSB.

"AFTER" photos = Sept. 1993

JHN



W. HAZARD ST

New infill has in
 1850's style

BURNING ST.

Same view as above photo





46



47



N



N

2

Chimneys too fat.
Curtains used pre-fab flues
to save cost.



H ← N. Rem



✓ H



H
g

H
g

← Level 2 entry →



Stris sunM



HA Level 2 entry



HA Level 3 (BR's)



Level 2 S.W. Parlor → H



marbled wood
 mantel →
 1850's type like
 in Mrs. Lane's
 1850's hse. nearby
Level 2 S.W. Park



Schroyd heart pine
 floor →
 Bickerstaff Woodmould
 brick hearth →





Level 2 N.W. Din Room
(construction not completed)

JH



Level 3 B.R., N.W.

→



← Aug '22
photo

676